

TRC/PRE-DESIGN MEETING

AGENDA

Meeting – Tuesday, July 1, 2025

at 10:00 AM

This meeting will be held at 1911 Boundary Street (City Hall) in the Planning Conference Room, on the 1st floor.

Please click the link below to join the Zoom webinar:

<https://us02web.zoom.us/j/83589085470?pwd=u9QrYhqUu3dio14GpaExZsunCNv3C7.1>

Password: 153985 Meeting ID: 835 8908 5470 Call in Phone # +1 929 205 6099

Agenda items:

I. Projects

- a. **Garage conversion into Carriage House / ADU (2602 North Street; PIN: R120 003 000 0466 0000)** – Discussion on proposed conversion of current detached garage/workshop building into a Carriage House / ADU use; Submitted by Juliane Matthews (Owner)
- b. **Construction of new Free-Standing Emergency Department (FSED) and Patient Centered Care (PCC) Complex (396 Robert Smalls Pkwy.; PIN: R120 028 000 1248 0000)** – Discussion on proposed development of FSED and PCC location by Novant Health; Submitted by Ward Edwards (Engineer)
- c. **Distant Island Bulkhead Restoration and Tree Protection Proposal (Distant Island Community Association in behalf of 20 property owners on Distant Island; PIN: numerous)** – Discussion on permitting/approval process in special bulkhead restoration and anchoring to conserve adjacent trees; Submitted by William (“Bill”) Barna, P.E. with McSweeney (Engineer)

II. Adjournment

If you have any questions, please call (843) 525-7014.

Thank you.

cc: Juliane Matthews (Owner)
Conor Blaney / Sheila Sulak / Amanda Hodge (Ward Edwards Engineering)
Bill Barna (McSweeney Engineers)

2602 NORTH STREET

**Conversion of detached
garage/workshop into habitable
living space (ADU/Carriage house)**



DEVELOPMENT REVIEW PROCESS
TRC/PRE-DESIGN CONFERENCE FORM

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org Website: www.cityofbeaufort.org

Application Fee: \$0

OFFICE USE ONLY: Date Filed: 6/24/25 Application #: 28972 Zoning District: T3-N

Historic District? Y (N) Contributing? Y (N) Archeological Survey? Y (N)

TRC/Pre-Design meetings are informational in nature and are intended to provide applicants guidance through the Beaufort Development Code process. Comments made by Staff are advisory are non-binding and shall not be interpreted as official or formal decisions on the project. Formal comments shall be provided with the Application process.

Schedule: TRC/Pre-Design Conferences are held every Tuesday at 10:00 a.m. at City Hall (1911 Boundary Street), in the first-floor conference room. The deadline for applications is Tuesday, one week prior to the meeting.

Applicable Projects: A TRC/Pre-Design Conference is required for all new construction (except detached single-family residences), major subdivisions, and zoning or Code text amendments. It is recommended for change of occupancy, (ex. an office use changing to a restaurant use), and any use involving food service.

Submittal Requirements: All forms and information may be submitted digitally. In addition to a complete application form, applicants are encouraged to submit all possible additional information about a project to convey the complete concept. This may include maps, site plans (to scale or dimensioned) floor plans, elevations, etc.

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? [] Yes [] No

Applicant, Property, and Project Information

Applicant Name: Juliane Matthews

Applicant Address: 34 Thomas Sumter St.

Applicant E-mail: matthews.julie13@outlook.com Applicant Phone Number: 828-399-1064

Applicant Title: [X] Homeowner [] Tenant [] Architect [] Engineer [] Developer [] Contractor

Owner (if other than the Applicant):

Owner Address: Same as above

Project Name: Garage conversion to Carriage House Apt.

Property Address: 2602 North St.

Property Identification Number (Tax Map & Parcel Number): R120 003 000 0466 0000

Meeting Date Requested: 6/24/2025



DEVELOPMENT REVIEW PROCESS
TRC/PRE-DESIGN CONFERENCE FORM

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org Website: www.cityofbeaufort.org

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: Jeliane Matthews Date: 6/20/2025

Required Project Information

Project Name: 2602 North St. Garage Conversion to Carriage House
Existing use of Site or Structure: Garage/Workshop
Proposed use of Site or Structure: Apartment/Accessory Dwelling Unit.
Square footage of any proposed construction: 550'

Provide a brief Project Narrative and outline any specific questions you would like addressed.

Convert to 1 bed 1 bath apartment.

CONTACT INFORMATION - Application form & supplementary information may be submitted via email:

City of Beaufort Community Development Department
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: development@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606



2701
T3-N

Zoning Classification

CobData

HISTORIC DISTRICT-Preservation Heighborhood

HISTORIC DISTRICT-Conservation Neighborhood

Bladen Street Redevelopment District

Boundary Street Redevelopment District

Retail Overlay (Church & Green Street)

Retail Overlay

Zoning Districts

LEGACY PUD (LPUD)

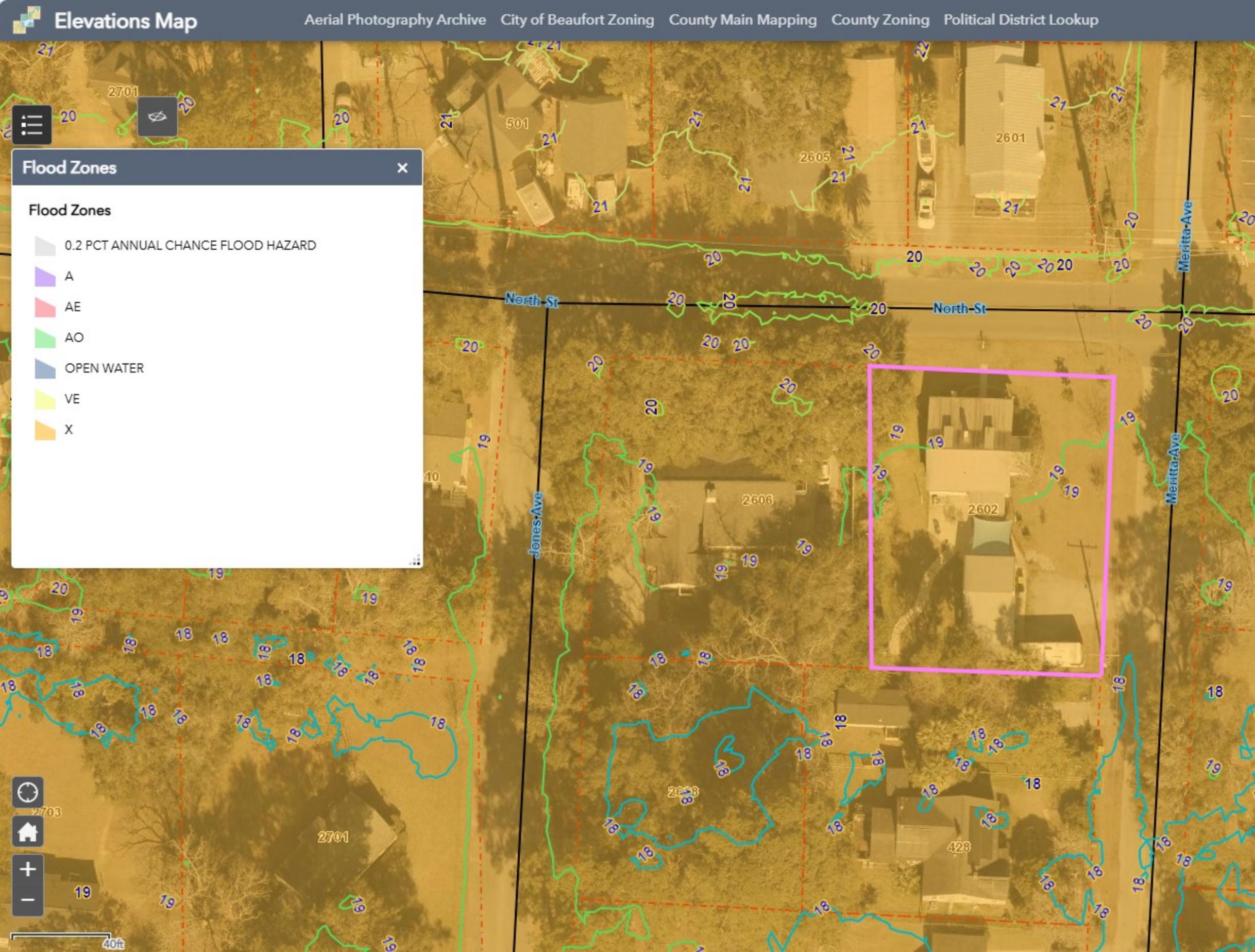
- T1
- T3-S
- T3-N
- T4-HN
- T4-N
- T4-NA
- T5-DC
- T5-UC
- T5-UC / RMX
- RMX
- IC
- MH
- LI
- MR



40ft

Flood Zones

- 0.2 PCT ANNUAL CHANCE FLOOD HAZARD
- A
- AE
- AO
- OPEN WATER
- VE
- X



2602 North St



Restaurants



Hotels



Things to do



Transit



Parking



Pharmacies



ATMs

Sign in



2602 North St

Building



Directions



Save



Nearby



Send to phone



Share

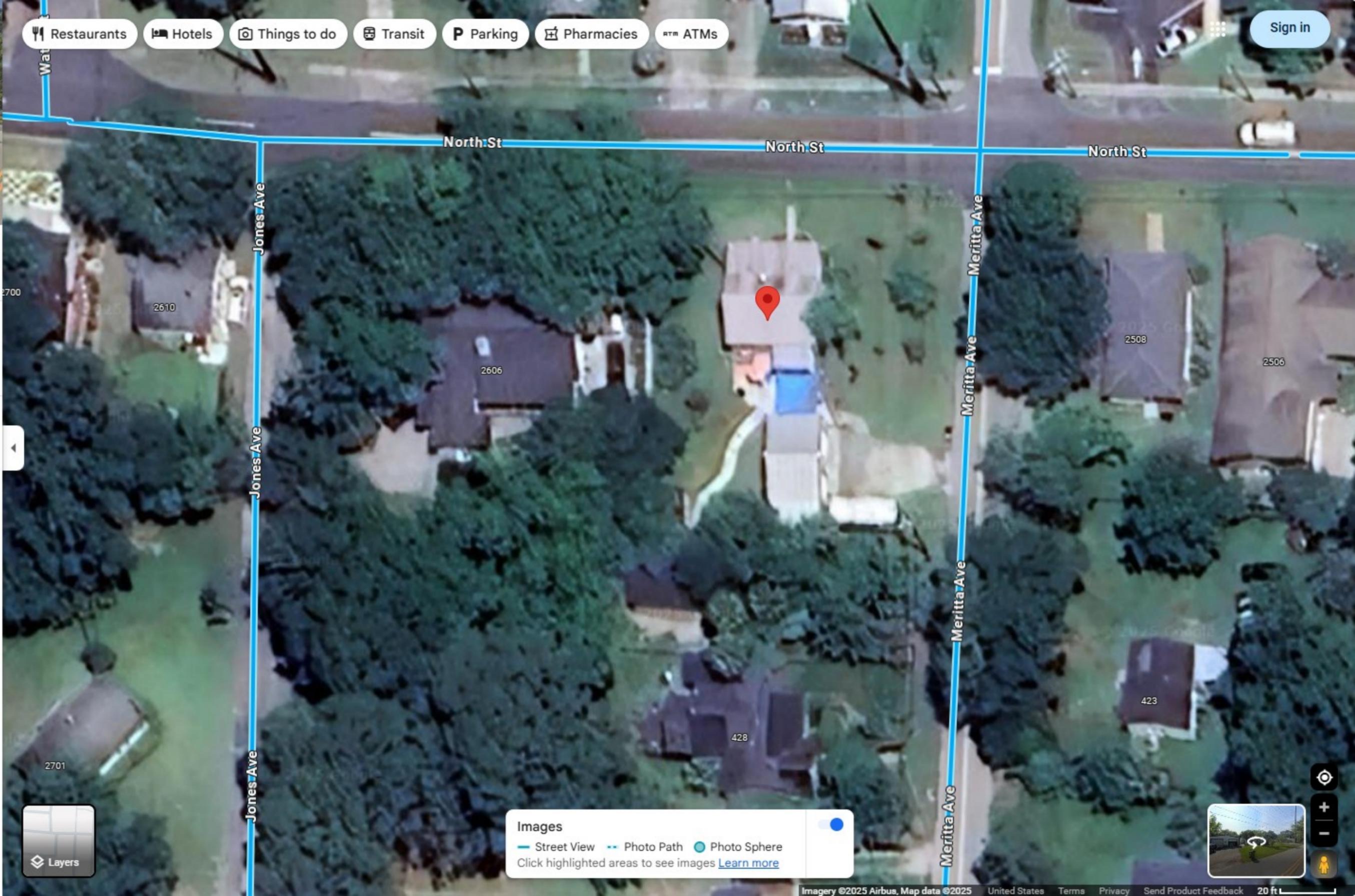
2602 North St, Beaufort, SC 29902

Suggest an edit on 2602 North St

Add a missing place

Add your business

Photos



Images

Street View

Photo Path

Photo Sphere

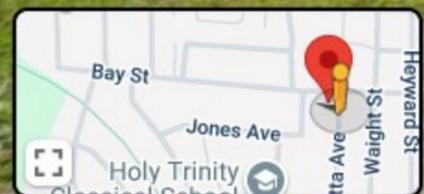
Click highlighted areas to see images [Learn more](#)

Back

423 Meritta Ave
 Beaufort, South Carolina

Google Street View

May 2023 [See more dates](#)



CHRISTENSEN ~ KHALIL SURVEYORS, INC.

1616 BOUNDARY STREET, BEAUFORT, S.C. 29902
(843) 624-4148, FAX (843) 624-4149
CENTOHARGRAY.COM

S-8340

GRAPHIC SCALE



LEGEND

(IN FEET)
1 inch = 30 ft

- CM(O) = CONCRETE MONUMENT OLD
- CM(N) = CONCRETE MONUMENT NEW
- RE(O) = 1/2" REBAR FOUND
- RE(N) = 1/2" REBAR SET
- O-P = OVERHEAD POWER LINES

GENERAL NOTES:

- 1.) PRESENT OWNER OF PROPERTY SHOWN HEREON: FARMER, MAE
- 2.) TOWN # 120-003-408
- 3.) THE BEARINGS SHOWN HEREON ARE MAGNETIC AND AS SUCH SUBJECT TO LOCAL ATTRACTION.
- 4.) PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE "C" ELEVATION (FVA) PER FEMA PANEL #450026-0093-D DATED: SEPT. 20, 1993

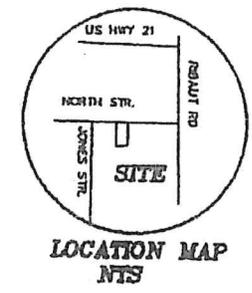
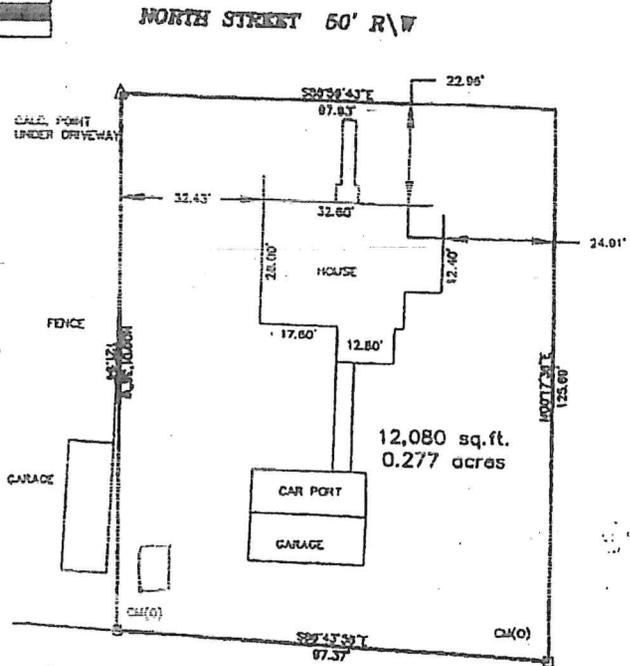
REFERENCE PLATS & DEEDS

- 1.) DEED 3189/3344
- 2.) PLAT BK 5/78, F-1000

CERTIFICATION:

I, ZYAD A. KHALIL, HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN THE STATE OF SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "D" AS SPECIFIED THEREIN:

ZYAD A. KHALIL, SLS
S.C. REG. NO. 15170 (THIS SURVEY IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE AND DISGOSSED SEAL)

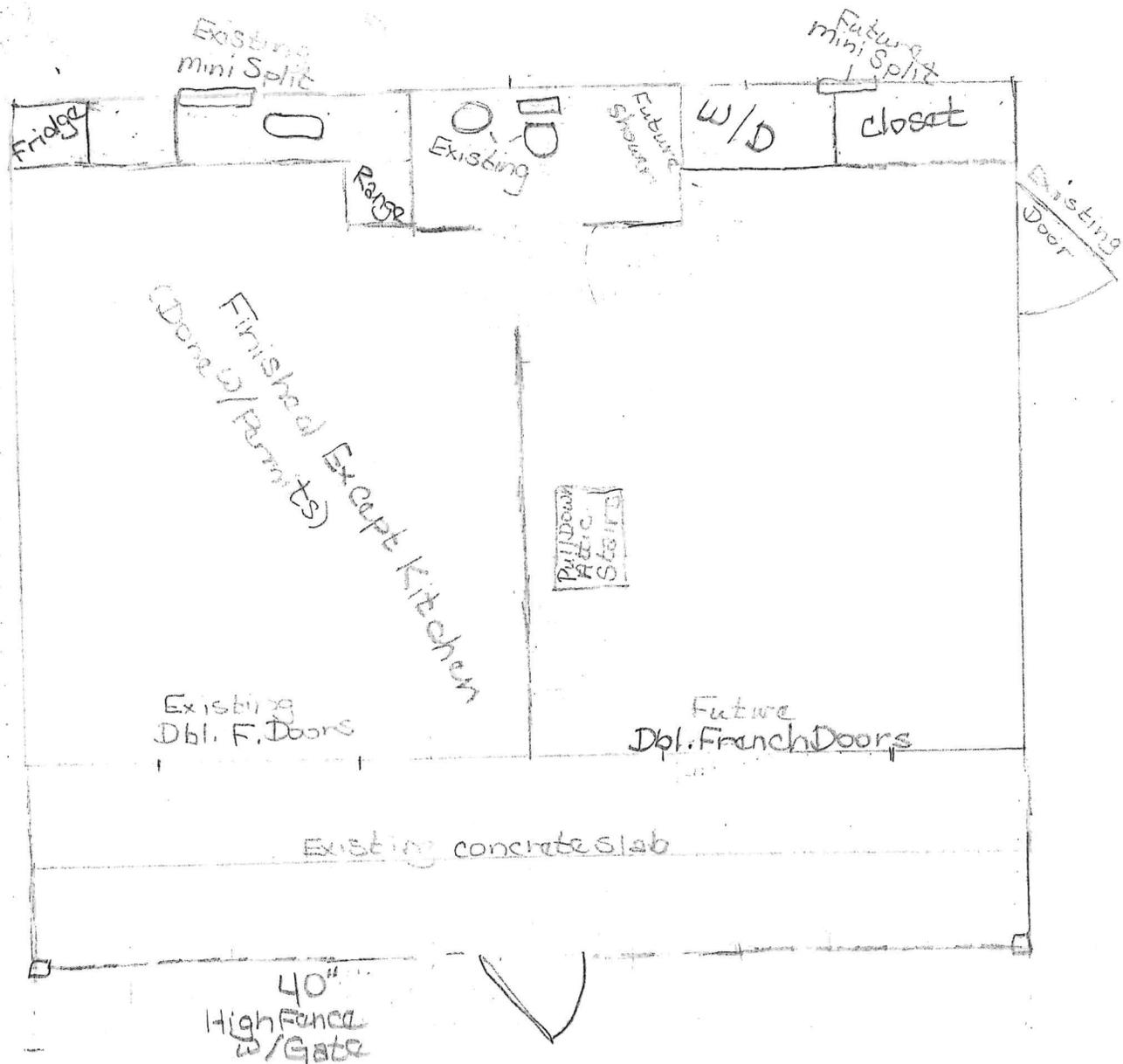


EXEMP1

J. Pachatz
2/11/13

FLAT SHOWING
R120 088 000 0488 0000
A PORTION OF LOT 25
FLOYD HARRIS SUBDIVISION
PREPARED FOR
CHARLES FRENCH
CITY OF BEAUFORT,
BEAUFORT COUNTY, SOUTH CAROLINA
DATED: FEB. 28, 2013
SCALE: 1"=30'

5/108



- W/D
- Kitchenette - sink
- range
- refrig
- micro
- Pull down Attic Stairs

Merrita









10
MINUTE
PARKING



STAFF REPORT - TRC / Pre-design Meeting

DATE: 07/01/2025

GENERAL INFORMATION		
Applicant:	Juliane Matthews (Owner)	
Site Location/Address:	2602 North Street (PIN: R120 003 000 0466 0000)	
Applicant's Request:	Proposal to convert current detached garage/workshop to habitable residential living space (ADU/Carriage House). <u>Size of proposed ADU: 550 sq. ft.</u> (6,925 sq. ft. in total)	
Current Zoning:	T3-NEIGHBORHOOD DISTRICT (T3-N)	
Lot size:	0.28 ac. (~12,197 sq. ft.); Existing dwelling unit: 964 sq. ft.)	
ZONING DISTRICT INFORMATION		
T3-NEIGHBORHOOD DISTRICT (T3-N)		
Lot Width at Front Setback:	40 ft. min.	
Max. Lot Coverage:	45% (roofed area); 55% total impervious coverage = ~6,708 sq. ft.	
Front Setback:	15 ft. min. / 30 ft. max.	
Side Setback:	Corner/Alley: 6 ft. min. / no max.; Interior: 6 ft. min.	
Rear Setback:	15 ft. min.	
Parking Pad Location:	There are no parking setbacks, however, driveways shall be located to the side of the lot/primary structure (except on waterfront lots meeting the conditions stated in 2.5.4)	
SURROUNDING ZONING, LAND USE AND REQUIRED BUFFERS		
<u>Adjacent Zoning</u>	<u>Adjacent Land Uses</u>	<u>Setbacks for Adjacent Zoning /Buffer required if rezoned</u>
North: T3-N	Single-family residential dwelling unit;	N/A
South: T3-N	Single-family residential dwelling unit;	N/A
East: T3-N	Single-family residential dwelling unit;	N/A
West: T3-N	Single-family residential dwelling unit;	N/A

Background:

The applicant / homeowner wants to convert the current metal detached garage/workshop building into an habitable living space (ADU / Carriage House), including 1 bedroom and 1 bathroom.

FINDINGS AND RECOMMENDATIONS

➤ Sec. 4.5.3. Carriage House:

- **Infrastructure:** Lot / ADU needs to be served by public water & sewer;
- **Number allowed:** 2 per lot, except for T3-S where only 1 ADU per lot is allowed
- **Frontage Type:** No frontage is prescribed unless the building is close to the street, in which case appropriate frontage types would be: porch, stoop
- **Maximum Size:** footprint shall not exceed 50% of the primary house's footprint (in the case: 482 sq. ft.)
- **Compatibility with primary structure:** architectural details must comply, incl. siding, color, roof pitch, roofing material, height and foundation
- **Parking:** 1 parking space per Carriage House is required, and shall be clearly defined



396 ROBERT SMALLS PARKWAY

**Proposal for new development of a
Free-Standing Emergency and
Patient-Centered Care Site**



DEVELOPMENT REVIEW PROCESS
TRC/PRE-DESIGN CONFERENCE FORM

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org Website: www.cityofbeaufort.org

Application Fee: \$0

OFFICE USE ONLY: Date Filed: 6/25/25 Application #: 28975 Zoning District: IC
Historic District? Y (N) Contributing? Y (N) Archeological Survey? Y (N)

TRC/Pre-Design meetings are informational in nature and are intended to provide applicants guidance through the Beaufort Development Code process. Comments made by Staff are advisory are non-binding and shall not be interpreted as official or formal decisions on the project. Formal comments shall be provided with the Application process.

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Submittal Requirements: All forms and information may be submitted digitally. In addition to a complete application form, applicants are encouraged to submit all possible additional information about a project to convey the complete concept. This may include maps, site plans (to scale or dimensioned) floor plans, elevations, etc.

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? [] Yes [] No

Applicant, Property, and Project Information

Applicant Name: Ward Edwards Engineering

Applicant Address: PO Box 381, Bluffton SC 29910

Applicant E-mail: cblaney@wardedwards.com Applicant Phone Number: (757) 814-0824

Applicant Title: [] Homeowner [] Tenant [] Architect [x] Engineer [] Developer [] Contractor

Owner (if other than the Applicant): Novant Health South Carolina Holdings LLC

Owner Address: 2085 Frontis Plaza Blvd., Winston Salem, NC 27103

Project Name: Beaufort FSED and PCC

Property Address: 396 Robert Smalls Pky, Beaufort, SC 29906

Property Identification Number (Tax Map & Parcel Number): R120 028 000 1248 0000

Meeting Date Requested:



DEVELOPMENT REVIEW PROCESS
TRC/PRE-DESIGN CONFERENCE FORM

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Email: development@cityofbeaufort.org Website: www.cityofbeaufort.org

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature:  Date: 6/20/2025

Required Project Information

Project Name: Beaufort FSED and PCC

Existing use of Site or Structure: Undeveloped

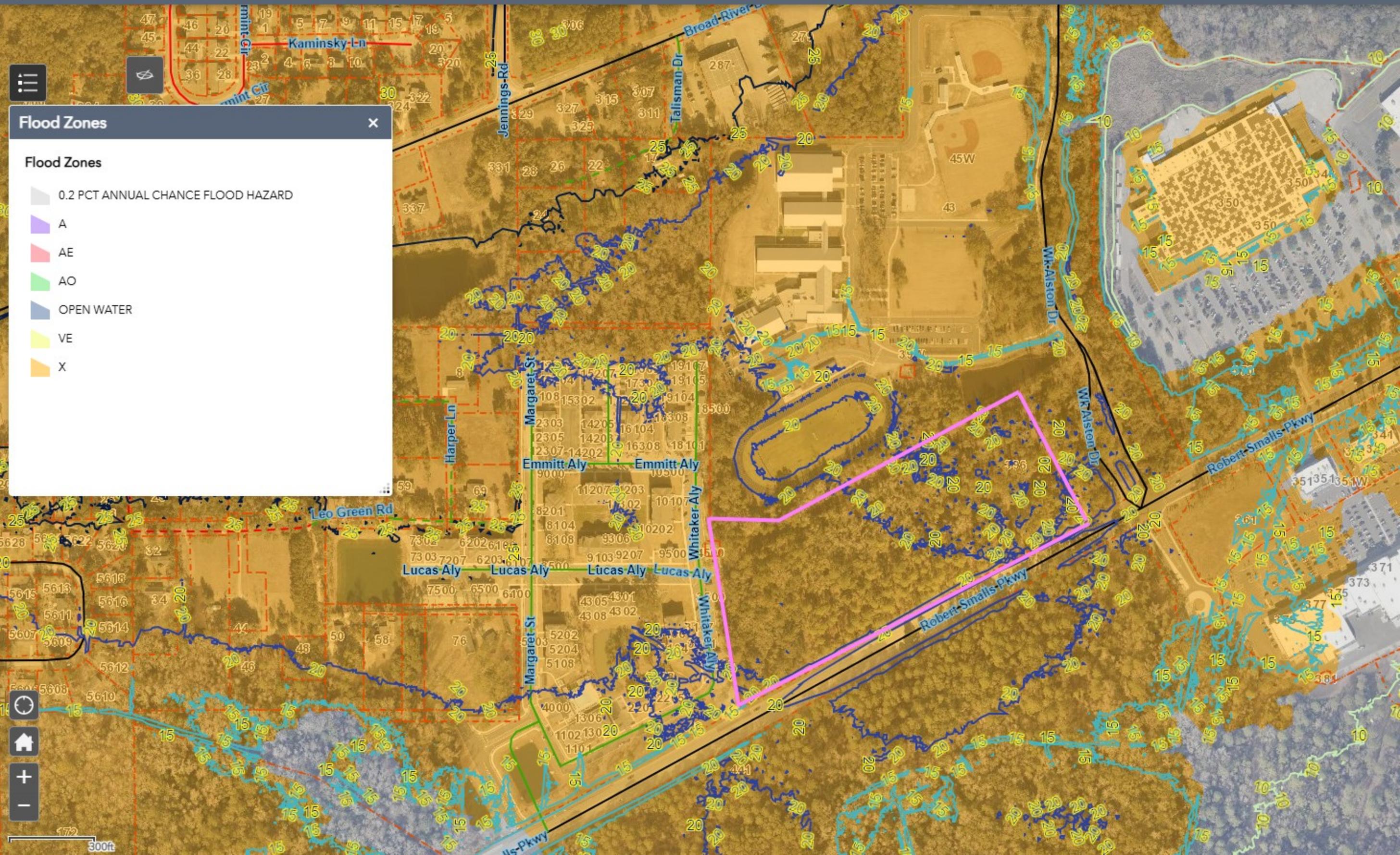
Proposed use of Site or Structure: Free standing Emergency Room and Patient-Centered Care

Square footage of any proposed construction: 11,620 SF and 5,750 SF

Provide a brief Project Narrative and outline any specific questions you would like addressed.
The proposed development is to include a new 11,620 SF Free-Standing Emergency Department (FSED) and 5,750 SF Patient-Centered Care (PCC) in the City of Beaufort, on a 14.4-acre parcel along Hwy-170. The property is undeveloped, identified as Tax Map Number R120 028 000 1248 0000, and zoned Institutional and Campus (IC) within the City of Beaufort municipal limits. Proposed drives, parking, landscaping, utilities, and other infrastructure will also be constructed in support of the development. The site is relatively flat with elevations running from 21 to 19 and will not require any wetland impacts.

CONTACT INFORMATION – Application form & supplementary information may be submitted via email:

Attention: Julie A. Bachety, Administrative Assistant II
City of Beaufort Department of Planning & Development Services
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: development@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606



Flood Zones

- 0.2 PCT ANNUAL CHANCE FLOOD HAZARD
- A
- AE
- AO
- OPEN WATER
- VE
- X

Map navigation controls including a home button, a plus sign for zoom in, and a minus sign for zoom out.

300ft



Broad River Blvd

W K Alston Dr

Beaufort Bull Sharks Wrestling Club

Claire's Walmart
Book Your Appointment Now

Walmart Supercenter

Nail Bar Lounge

Chicken Salad Chick
Chicken Salad Chick

Apartment

PetSmart Dog Training
Extra 20% Off Online Only

T.J. Maxx

Fifth Third Bank & ATM

Christ Our Lord Episcopal Church

Ulta Beauty
Shop Body Wash Brands

PetSmart

PetSmart Grooming

4000 Margaret
1-3 Bedroom Apartments

Robert Smalls Pkwy

Parris Island Gateway

US Hwy 21

Old Jeric

Search Google Maps



Share



← 352 Robert Smalls Pkwy

Beaufort, South Carolina

Google Street View

Apr 2022 See more dates



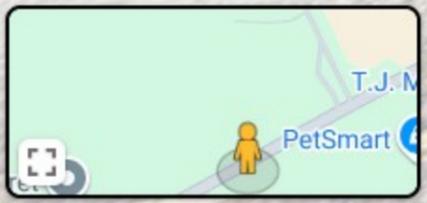
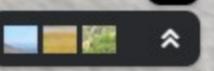
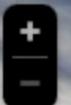
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Robert Smalls Pkwy

Google





Project: Beaufort FSED & PCC
City of Beaufort, SC

Date: June 4th, 2025

Applicant: Novant Health
Primary Contact: Matthew Stiene
Senior Vice President, Construction & Facility Services
2085 Frontis Plaza Blvd, Winston Salem NC, 27103
E: mhstiene@novanthealth.org
P: 704-316-4351

Agent: Ward Edwards, Inc.
Primary Contact: Conor Blaney, PE
P.O. Box 381
Bluffton, SC 29910
E: cblaney@wardedwards.com
P: (757) 814-0824

Description

The proposed development is to include a new 11,620 SF Free-Standing Emergency Department (FSED) and 5,750 SF Patient-Centered Care (PCC) in the City of Beaufort, on a 14.4-acre parcel along Hwy-170. The property is undeveloped, identified as Tax Map Number R120 028 000 1248 0000, and zoned Institutional and Campus (IC) within the City of Beaufort municipal limits. Proposed drives, parking, landscaping, utilities, and other infrastructure will also be constructed in support of the development. The site is relatively flat with elevations running from 21 to 19 and will not require any wetland impacts.

Zoning District

Institutional and Campus (IC)

Tree Removal

To support the proposed development, tree removal will be necessary. The final landscape plan will show open space area being planted in accordance with the City of Beaufort municode along with the required street trees and landscape island plantings.

Access

Vehicular access can be made from W.K. Alston Drive and the adjacent multifamily development to the West of the property. These surrounding roads will also serve for fire protection and emergency vehicle access.

Parking

The City of Beaufort municode requires 1 per 300 gross square feet for the PCC and 1 per 2 beds, plus 1 per staff, plus 1 per 4 employees for the FSED. The proposed land plan will exceed this required amount. Additionally, ADA parking stalls will be strategically located near building entrances and exceed the required amount as well.



Utilities

An existing 8-inch water main, owned and maintained by the Beaufort-Jasper Water and Sewer Authority (BJWSA), is available to serve this property and is located along W.K. Alston Drive. Additionally, the adjacent multifamily development has provided an 8-inch stub-out, which the proposed development may utilize as a secondary point of connection.

To allow for future capacity needs, the adjacent multifamily development also installed a pump station designed to accommodate the proposed development. As a result, no further system modifications or capacity analyses are required.

Drainage

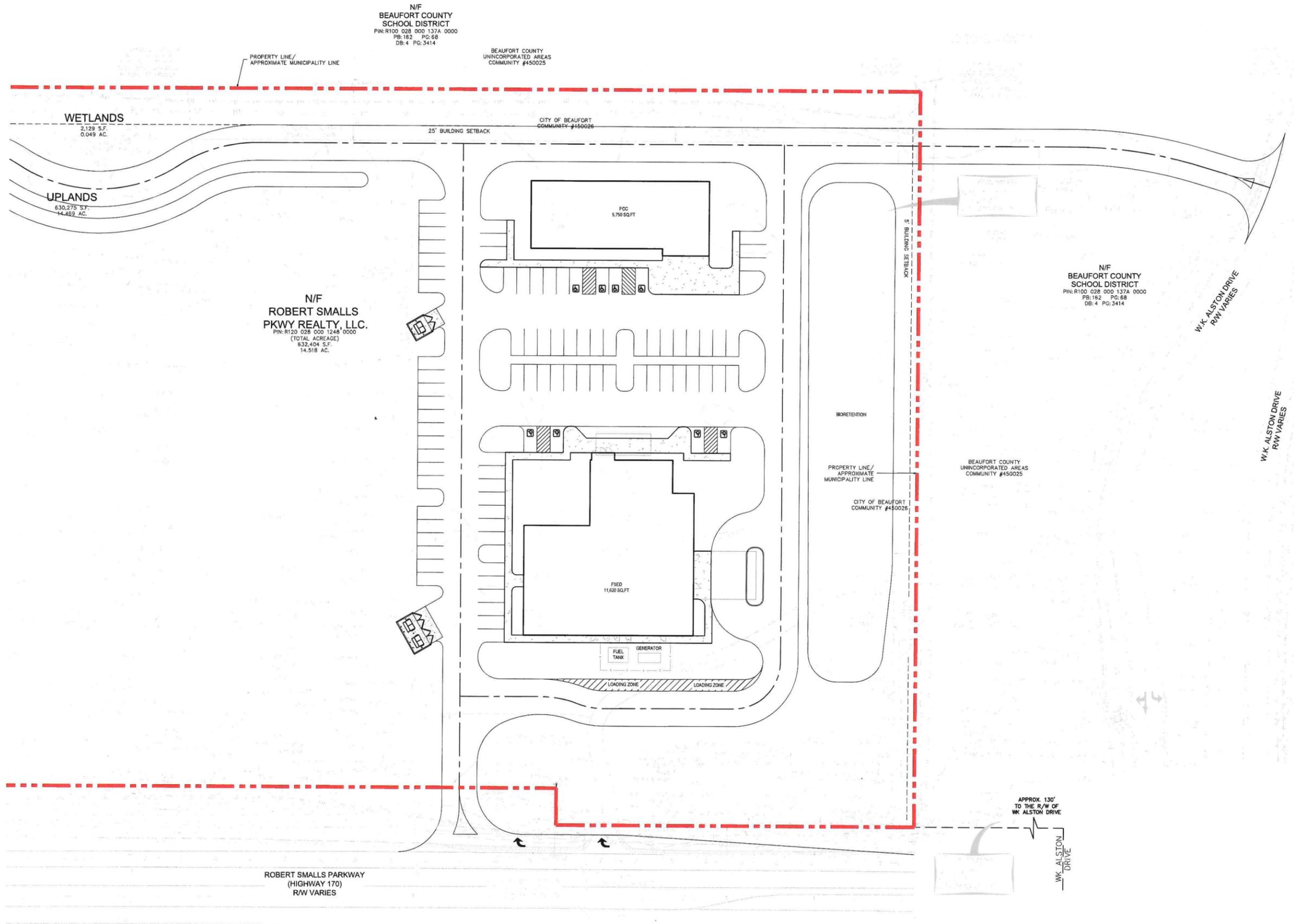
Stormwater runoff from the Western portion of the undeveloped site is currently conveyed to a storm drain located Southwest of the property, which discharges into Batter Creek and ultimately into the Beaufort River. Runoff from the eastern portion of the site is directed to an existing stormwater pond Northeast of the property, which also outfalls into Battery Creek, and subsequently to the Beaufort River. Stormwater generated from the proposed development will be collected into storm inlets and routed to onsite stormwater BMPs prior to discharging into Battery Creek. The proposed development will be designed to collect, treat, and discharge the post-development runoff to the same outfall location at a rate less than that of existing conditions to meet local and state stormwater regulations.

Erosion Control

Silt fence, inlet protection, dust control, and temporary/permanent seeding will be used to help control erosion on the site during construction activities. The existing access will be utilized as the construction entrance.



1"=50'



1"=30'



STAFF REPORT - TRC / Pre-design Meeting

DATE: 07/01/2025

GENERAL INFORMATION		
Applicant:	Ward Edwards (Engineer) for Novant Health Holding of SC, LLC	
Site Location/Address:	396 Robert Smalls Pkwy. (PIN: R120 003 000 0466 0000)	
Applicant's Request:	Development of a (1) Free-Standing Emergency and (2) Patient-Centered Care Facility. <u>Size of proposed buildings: (1) 11,620 sq. ft. & (2) 5,750 sq. ft. (=17,370 sq. ft.)</u>	
Current Zoning:	Institutional & Campus District (IC)	
Lot size:	14.41 ac. (~627,700 sq. ft.);	
ZONING DISTRICT INFORMATION		
<u>Institutional & Campus District (IC)</u>		
Minimum Lot Width:	50 ft.	
Max. Impervious Lot Coverage:	65% ~ 408,005 sq. ft. (9.36 ac.)	
Front Setback - Primary:	10 ft. min.	
Side Setback - Interior:	10 ft. min.	
Rear Setback:	25 ft. min.	
Parking Pad Location:	Where 10 or more parking spaces are required, the majority of the parking shall be located in the side or rear of the building.	
SURROUNDING ZONING, LAND USE AND REQUIRED BUFFERS		
<u>Adjacent Zoning</u>	<u>Adjacent Land Uses</u>	<u>Setbacks for Adjacent Zoning /Buffer required if rezoned</u>
North: County	Beaufort School District (Robert Smalls Leadership Academy)	N/A
South: IC	Undeveloped	N/A
East: T5-UC / RMX	Wal-Mart / Beaufort Station	N/A
West: IC	4000 Margaret Apartment Complex	N/A

Background:

The proposed development is to include a new 11,620 sf. Free-Standing Emergency Department (FSED) and a 5,750 sf. Patient-Centered Care Facility on a 14.4-acre parcel along S.C. Hwy. 170 (Robert Smalls Pkwy.). The development includes drives, parking, landscaping, utilities and other infrastructure. An existing 8-inch water main, owned by BJWSA is available to serve the site from W.K. Alston Dr. Also, a 8" water line stub-out could be utilized coming from 4000 Margaret. Moreover, an installed pump station at 4000 Margaret could serve this location as well.

FINDINGS AND RECOMMENDATIONS

➤ **Sec. 3.2 Permitted Uses (Table):**

- As per table, “Health Care Facilities” (as further defined in Sec. 3.5.1.C) are permitted outright in the “IC” district

➤ **Sec. 4.6.4 Building Design Standards – Specific to Conventional Districts:**

A. Building Materials and Details:

1. Building walls shall be finished in 1 or more (but not more than 3) of the following materials:
 - a. Wood, painted or natural.
 - b. Fiber cement board siding, smooth finish.
 - c. Concrete masonry units with stucco (CBS).
 - d. Reinforced concrete with stucco.
 - e. Brick.
 - f. Tabby (or stucco with oyster shell aggregate, typ.).
 - g. Corrugated metal.
 - h. Other compatible and authentic materials as approved by the Administrator.

B. Roof Forms, Specific to RMX and IC Districts:

1. In general a slope of 4:12-12:12 is appropriate for primary roofs, while ancillary roof slopes may be 3:12-5:12.
2. Permitted roof types include gabled, hipped, shed, barrel vaulted, flat, mono-pitch, mansard, and domed. Applied and partial (less than 3 sides) mansard roofs are not typically permitted, but may be at the discretion of the Design Review Body based on compatibility with the surrounding context, size, mass and scale of the structure.
3. Shed, flat, and mono-pitch roofs shall be concealed with parapets along the street frontage.
4. Specific to IC District:
 - a. Downspouts and gutters are to be galvanized steel, aluminum, or copper. Downspouts and gutters are to match in materials and finish.
 - b. Chimneys shall have a masonry exterior finish.
 - c. Roof penetrations shall be hidden or painted to match the color of the roof.
 - d. Skylights must be flat to the pitch of the roof and shall not be located on any sloped roof facing the primary frontage.

C. Windows and Doors:

1. **Transparency, Specific to RMX and IC Districts:** Building elevations that face the street shall have at least 40% of the first-floor wall area consist of windows and/or doors, and 15% of upper floors.



D. Massing and Articulation:

1. Building footprints shall not be larger than a single block. Where there is not a defined block structure in the area, see [Section 7.2.2 B.](#) for additional standards. → **Block Sizes:** Blocks shall be compact so that they are comfortably walkable and appropriate for their context.

- **Sec. 5.5.1.B Buffer Requirements – Corridor Buffers:**
 - Location: Robert Smalls Pkwy. (SC170) from Parris Island Gateway (US21) to the Broad River bridge – **Required Buffer Width: 50 ft. min.; Number of Trees/Shrubs req. per 100 ft. of frontage: 3 broad-leaved overstory trees / 8 understory trees / 25% coverage of buffer areas with shrubs**
- **Sec. 5.7.4 Parking Space Requirements – Services (Medical):**
 - Doctor’s Offices: 1 space per 300 gross square feet **(equals to at least 58 parking spaces)**
 - Other: 1 space per 2 beds, plus 1 space per staff, plus 1 space per 4 employees
→ see **Sec. 5.7.7 for Parking Lot Design** and **Sec. 5.7.8 for Parking Lot Screening and Landscaping requirements**
- **Sec. 5.8.3 & 5.8.4 General & Design Standards for Exterior Lighting**
- **Sec. 7.2.2 C. Street Stubs / Continuation of adjoining Street System: New developments shall if practicable, connect to any existing street stubs from adjacent properties and stub to all adjacent properties.**
- **Sec. 7.2.3 Lot Access Standards**
 - 2. Spacing / Curb Cuts: **Minimum Spacing requirements on Robert Smalls Pkwy.: 500 ft.**

**DISTANT ISLAND COMMUNITY
(NUMEROUS ADDRESSES)**

**Discussion on Bulkhead
Replacement Project**



DEVELOPMENT REVIEW PROCESS
TRC/PRE-DESIGN CONFERENCE FORM

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org Website: www.cityofbeaufort.org

Application Fee: \$0

OFFICE USE ONLY: Date Filed: 6/25/25 Application #: 28977 Zoning District: LPUD

Historic District? Y (N) Contributing? Y (N) Archeological Survey? Y (N)

TRC/Pre-Design meetings are informational in nature and are intended to provide applicants guidance through the Beaufort Development Code process. Comments made by Staff are advisory are non-binding and shall not be interpreted as official or formal decisions on the project. Formal comments shall be provided with the Application process.

Schedule: TRC/Pre-Design Conferences are held every Tuesday at 10:00 a.m. at City Hall (1911 Boundary Street), in the first-floor conference room. The deadline for applications is Tuesday, one week prior to the meeting.

Applicable Projects: A TRC/Pre-Design Conference is required for all new construction (except detached single-family residences), major subdivisions, and zoning or Code text amendments. It is recommended for change of occupancy, (ex. an office use changing to a restaurant use), and any use involving food service.

Submittal Requirements: All forms and information may be submitted digitally. In addition to a complete application form, applicants are encouraged to submit all possible additional information about a project to convey the complete concept. This may include maps, site plans (to scale or dimensioned) floor plans, elevations, etc.

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? [] Yes [x] No

Applicant, Property, and Project Information

Applicant Name: Distant Island Community Association on behalf of multiple property owners

Applicant Address: See attached list

Applicant E-mail: bill@mcsweeneyengineers.com Applicant Phone Number: 843-327-5735

Applicant Title: [] Homeowner [] Tenant [] Architect [x] Engineer [] Developer [] Contractor

Owner (if other than the Applicant): See attached list

Owner Address: see attached list

Project Name: Distant Island Bulkhead Replacement

Property Address: See attached list

Property Identification Number (Tax Map & Parcel Number): see attached list

Meeting Date Requested: next available



DEVELOPMENT REVIEW PROCESS
TRC/PRE-DESIGN CONFERENCE FORM

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org Website: www.cityofbeaufort.org

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: [Handwritten Signature] Date: 6/24/25

Required Project Information

Project Name: Distant Island Bulkhead Replacement
Existing use of Site or Structure: Residential/Private
Proposed use of Site or Structure: Residential/Private
Square footage of any proposed construction: 1900 Linear Feet

Provide a brief Project Narrative and outline any specific questions you would like addressed.
This project seeks to replace sections of an existing timber bulkhead along the shoreline of Distant Island Creek. State and Federal Permits have been obtained for the project with the exception of 660 and 670 Distant Island Drive. At these two lots, federal authorization has been granted and we are awaiting approval from BCM for the state permit. A total of 7 tree wells have been designed and permitted. These tree wells address the trees that are leaning over the water so we do not need to remove them during construction. The bulkhead anchoring system, as shown on the attached plans, is such that it can be installed through the face of the bluff without digging around tree roots. This method of anchoring the bulkhead is far less invasive, requires no excavation and cause far less impact to the trees compared to a conventional bulkhead anchoring system. Some trees may need to be trimmed to permit access and this work will be accomplished using a certified arborist; however, no tree removals are requested or necessary. The arborist will obtain the proper city permits prior to trimming and this will be accomplished under a separate application. A minor amount of backfill will be required and any disturbed areas are required to be restored using DHEC BMPs. The work will be conducted from a barge and from land. Overland drainage patterns will not change. The reason for this request is to discuss tree protection. Many of the trees within the project area are located adjacent to the failing structure which is to be removed (per the permit) and replaced. As such, the contractor must work in close proximity of the trees and tree canopies to install this work. There is no other way. The structure has been designed with an anchoring system, permitted tree wells, and an 18" offset from the existing structure to address construction related issues around the trees and to mitigate, to the furthest extent possible, impact to trees. We are requesting further guidance and approvals so that the job, which is currently bidding to contractors, is not shut down when they start.

E-Mail: development@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

ADJACENT PROPERTY TMS:	OWNER:	ADDRESS:
1. R123 018 000 0768 0000	1. DISTANT ISLAND CO LP	1. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
2. R123 018 000 0650 0000	2. O'BRIANT JOHN SAMUEL JR	2. 530 DISTANT ISLAND DR, BEAUFORT, SC 29907
3. R123 018 000 0563 0000	3. ROLFE ROBERT C ROLFE DIANE C	3. 540 DISTANT ISLAND DR, BEAUFORT, SC 29907
4. R123 018 000 0637 0000	4. NATHAN K SMITH REV TRUST OF 2008 SMITH ZACHARY DIXON	4. 550 DISTANT ISLAND DR, BEAUFORT, SC 29907
5. R123 018 000 0768 0000	5. DISTANT ISLAND CO LP	5. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
6. R123 018 000 0581 0000	6. SCANDLEN BENJAMIN BLAKE, SCANDLEN AMANDA ALICE	6. 560 DISTANT ISLAND DR, BEAUFORT, SC 29907
7. R123 018 000 0638 0000	7. KATHRYN K SMOKE TRUST	7. 570 DISTANT ISLAND DR, BEAUFORT, SC 29907
8. R123 018 000 0651 0000	8. YARALIAN ZAVAN YARALIAN, LORRAINE M	8. 580 DISTANT ISLAND DR, BEAUFORT, SC 29907
9. R123 018 000 0768 0000	9. DISTANT ISLAND CO LP	9. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
10. R123 018 000 0639 0000	10. JAN T MCLAREN LIVING TRUST	10. 590 DISTANT ISLAND DR, BEAUFORT, SC 29907
11. R123 018 000 0853 0000	11. SARATHY AARON P WALLACE, JENNIFER K	11. 610 DISTANT ISLAND DR, BEAUFORT, SC 29907
12. R123 018 000 0768 0000	12. DISTANT ISLAND CO LP	12. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
13. R123 018 000 0582 0000	13. EVANS GEORGE F	13. 620 DISTANT ISLAND DR, BEAUFORT, SC 29907
14. R123 018 000 0640 0000	14. PRAIT DONALD I JR PRAIT, GERALDINE O	14. 630 DISTANT ISLAND DR, BEAUFORT, SC 29907
15. R123 018 000 0768 0000	15. DISTANT ISLAND CO LP	15. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
16. R123 018 000 0533 0000	16. DISTANT ISLAND CO LP	16. 550 DISTANT ISLAND DR, BEAUFORT, SC 29907
17. R123 018 000 0768 0000	17. RILEY LIVING TRUST	17. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
18. R123 018 000 0668 0000	18. DISTANT ISLAND CO LP	18. 720 DISTANT ISLAND DR, BEAUFORT, SC 29907
	18. DISTANT ISLAND COMMUNITY ASSOC INC	

19. R123 018 000 0498 0000 Sentimore Cristopher J and Mary K

⁶⁶⁰
670 Distant Island Dr Beaufort, SC 29907

20. R123 018 000 0558 0000 William H Chatfield Trust

670 Distant Island Dr. Beaufort, SC 29907



Zoning Classification

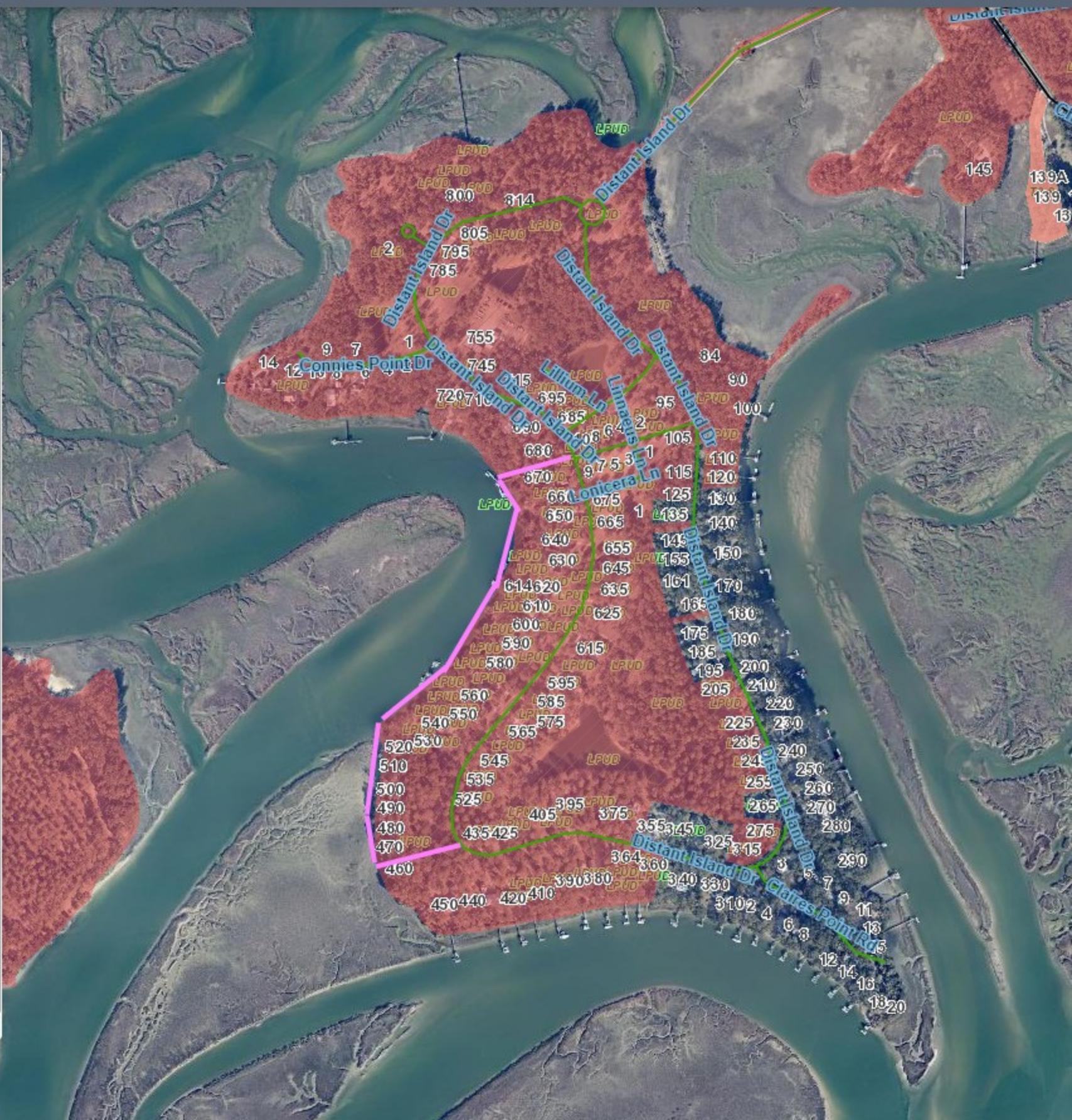
CobData

- HISTORIC DISTRICT-Preservation Neighborhood
--
- HISTORIC DISTRICT-Conservation Neighborhood
—
- Bladen Street Redevelopment District
—
- Boundary Street Redevelopment District
—

- Retail Overlay (Church & Green Street)
--
- Retail Overlay
--

Zoning Districts

- LEGACY PUD (LPUD)
- T1
- T3-S
- T3-N
- T4-HN
- T4-N
- T4-NA
- T5-DC
- T5-UC
- T5-UC / RMX
- RMX
- IC
- MH
- LI
- MR





Flood Zones [Close]

Flood Zones

- 0.2 PCT ANNUAL CHANCE FLOOD HAZARD
- A
- AE
- AO
- OPEN WATER
- VE
- X

600ft

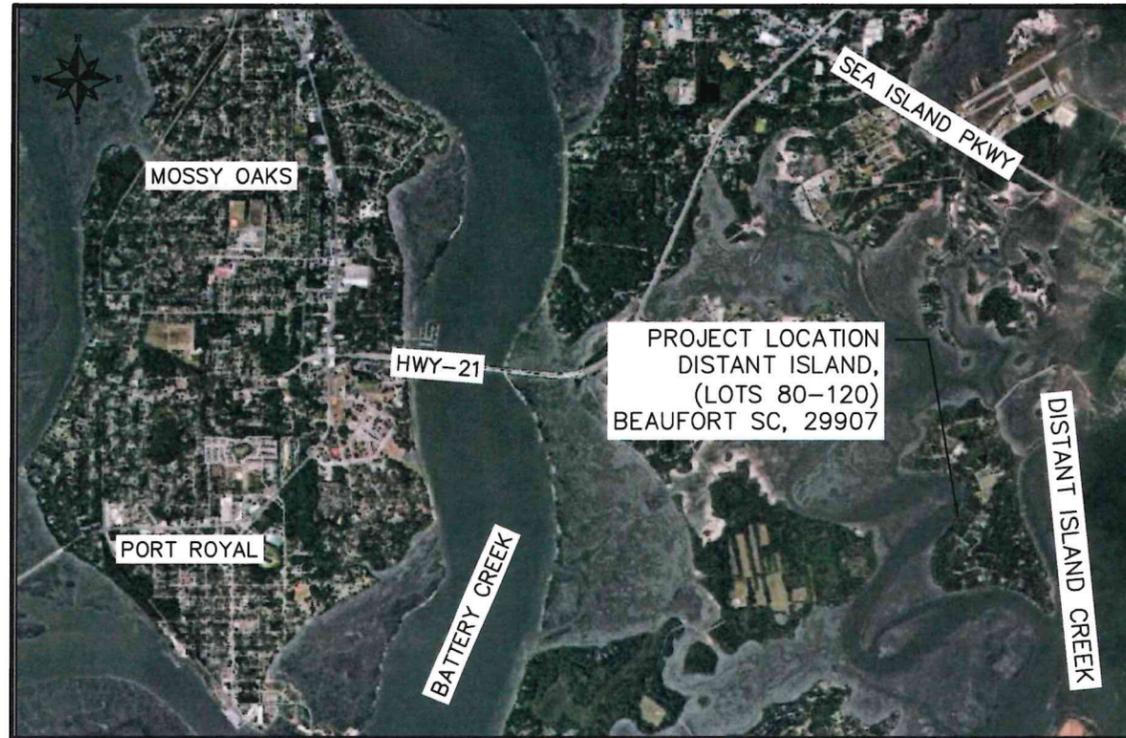
Home, Zoom In, Zoom Out



Know what's below.
Call before you dig.

DISTANT ISLAND BULKHEAD REPLACEMENT BEAUFORT COUNTY, SC

McSweeney Engineers
300W Coleman Blvd, Ste 203B
Mount Pleasant, SC 29464
(843) 974-5621
www.mcsweeneyengineers.com



PROJECT VICINITY
SCALE: N.T.S.



PROJECT LOCATION
SCALE: N.T.S.

**DISTANT ISLAND
BULKHEAD REPLACEMENT**
BEAUFORT COUNTY, SC

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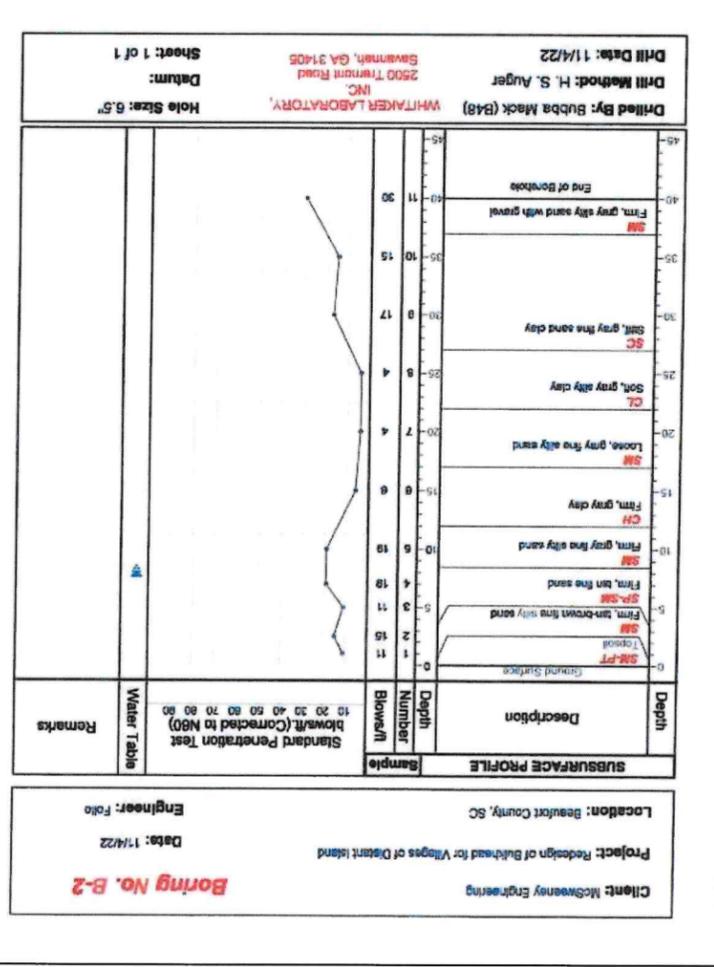
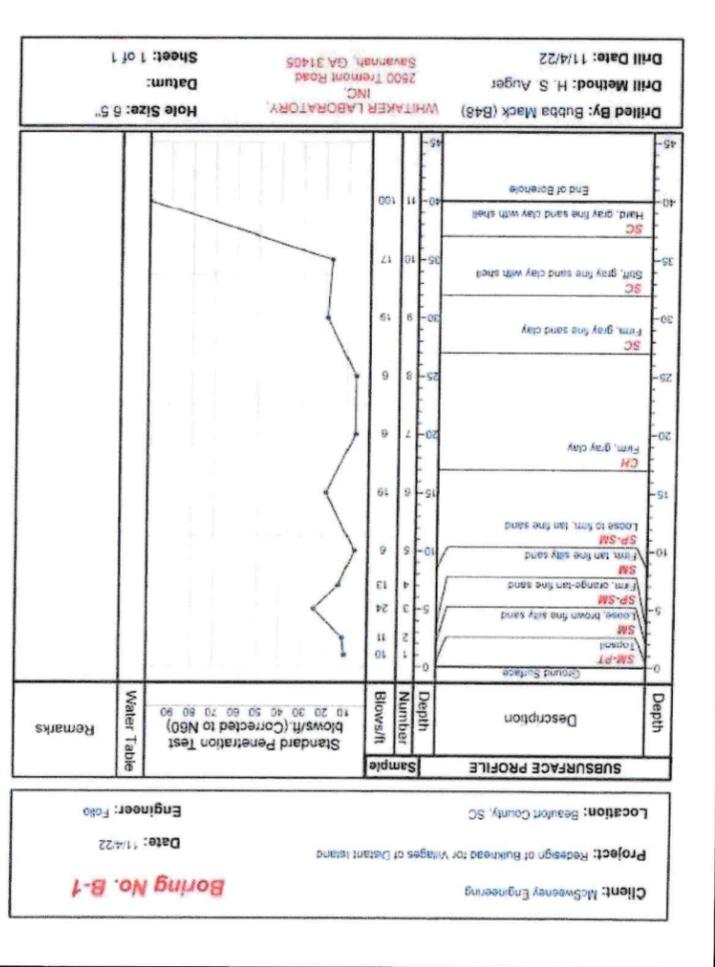


DESIGNED BY: WDB
DRAWN BY: HGH
CHECKED BY: DBM
DATE: 6/3/25
REV. DATE:

T1
TITLE SHEET

SEDIMENT AND EROSION CONTROL:

1. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
 - a. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
 - b. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED EVERY SEVEN (7) DAYS, IF SITE INSPECTIONS IDENTIFY BMPs THAT ARE DAMAGED OR ARE NOT OPERATING EFFECTIVELY; MAINTENANCE MUST BE PERFORMED AS SOON AS PRACTICAL OR AS REASONABLY POSSIBLE AND BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE.
 - c. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST ONCE EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER, IF SITE INSPECTIONS IDENTIFY BMPs THAT ARE DAMAGED OR ARE NOT OPERATING EFFECTIVELY; MAINTENANCE MUST BE PERFORMED AS SOON AS PRACTICAL OR AS REASONABLY POSSIBLE AND BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE.
2. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING CONSTRUCTION. ALL DISTURBED AREAS SHALL BE GRADED, GATED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE INSTALLATION.
3. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
4. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
5. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
6. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
7. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER DISCHARGES.
8. GRASSSED AREAS DISTURBED DURING CONSTRUCTION ARE TO BE REGRADED AND RESEEDED AT THE COMPLETION OF THE PROJECT AND INCLUDED IN THE CONTRACTOR'S BID.



1. THE CONTRACTOR SHALL KEEP A COPY OF THE CONTRACT DOCUMENTS ON SITE AT ALL TIMES DURING THE WORK.
2. ELEVATIONS IF SHOWN ARE BASED ON NAVD 88.
3. ALL EXISTING DIMENSIONS, ELEVATIONS AND CONDITIONS RELATING TO THE WORK SHALL BE FIELD VERIFIED BY THE CONTRACTOR. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE ORDERING MATERIALS AND STARTING THE WORK.
4. CONTRACTOR SHALL MAINTAIN ADEQUATE SURVEY CONTROL AT ALL TIMES TO ESTABLISH AND MAINTAIN ALL LINES AND ELEVATIONS.
5. THE SIZE AND LOCATION OF ALL EXISTING UTILITIES IMPACTED BY THE WORK SHALL BE FIELD VERIFIED AND APPROVED BY THE OWNER. AT NO ADDITIONAL COST TO THE OWNER.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE THE SAFETY OF THE FACILITY. THE CONTRACTOR IS RESPONSIBLE TO ERCT, MAINTAIN AND REMOVE TEMPORARY SHORING STARTING THE WORK.
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DONE TO STRUCTURES, UTILITIES, AND VESSELS OR INJURIES TO THE PUBLIC DURING THE PERFORMANCE OF THE WORK. ANY DAMAGE CAUSED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
8. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ENVIRONMENTAL CONTROLS AS REQUIRED BY FEDERAL, STATE, AND MUNICIPAL REGULATIONS AND PERMITS. ENVIRONMENTAL CONTROLS SHALL INCLUDE BUT NOT LIMITED TO TURBIDITY, DUST, AND DEBRIS.
9. THE CONTRACTOR SHALL FOLLOW ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS, INCLUDING THE FEDERAL DEPARTMENT OF LABOR, SAFETY, HEALTH ACT, U.S. ARMY CORPS OF ENGINEERS, BUREAU OF COASTAL MANAGEMENT, AND PERMITS.
10. STORAGE, FUELING, AND LUBRICATION OF EQUIPMENT AND MOTORIZED VEHICLES SHALL BE CONDUCTED IN A MANNER THAT AFFORDS THE MAXIMUM PROTECTION AGAINST SPILL AND EVAPORATION. FUEL, LUBRICANTS AND OIL SHALL BE MANAGED AND STORED IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS. THERE SHALL BE NO STORAGE OF FUEL ON THE PROJECT SITE. FUEL MUST BE BROUGHT TO THE SITE AS NEEDED.
11. STANDARD CONSTRUCTION WORK HOURS SHALL BE BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY IN ORDER TO MINIMIZE NOISE AND LIGHT DISTURBANCE TO NEARBY RESIDENTIAL PROPERTIES. NO WORK SHALL BE PERFORMED ON SUNDAY. SPECIAL WORK OUTSIDE OF THESE HOURS SHALL BE SCHEDULED WITH THE OWNER.
12. CONTRACTOR SHALL PROVIDE CONTROL MEASURES AS NECESSARY FOR PREVENTING DEBRIS FROM ENTERING THE WATER.
13. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AN AS-BUILT SURVEY OF THE PROJECT AND PROVIDED IN AUTOCAD AND PDF FORMATS.
14. CONTRACTOR BEARS FULL RESPONSIBILITY FOR ENSURING THAT NEW WORK IS INSTALLED IN ACCORDANCE WITH THE PERMITS.

GENERAL NOTES:

McSweeney Engineers

300W Coleman Blvd, Ste 203B
Mount Pleasant, SC 29464
(843) 974-5621
www.mcsweeneyengineers.com

BEAUFORT COUNTY, SC

REPLACEMENT

DISTANT ISLAND BULKHEAD

STATE OF SOUTH CAROLINA
ENGINEERS
No. 5140

STATE OF SOUTH CAROLINA
ENGINEERS
No. 5140

DESIGNED BY: WDB
DRAWN BY: HGH
CHECKED BY: DBM
DATE: 6/3/25
REV. DATE:

G1

SOIL BORINGS & NOTES

TIMBER OPTION SCHEDULE

DISTANT ISLAND BULKHEAD REPLACEMENT SCHEDULE - TIMBER OPTION											
Lot #	Parcel Address	Name	Approximate Bulkhead Length (ft) ^a	Approximate Vertical Exposure (ft) ^b	Estimated Anchor Rod Length ^{c,f}	Sheet Pile Length (ft) ^d	Wale No. and Size ^e	Anchor and Soldier Pile Max. Spacing (ft)	Soldier Pile Length (ft)	Anchor ^g	Min. Anchor Capacity (kips)
80	470 Distant Island Dr	DICO	86	7	20	18	(3) 6x8	5	22	B10	15
82	530 Distant Island Dr	O'Briant	165	7	20	18	(3) 6x8	5	22	B10	15
84	540 Distant Island Dr	Rolle	133	7	20	18	(3) 6x8	5	22	B10	15
86	550 Distant Island Dr	Smith	101	7	20	18	(3) 6x8	5	22	B10	15
--	Easement Path	DICA	25	6	20	18	(3) 6x8	5	22	B10	15
88	560 Distant Island Dr	Scandlen	106	6	20	18	(3) 6x8	5	22	B10	15
90	570 Distant Island Dr	Smoke	111	8	20	22	(4) 6x8	5	26	B10	15
92	580 Distant Island Dr	Yaralian	100	9	20	22	(4) 6x8	4	26	B10	18
--	Easement Path	DICA	25	10	20	22	(5) 6x8	4	26	B10	18
94	590 Distant Island Dr	McLaren	107	9	20	22	(4) 6x8	4	26	B10	18
98	610 Distant Island Dr	Sarathy & Wallace	127	7	20	18	(3) 6x8	5	20	B10	15
--	Easement Path	DICA	22	6	20	18	(3) 6x8	5	22	B10	15
100	620 Distant Island Dr	Evans	124	8	20	22	(4) 6x8	5	26	B10	15
102	630 Distant Island Dr	Pratt	128	8	20	22	(4) 6x8	5	26	B10	15
--	Easement Path	DICA	18	6	20	18	(3) 6x8	5	22	B10	15
106	650 Distant Island Dr	Riley	95	6	20	18	(3) 6x8	5	22	B10	15
108	660 Distant Island Dr	Sentimore	78	6	20	18	(3) 6x8	5	22	B10	15
110	670 Distant Island Dr	Chatfield	94	6	20	18	(3) 6x8	5	22	B10	15
--	Easement Path	DICA	58	8	20	22	(4) 6x8	5	26	B10	15
120	Boat Landing	DICO	268	4	24	12	(2) 6x6	5	16	B8	6

Total Length 1971

Notes:

- a Proposed wall lengths may vary from what is shown and does not include returns or tree wells. Contractor is responsible for verification.
- b Approximate maximum exposure of proposed bulkhead. Contractor is responsible for verification. Contractor shall notify engineer-of-record if conditions differ.
- c This is calculated rod length and does not include the distance between the end of the anchor rod and existing embankment or the "pull back" distance when setting the anchors. Contractors must account for, and include in their bid, the additional lengths of anchor rods that may be required to achieve anchor capacity.
- d All timber sheet pile shall be marine or seawall grade southern yellow pine, sloppy-v profile. Thickness of sheeting is 3 inches (3-by) except for the Boat Landing which is 2 inches (2-by).
- e All timber wales shall be southern yellow pine, Grade No. 1, 2.5 CCA. Number of wales is based on estimated exposed height. Contractor is responsible for verification.
- f All anchor rods shall be #6 Grade 75 hot-dipped galvanized as supplied by Williams-Form or engineer approved equivalent.
- g Galvanized Percussion Driven Earth Anchor by Platipus Earth Anchoring Systems or engineer approved equivalent.

NOTE
 THESE SCHEDULES HAVE BEEN PROVIDED AS A COURTESY TO CONTRACTORS FOR THE DEVELOPMENT OF BIDDING QUANTITIES. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR VERIFYING ALL QUANTITIES. BIDS MUST BE ESTABLISHED USING THE CONTRACTOR'S TAKE OFF. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL QUANTITIES NECESSARY FOR FURNISHING A LUMP SUM BID IN ACCORDANCE WITH THE STRUCTURAL DETAILS INDICATED HEREIN.

FRP OPTION SCHEDULE

DISTANT ISLAND BULKHEAD REPLACEMENT SCHEDULE - FRP OPTION											
Lot #	Parcel Address	Name	Approximate Bulkhead Length (ft) ^a	Approximate Vertical Exposure (ft) ^b	Estimated Anchor Rod Length ^c	Sheet Pile Length (ft) ^d	Wale No. and Size ^e	Anchor Max. Spacing (ft)	Anchor ^f	Min. Anchor Capacity (kips)	
80	470 Distant Island Dr	DICO	86	7	20	18	(1) 8x8	5	B10	15	
82	530 Distant Island Dr	O'Briant	165	7	20	18	(1) 8x8	5	B10	15	
84	540 Distant Island Dr	Rolle	133	7	20	18	(1) 8x8	5	B10	15	
86	550 Distant Island Dr	Smith	101	7	20	18	(1) 8x8	5	B10	15	
--	Easement Path	DICA	25	6	20	18	(1) 8x8	5	B10	15	
88	560 Distant Island Dr	Scandlen	106	6	20	18	(1) 8x8	5	B10	15	
90	570 Distant Island Dr	Smoke	111	8	20	22	(1) 8x8	5	B10	15	
92	580 Distant Island Dr	Yaralian	100	9	20	22	(1) 8x8	4	B10	18	
--	Easement Path	DICA	25	10	20	22	(1) 8x8	4	B10	18	
94	590 Distant Island Dr	McLaren	107	9	20	22	(1) 8x8	4	B10	18	
98	610 Distant Island Dr	Sarathy & Wallace	127	7	20	18	(1) 8x8	5	B10	15	
--	Easement Path	DICA	22	6	20	18	(1) 8x8	5	B10	15	
100	620 Distant Island Dr	Evans	124	8	20	22	(1) 8x8	5	B10	15	
102	630 Distant Island Dr	Pratt	128	8	20	22	(1) 8x8	5	B10	15	
--	Easement Path	DICA	18	6	20	18	(1) 8x8	5	B10	15	
106	650 Distant Island Dr	Riley	95	6	20	18	(1) 8x8	5	B10	15	
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110	670 Distant Island Dr	Chatfield	94	6	20	18	(1) 8x8	5	B10	15	
--	Easement Path	DICA	58	8	20	22	(1) 8x8	5	B10	15	
120	Boat Landing	DICO	268	4	24	12	(2) 6x6	5	B8	6	

Total Length 1971

Notes:

- a Proposed wall lengths may vary from what is shown and does not include returns or tree wells. Contractor is responsible for verification.
- b Approximate maximum exposure of proposed bulkhead. Contractor is responsible for verification. Contractor shall notify engineer-of-record if conditions differ.
- c This is calculated rod length and does not include the distance between the end of the anchor rod and existing embankment or the "pull back" distance when set. Contractors must account for, and include in their bid, the additional lengths of anchor rods that may be required to achieve anchor capacity.
- d All timber wales shall be southern yellow pine, Grade No. 1, 2.5 CCA.
- e All anchor rods shall be #6 Grade 75 hot-dipped galvanized as supplied by Williams-Form or engineer approved equivalent.
- f Galvanized Percussion Driven Earth Anchor by Platipus Earth Anchoring Systems or engineer approved equivalent.

DISTANT ISLAND BULKHEAD REPLACEMENT
 BEAUFORT COUNTY, SC



DESIGNED BY: WDB
 DRAWN BY: HGH
 CHECKED BY: DBM
 DATE: 6/3/25
 REV. DATE:



SITE PLAN 1 - TIMBER OPT.

C1

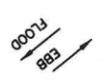
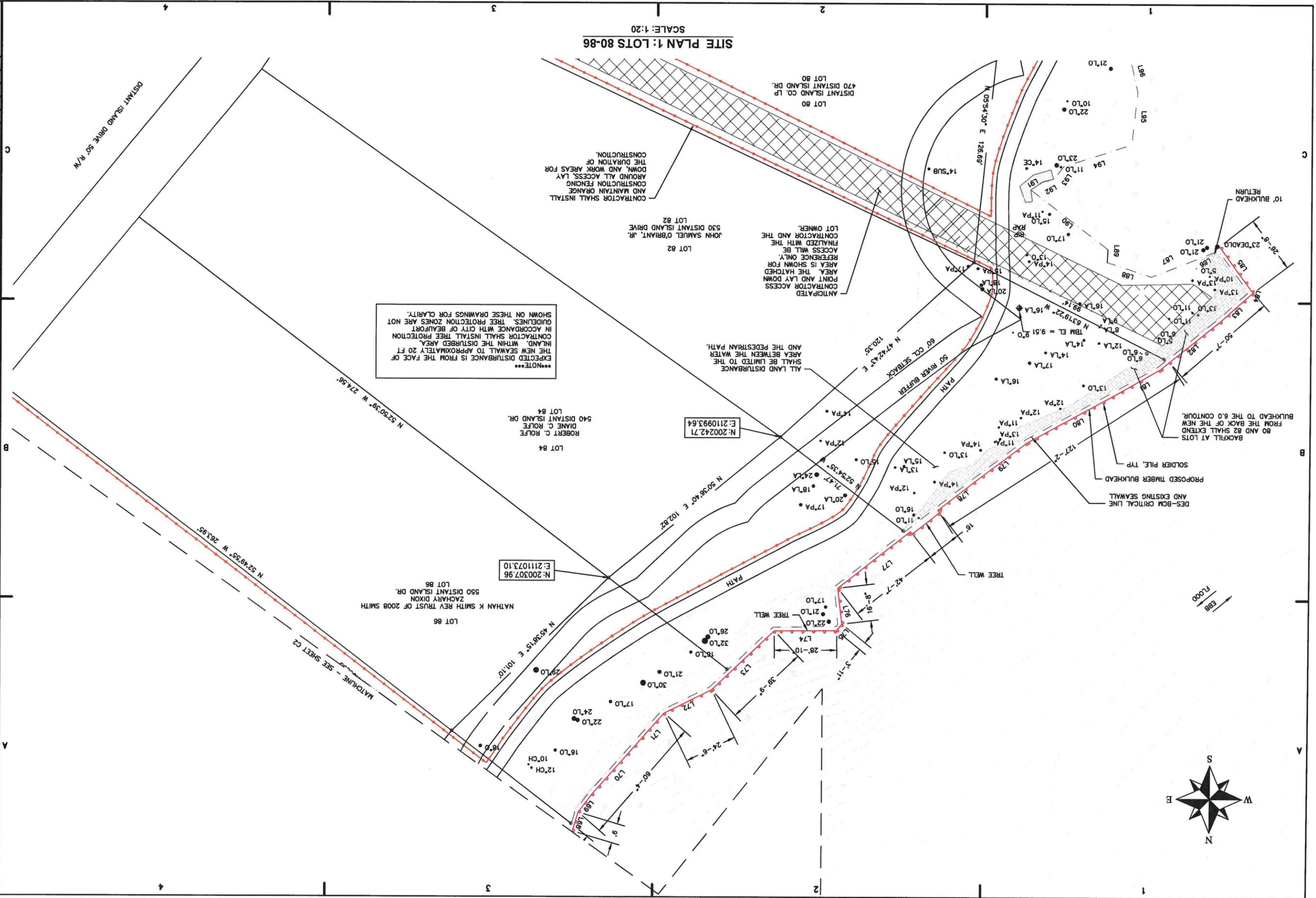
DESIGNED BY: WDB	CHECKED BY: DBM
DRAWN BY: HGH	DATE: 6/3/25
REV. DATE:	




DISTANT ISLAND BULKHEAD REPLACEMENT

BEAUFORT COUNTY, SC

300W Coleman Blvd, Ste 203B
Mount Pleasant, SC 29464
(843) 974-5621
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C2

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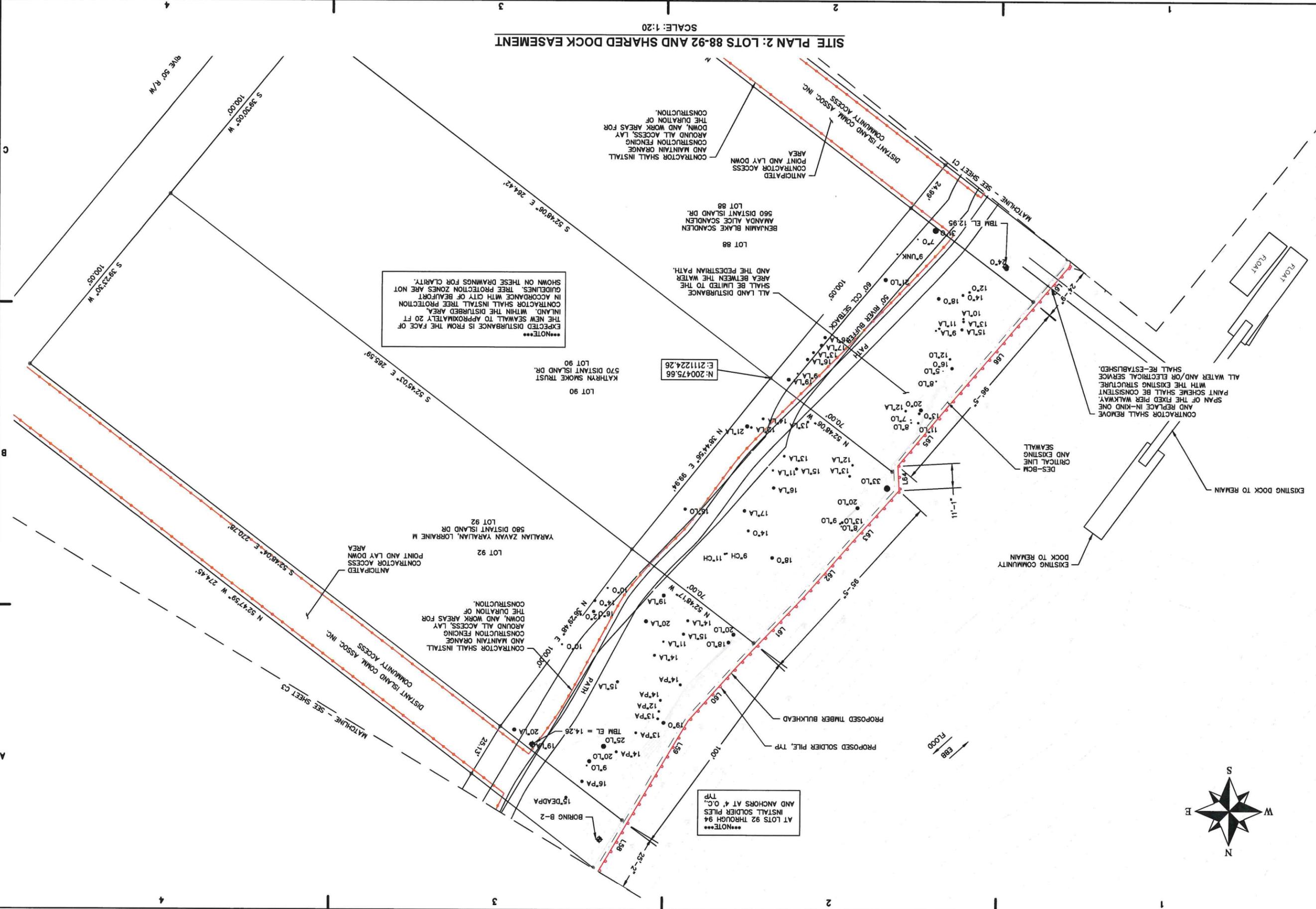
DISTANT ISLAND BULKHEAD REPLACEMENT

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SITE PLAN 2: LOTS 88-92 AND SHARED DOCK EASEMENT

SCALE: 1:20



NOTE
EXPECTED DISTURBANCE IS FROM THE FACE OF INLAND, WITHIN THE DISTURBED AREA. CONTRACTOR SHALL INSTALL TREE PROTECTION GUIDELINES WITH CITY OF BEAUFORT IN ACCORDANCE WITH CITY OF BEAUFORT SHOWN ON THESE DRAWINGS FOR CLARITY.

NOTE
AT LOTS 92 THROUGH 94
INSTALL SOLDIER PILES
AND ANCHORS AT 4' O.C.
TYP



CONTRACTOR SHALL REMOVE AND REPLACE IN-KIND ONE SPAN OF THE FIXED PIER WALKWAY. PAINT SCHEME SHALL BE CONSISTENT WITH THE EXISTING STRUCTURE. ALL WATER AND/OR ELECTRICAL SERVICE SHALL RE-ESTABLISHED.

CONTRACTOR SHALL INSTALL AND MAINTAIN ORANGE CONSTRUCTION FENCING AROUND ALL ACCESS LAY DOWN, AND WORK AREAS FOR THE DURATION OF CONSTRUCTION.

CONTRACTOR SHALL INSTALL AND MAINTAIN ORANGE CONSTRUCTION FENCING AROUND ALL ACCESS LAY DOWN, AND WORK AREAS FOR THE DURATION OF CONSTRUCTION.

DOCK TO REMAIN
EXISTING COMMUNITY

DES-BCM
AND EXISTING
SEAWALL

EXISTING DOCK TO REMAIN

FLOAT
FLOAT

LOT 88
BENJAMIN BLAKE SCANDLEN
AMANDA ALICE SCANDLEN
560 DISTANT ISLAND DR.
LOT 88

LOT 90
KATHRYN SMOKE TRUST
570 DISTANT ISLAND DR.
LOT 90

LOT 92
YARALAN ZAVAN YARALAN, LORRAINE M
580 DISTANT ISLAND DR.
LOT 92

FLOOD
EBB

8 1/2" x 50' R/W

S 38°50'05" W
100.00'

S 38°23'30" W
100.05'

S 52°45'03" E 265.59'

S 52°48'08" E 284.43'

N 52°47'59" W 274.45'

S 52°48'04" E 270.78'

N 36°29'48" E 100.00'

N 52°48'17" W 70.00'

N 38°44'58" E 99.94'

N 52°48'08" W 70.00'

N 52°48'17" W 70.00'

N 38°44'58" E 99.94'

N 52°48'08" W 70.00'

N 38°44'5

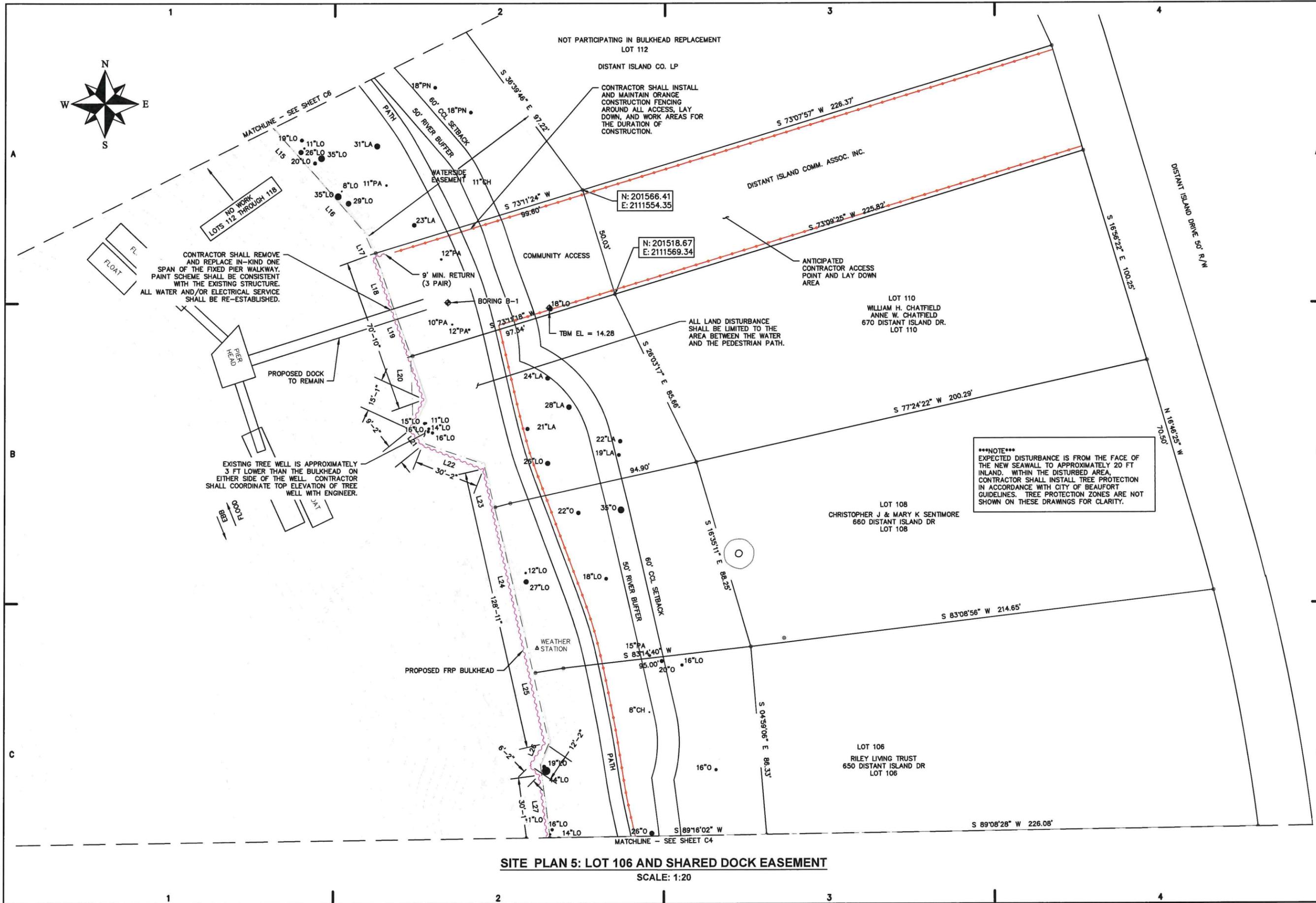
DISTANT ISLAND BULKHEAD REPLACEMENT

BEAUFORT COUNTY, SC



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C5.1
 SITE PLAN 5-FRP OPTION



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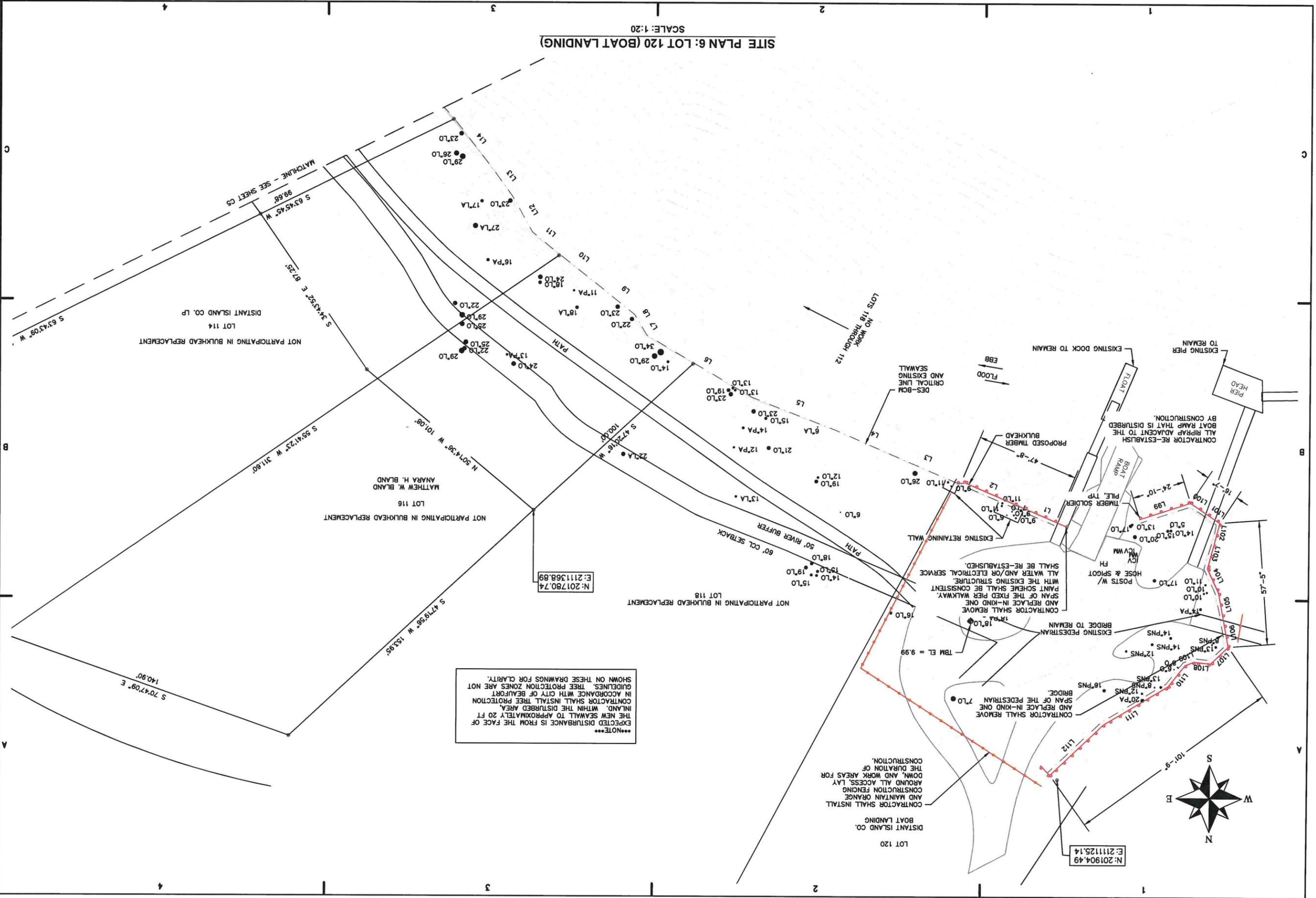
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 BEAUFORT COUNTY, SC




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SITE PLAN 6 - - - - - TIMBER OPT.

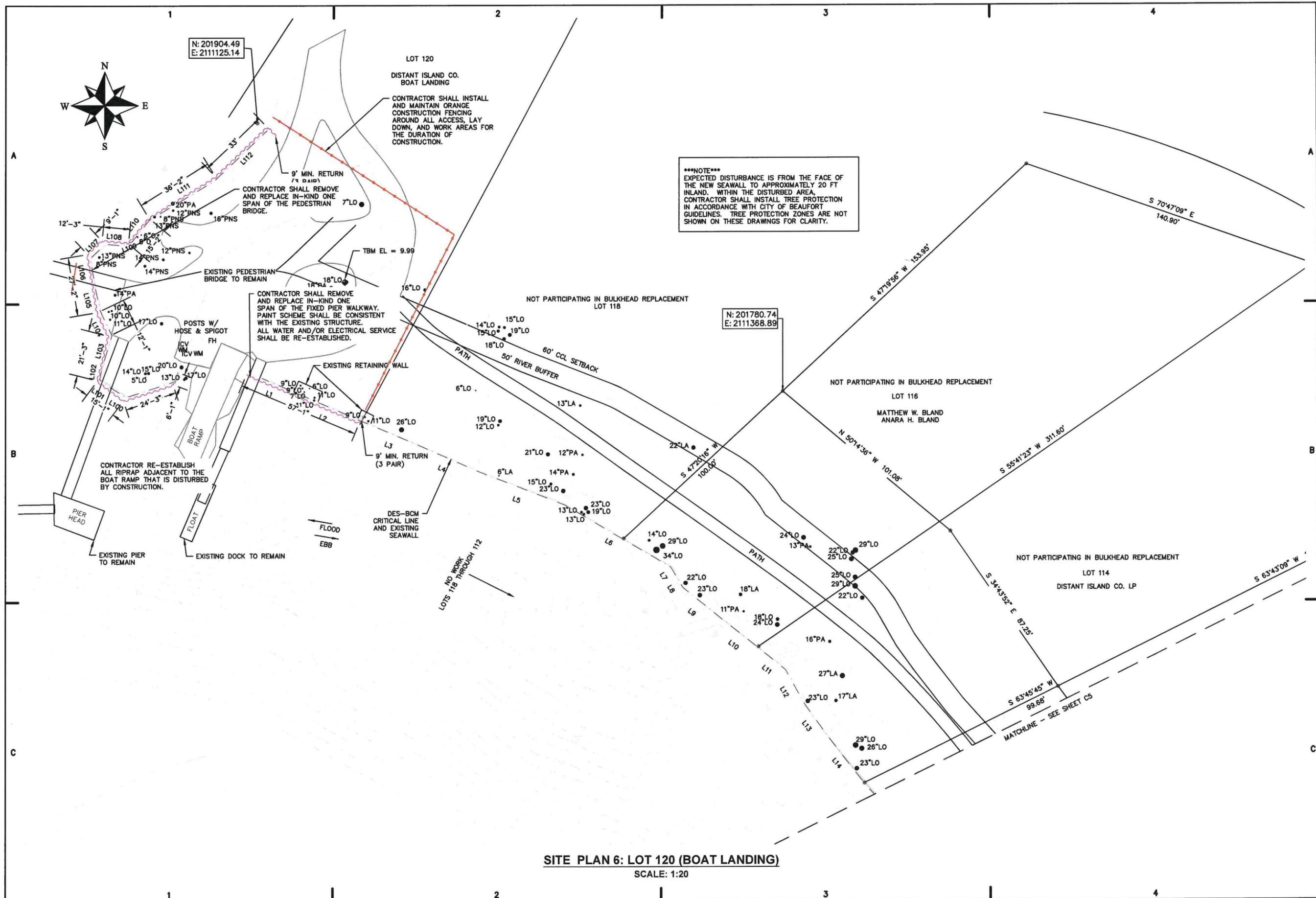


DISTANT ISLAND BULKHEAD REPLACEMENT
 BEAUFORT COUNTY, SC



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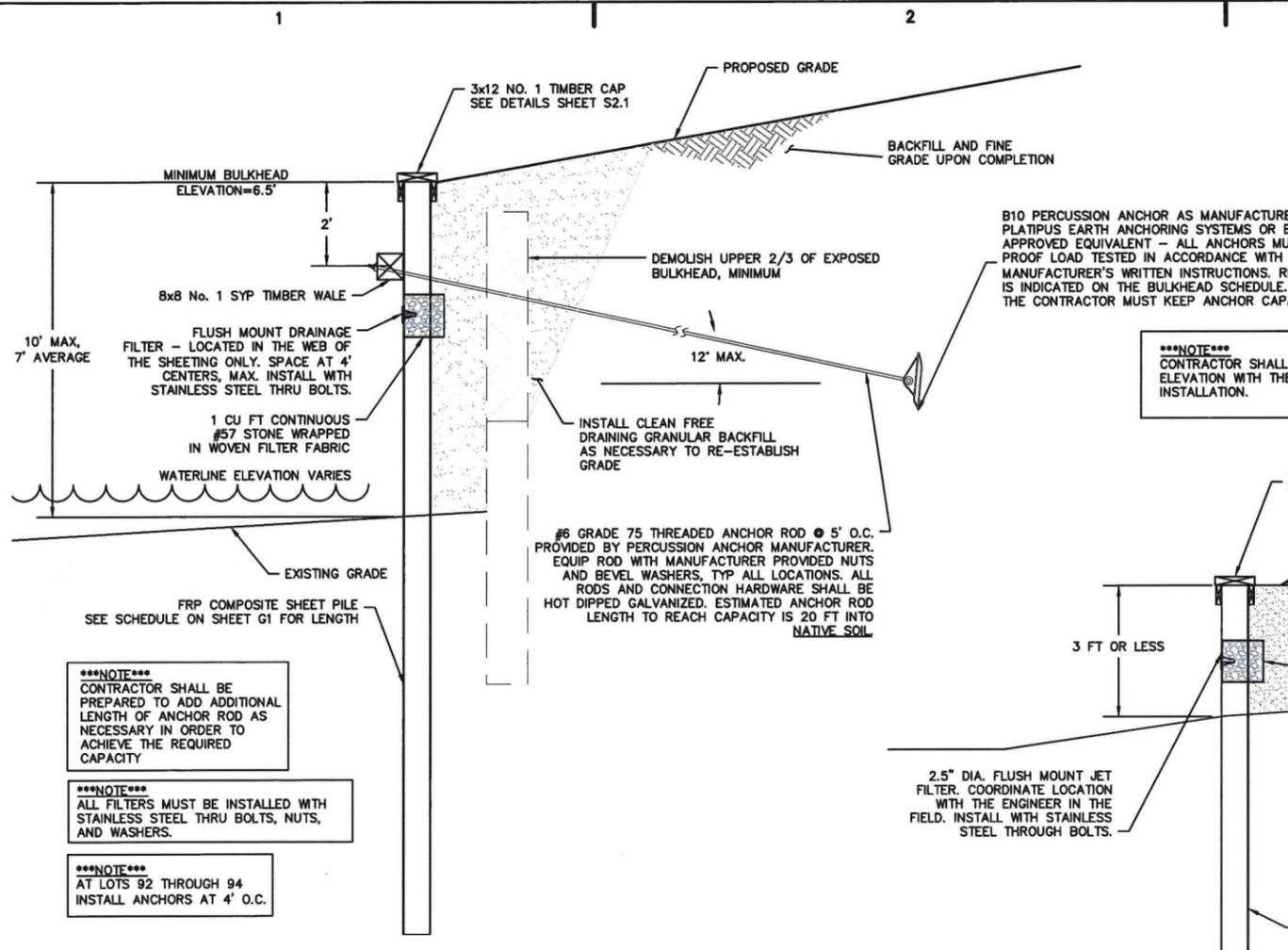
C6.1
 SITE PLAN 6 - FRP OPT.



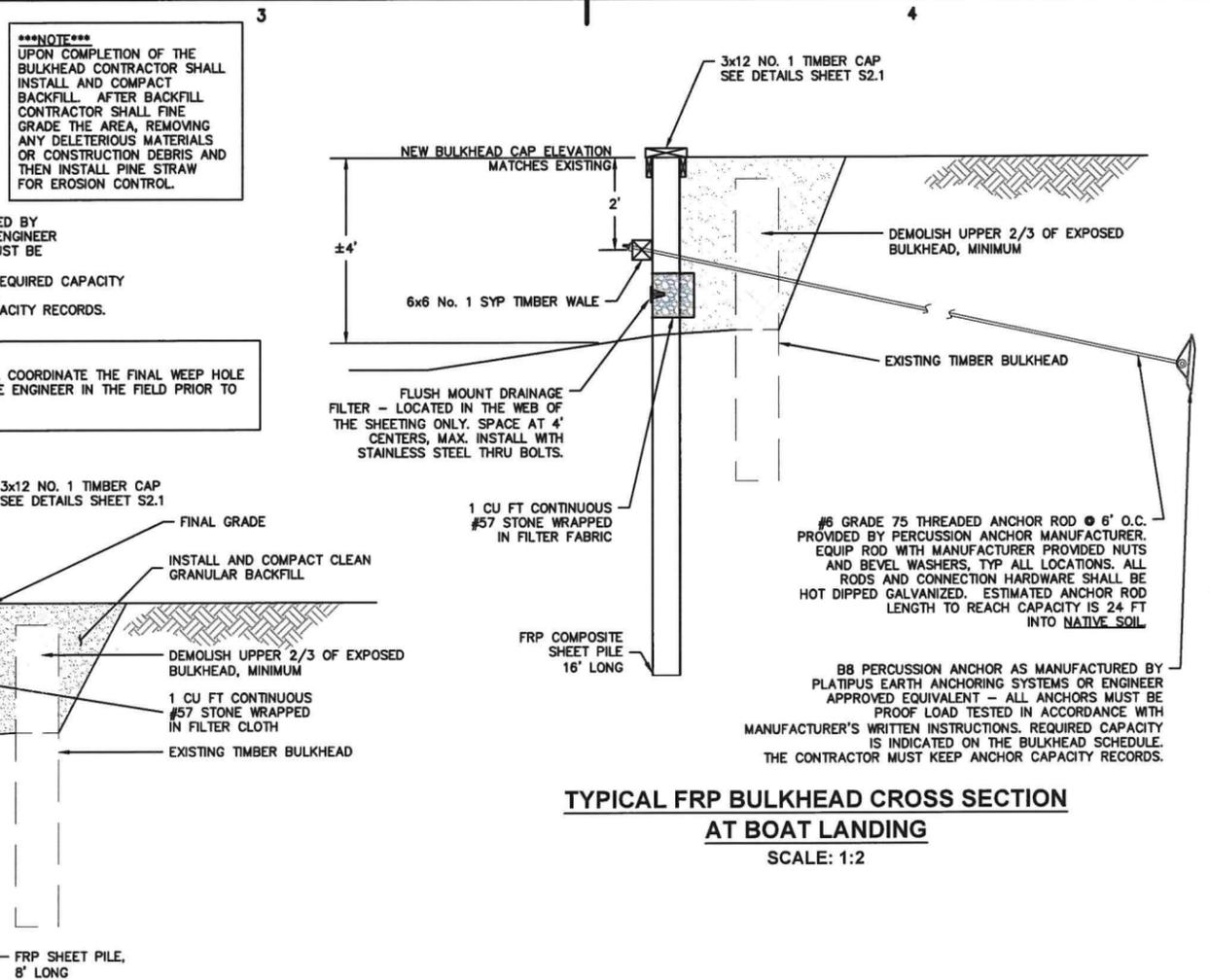
NOTE
 EXPECTED DISTURBANCE IS FROM THE FACE OF THE NEW SEAWALL TO APPROXIMATELY 20 FT INLAND. WITHIN THE DISTURBED AREA, CONTRACTOR SHALL INSTALL TREE PROTECTION IN ACCORDANCE WITH CITY OF BEAUFORT GUIDELINES. TREE PROTECTION ZONES ARE NOT SHOWN ON THESE DRAWINGS FOR CLARITY.

SITE PLAN 6: LOT 120 (BOAT LANDING)
 SCALE: 1:20

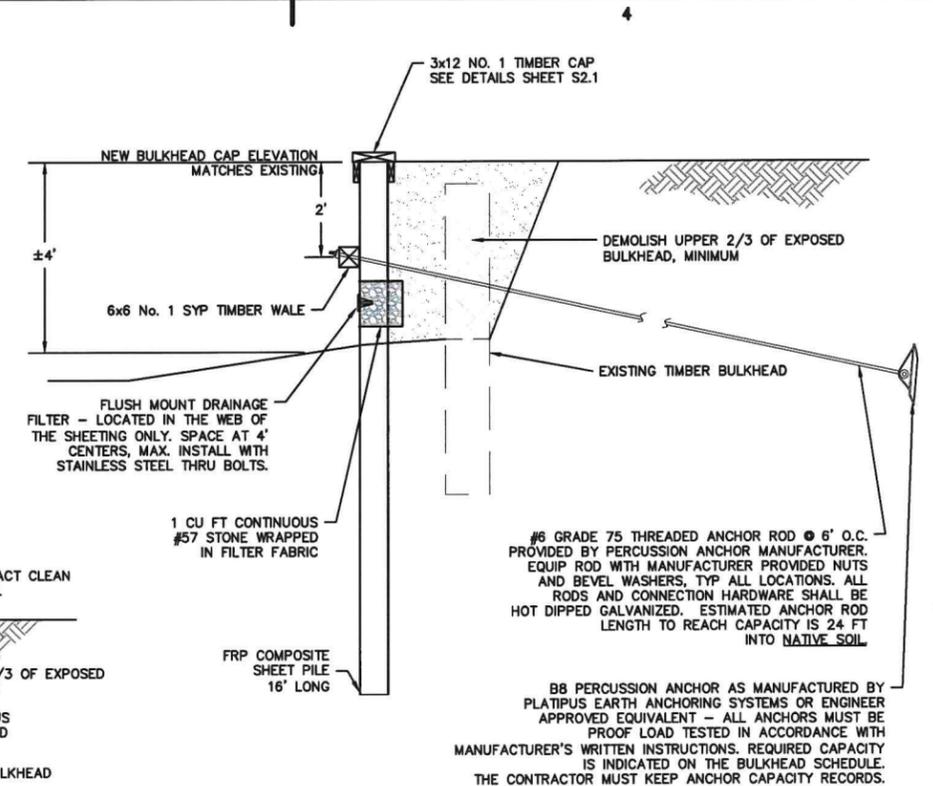
DISTANT ISLAND BULKHEAD REPLACEMENT
 BEAUFORT COUNTY, SC



TYPICAL FRP BULKHEAD CROSS SECTION (LOTS 80 THROUGH 110)
 SCALE: 1:2



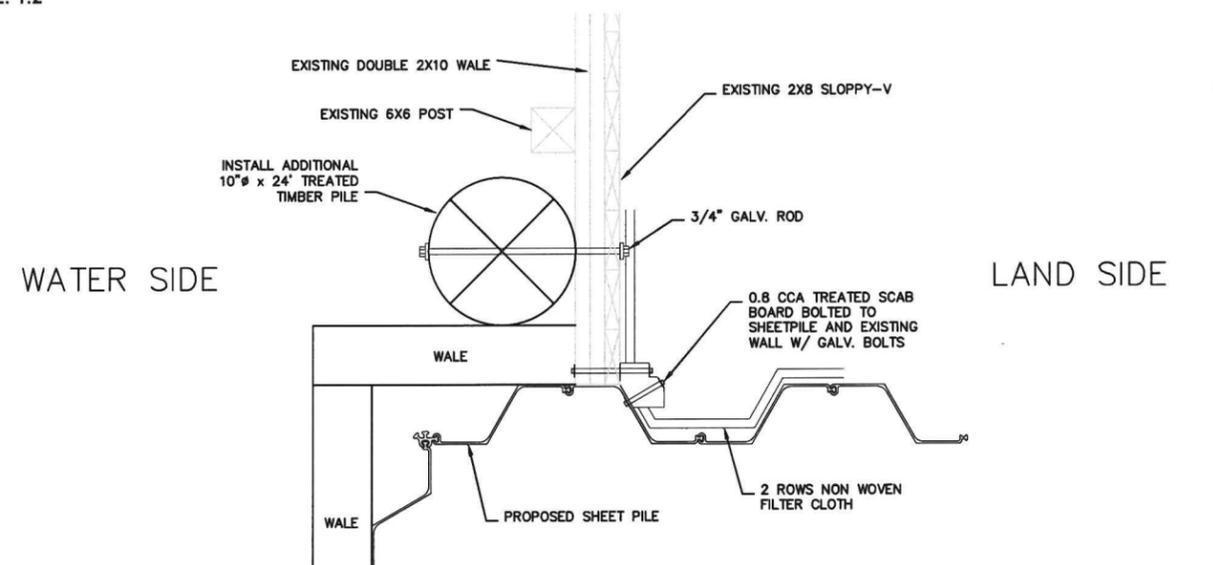
TYPICAL FRP BULKHEAD CROSS SECTION FOR WALLS WITH EXPOSURE OF 3 FT OR LESS
 SCALE: 1:2



TYPICAL FRP BULKHEAD CROSS SECTION AT BOAT LANDING
 SCALE: 1:2

FRP BULKHEAD NOTES:

- SHEET PILE SHALL BE FRP COMPOSITE SHEET PILE WITH A WIDTH OF 18", ALLOWABLE MOMENT OF 10.833 FT-LB/FT, AND A SECTION MODULUS OF 13 IN³/FT OR GREATER.
- COMPLETE DESCRIPTIONS OF SHEET PILE DRIVING EQUIPMENT INCLUDING HAMMERS, EXTRACTORS, PROTECTION CAPS AND OTHER INSTALLATION APPURTENANCES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO COMMENCING WORK.
- INSTALL PILES PLUMB AND TRUE TO THE ELEVATIONS SPECIFIED. PILES SHALL NOT BE DRIVEN MORE THAN 1/2" PER FOOT OUT OF PLUMB IN THE PLANE OF THE WALL, NOR MORE THAN 1/16" PER FOOT "OUT" OF PLUMB PERPENDICULAR TO THE PLANE OF THE WALL, NOR MORE THAN 1" PER FOOT "IN" OF PLUMB PERPENDICULAR TO THE PLANE OF THE WALL.
- PILES DRIVEN OUT OF INTERLOCK WITH ADJACENT PILES OR OTHERWISE DAMAGED SHALL BE REMOVED AND REPLACED BY NEW PILES AT THE CONTRACTOR'S EXPENSE.
- INSTALL 2.5" ABS UV PROTECTED "JET" FILTERS IN THE WEBS OF THE SHEET PILE AT 4' O.C. AT THE ELEVATIONS SPECIFIED ON THESE PLANS.
- INSTALL FILTERS WITH STAINLESS STEEL THRU BOLTS AND HARDWARE.
- SHEETING DAMAGED AS THE RESULT OF HANDLING, DRIVING, PLACEMENT OF RIPRAP, OR OTHER CONSTRUCTION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- WHERE AN OBSTRUCTION IS ENCOUNTERED THAT RESULTS IN UNEXPECTED CHANGE IN PENETRATION OR PILE TIP ELEVATION THE CONTRACTOR WILL BE REQUIRED TO REMOVE THE OBSTRUCTION, EXTRACT, REPOSITION, AND REDRIVE THE SHEET OR SLIGHTLY CHANGE THE ALIGNMENT. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY SHEETING THAT CANNOT BE DRIVEN TO THE SPECIFIED DEPTH.
- NO CUTOFF ALLOWANCE IS ACCOUNTED FOR IN THESE PLANS.
- BACKFILL SHALL CONSIST OF GW, GP, SW, OR SP PER ASTM D-2487 AND SHALL BE FREE DRAINING, CLEAN, AND GRANULAR.
- BACKFILL SHALL BE COMPACTED IN LIFTS NOT EXCEEDING 12" IN DEPTH. EACH LIFT SHALL BE COMPACTED TO 90 PERCENT STANDARD PROCTOR.
- ANCHOR RODS SHALL BE #6 GRADE 75 THREADED BAR, HOT-DIPPED GALVANIZED.
- ANCHORS SHALL BE B10 AND B8 PERCUSSION DRIVEN EARTH ANCHORS AS MANUFACTURED BY PLATIPUS EARTH ANCHORING SYSTEMS OR ENGINEER-APPROVED EQUIVALENT.
- EACH ANCHOR SHALL BE LOAD LOCKED, TESTED, AND RECORDED. ANCHOR CAPACITY AS NOTED ON THE DRAWING DETAILS. MAXIMUM TIE ROD ANGLE IS 12-DEGREES.
- WALES SHALL BE SYP #1 8X8 OR 6X6.
- ENSURE A BEVELED WASHER IS USED AT THE WALE CONNECTION.
- INSTALL 1 CU FT CONTINUOUSLY RUN #57 GRANITE CENTERED AT THE FILTER ELEVATION. WRAP STONE IN WOVEN FILTER FABRIC.
- ANCHORS SHALL BE INSTALLED NO FURTHER THAN 3' FROM ANY CORNER OR ALIGNMENT TRANSITION. CONTRACTOR SHALL ACCOUNT FOR ADDITIONAL ANCHORS AT CORNERS AT TRANSITIONS AND INCLUDE THE COST OF THESE ANCHORS WITH THEIR BID.
- ALL COMPOSITE SHEET PILE MUST BE INSTALLED USING A DRIVING TEMPLATE. THE DRIVING TEMPLATE SHALL BE DESIGNED TO WITHSTAND ALL DRIVING AND INSTALLATION FORCES WITH APPROPRIATE FACTORS OF SAFETY. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR DESIGN OF THE TEMPLATE.



TYPICAL FRP WALL TIE-IN TO EXISTING BULKHEAD
 SCALE: 1:1



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DATE:	6/3/25
REV. DATE:	

S1.1
 STRUCTURAL DETAILS - FRP OPT.

DISTANT ISLAND BULKHEAD REPLACEMENT

BEAUFORT COUNTY, SC



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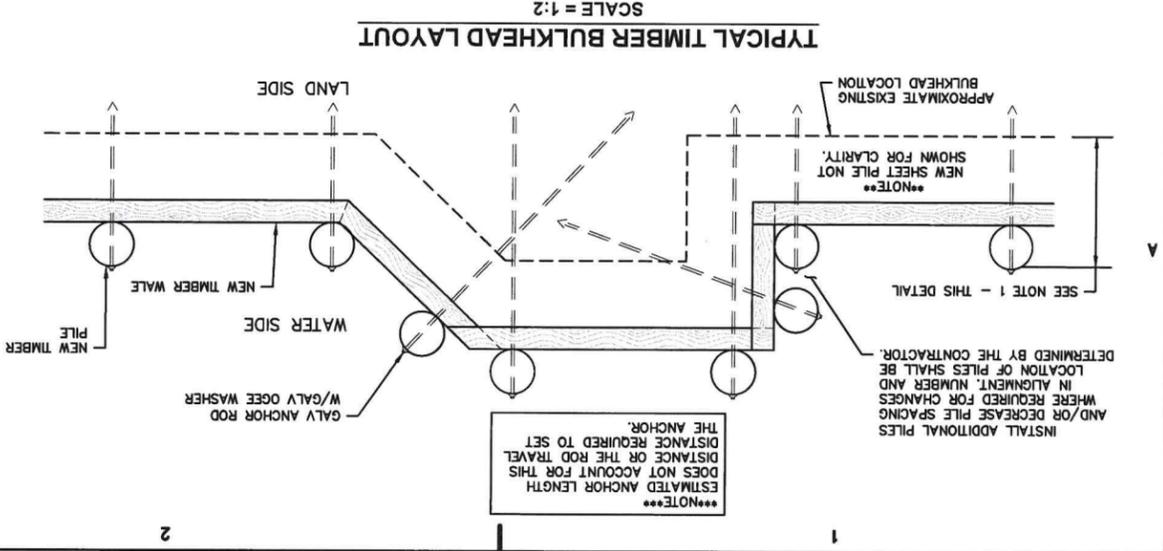
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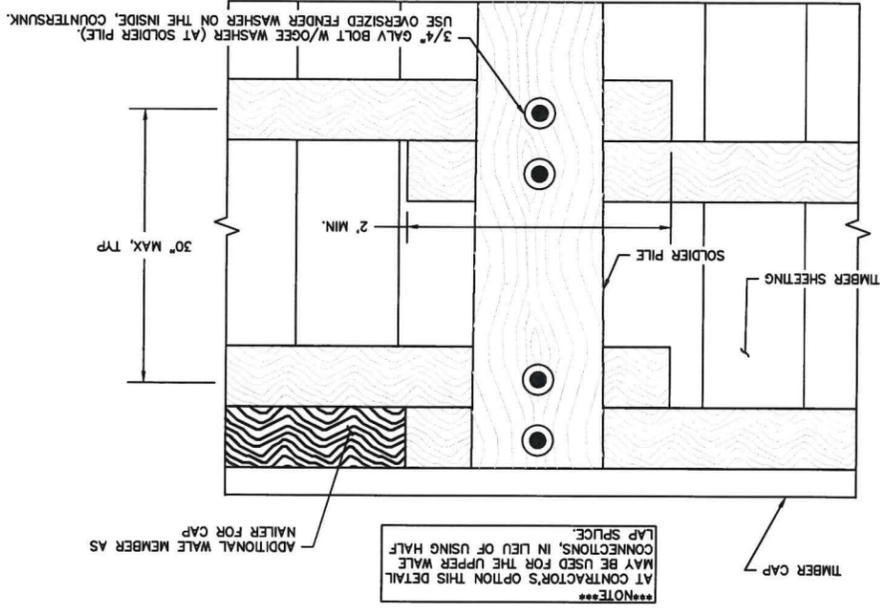
REV. DATE:

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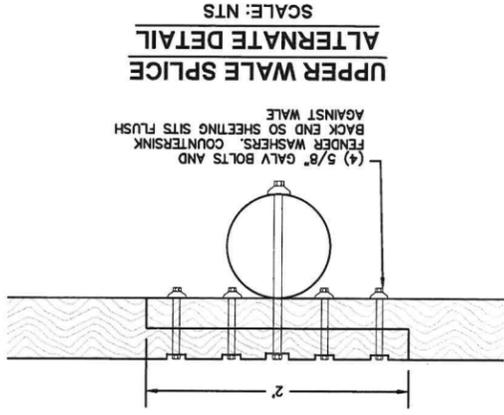
STRUCT. DETAILS - TIMBER OPT.



TYPICAL TIMBER BULKHEAD LAYOUT
 SCALE = 1:2



TYPICAL TIMBER WALE SPICE DETAIL
 SCALE: NTS

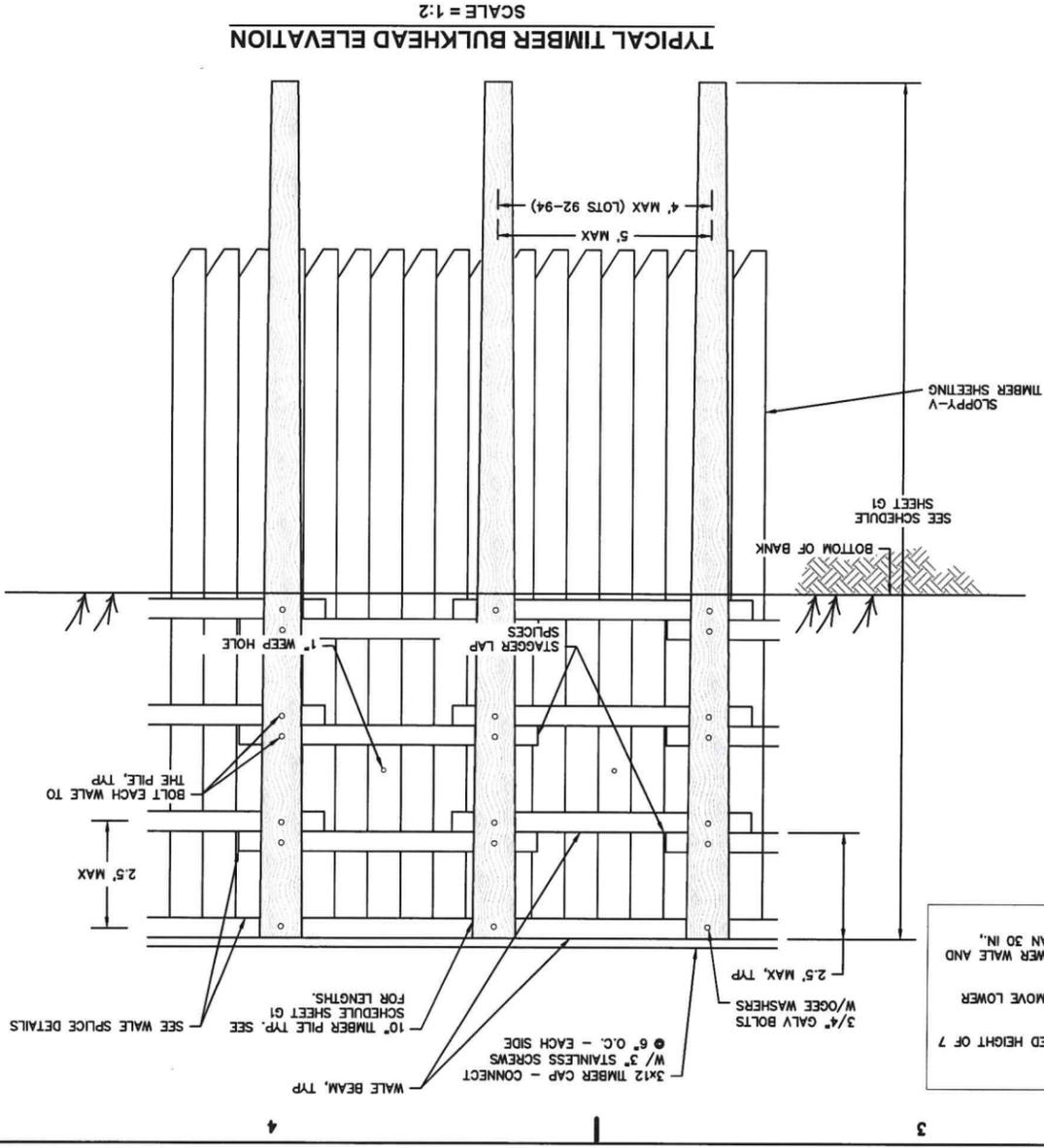


UPPER WALE SPICE
 SCALE: NTS

1. ALL TIMBER WALES AND SHEETING SHALL BE MARINE GRADE SOUTHERN PINE AND SHALL BE NO. 1 SOUTHERN YELLOW PINE, AND SHALL BE PRESSURE TREATED IN ACCORDANCE WITH THE AMERICAN WOOD PROTECTION ASSOCIATION (AWPA) AND SHALL BEAR A STAMP INDICATING QUALITY AND TREATMENT.
2. ALL TIMBER MATERIALS SHALL BE NEW UNLESS SPECIFICALLY PROVIDED OTHERWISE IN THE CONTRACT DOCUMENTS.
3. TIMBER MATERIALS SHALL BE UNLOADED FROM TRUCKS MECHANICALLY AT THE JOB SITE OR STAGING AREA. DUMPED TIMBER MATERIALS SHALL BE REJECTED.
4. THE RE-USE OF TIMBER MATERIALS SHALL NOT BE PERMITTED.
5. CUT JOINTS ACCURATELY TO MAKE A NEAT, SNUG FIT. TOLERANCE SHALL BE 1/16".
6. REMOVE ANY STAINING FROM SOIL, OIL, OR GREASE.
7. TIMBERS WITH A MODERATE BOW ARE PERMITTED WHERE THEIR INTENDED USE WILL STRAIGHTEN THEM. DO NOT USE SEVERELY BOWED TIMBERS OR TIMBERS BOWED IN MORE THAN ONE DIRECTION.
8. ALL TIMBER LAGGING (SLOPPY-V) AND TIMBER WALES SHALL BE NO. 2.5 PCF PER AWPA SPECIFICATIONS.
9. THE CAP AND SHALL BE PRESSURE TREATED CCA 0.80 PER AWPA SPECIFICATIONS, MINIMUM.

TIMBER BULKHEAD NOTES:

10. TIMBER CONSTRUCTION SHALL CONFORM TO NATIONAL DESIGN STANDARD FOR WOOD CONSTRUCTION, CURRENT EDITION.
11. BACKFILL SHALL BE FREE DRAINING, CLEAN, GRANULAR SOIL, CLASSIFIED AS SW, SP OR SM-SP WITH A MAXIMUM OF 12% PASSING A #200 SIEVE IS ACCEPTABLE.
12. INSTALL 1" DIAMETER WEEP HOLES AT 5 FT ON CENTER. COORDINATE FINAL WEEP HOLE ELEVATION WITH THE ENGINEER IN THE FIELD.
13. ALL CUTS, HOLES, AND DAMAGE TO SURFACE OF TREATED MUST BE FIELDED TREATED WITH COPPER NAPHTHENE IN ACCORDANCE WITH AWPA P8-11, LATEST ISSUE AND COATED WITH A MARINE SEALANT.
14. ALL TREATED TIMBER MUST BE HANDLED AND FIELD FABRICATED IN ACCORDANCE WITH AWPA M4-11, LATEST ISSUE.
15. ALL BOLTS, NUTS AND WASHERS SHALL BE HOT DIPPED GALVANIZED PER ASTM-153 WITH 20 OUNCES OF ZINC PER SQUARE FOOT.
16. ALL SCREWS SHALL BE 316 STAINLESS STEEL.
17. ALL NAILS SHALL BE STAINLESS STEEL RING SHANK.
18. SET SCREW HEAD FLUSH WITH MEMBER TO BE CONNECTED.
19. SET SCREWS TO FULL DEPTH AND DO NOT ALLOW TIP OR THREADS TO PROTRUDE.
20. ALL PILES SHALL BE 8" MINIMUM TIP IN ACCORDANCE WITH ASTM

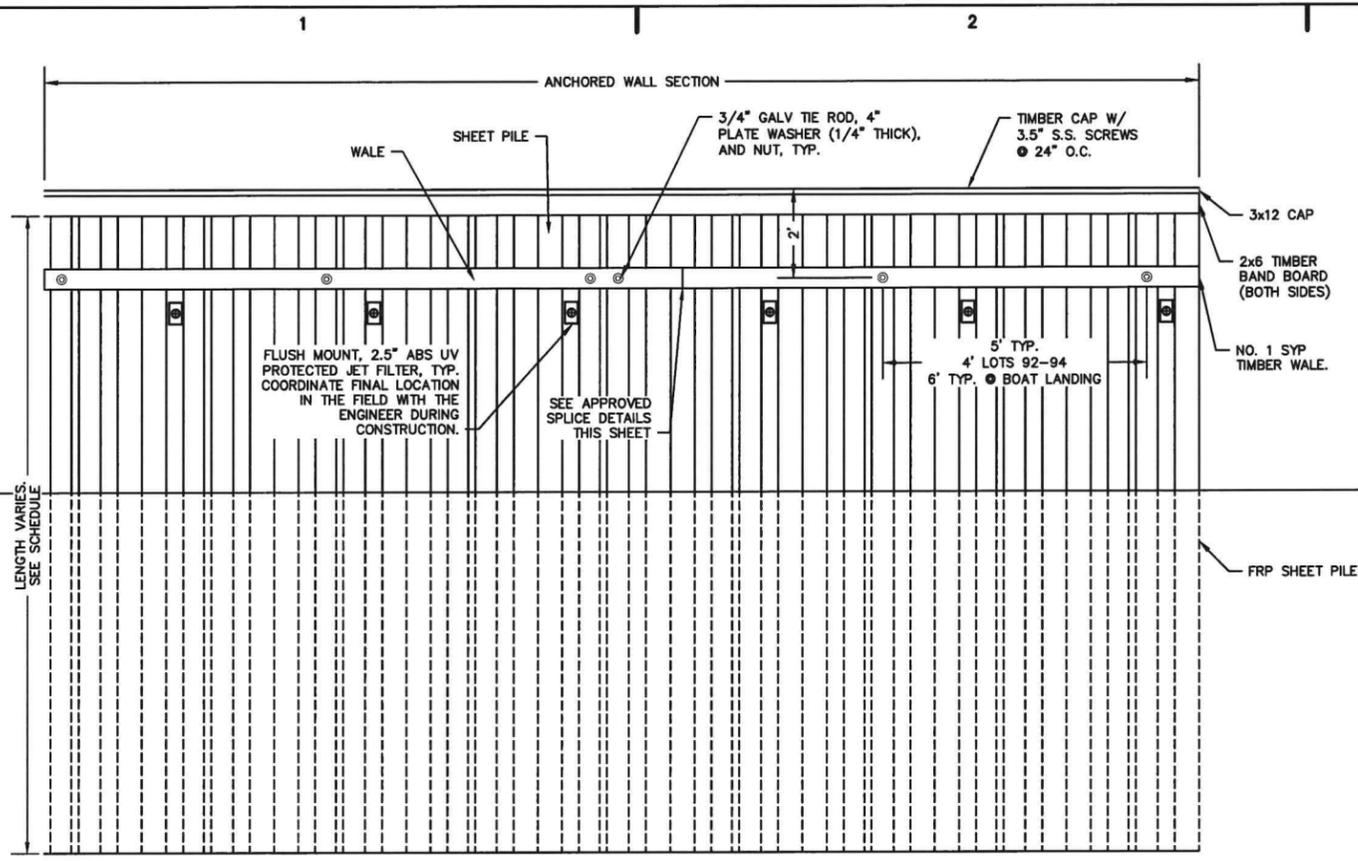


TYPICAL TIMBER BULKHEAD ELEVATION
 SCALE = 1:2

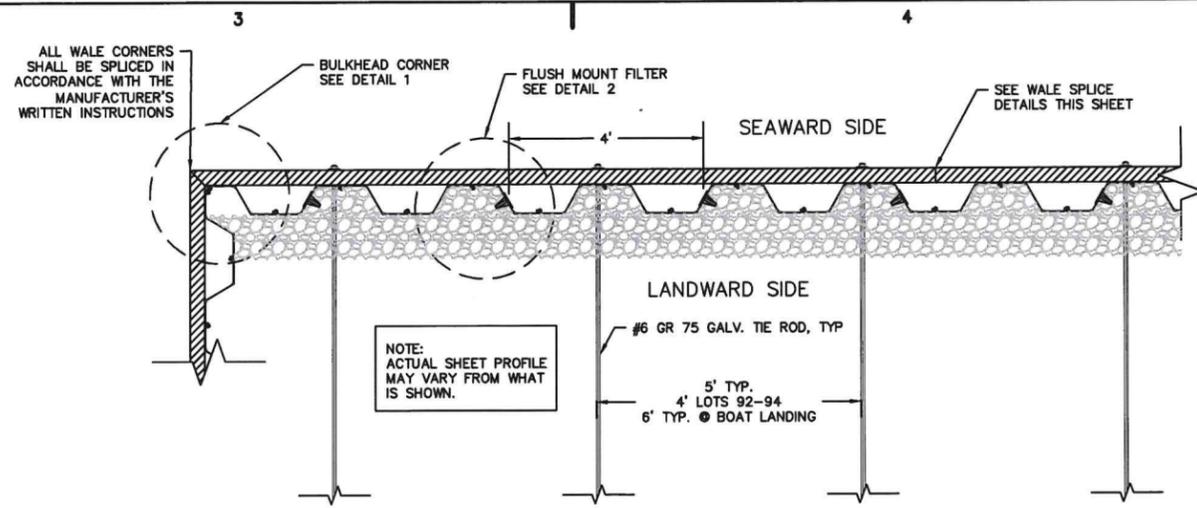
21. RECOMMENDATIONS.
22. PRE-DRILLING/AUGERING OF PILES SHALL BE LIMITED TO A DEPTH OF NO MORE THAN 50% OF THE SPECIFIED EMBEDMENT LENGTH.
23. DIAMETER OF AUGER HOLE SHALL NOT EXCEED 75% OR POST WIDTH.
24. PILES MAY BE DRIVEN, JETTED, OR VIBRATED TO THE SPECIFIED EMBEDMENT LENGTH.
25. PILES SHALL BE INSTALLED TRUE AND PLUMB TO THE EMBEDMENT DEPTH AS SPECIFIED ON THESE DRAWINGS.
26. FILTER FABRIC SHALL BE WOVEN FABRIC WITH A MAXIMUM OPEN AREA OF 6 PERCENT.

D25 STANDARD SPECIFICATIONS.

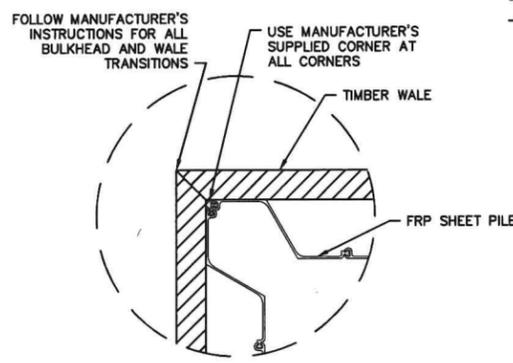
**DISTANT ISLAND BULKHEAD
 REPLACEMENT**
 BEAUFORT COUNTY, SC



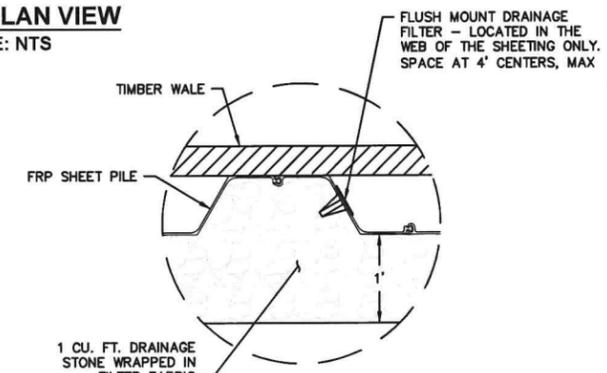
TYPICAL FRP BULKHEAD ELEVATION
 SCALE: 1:2



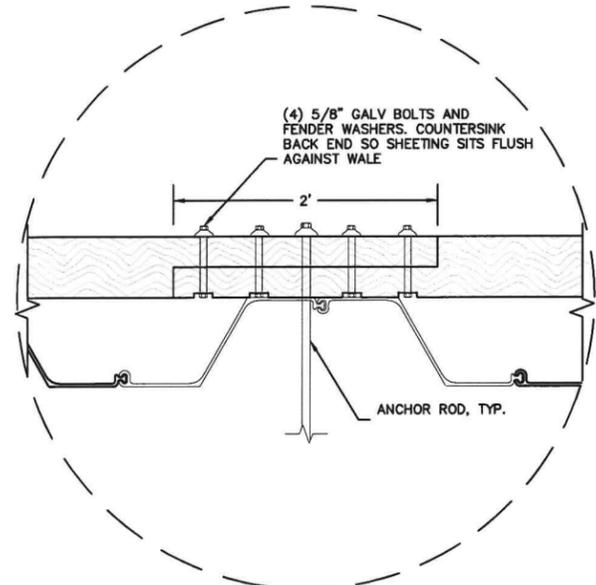
TYPICAL PLAN VIEW
 SCALE: NTS



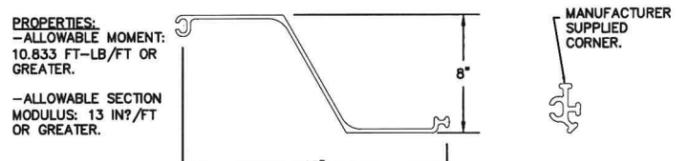
**DETAIL 1
 TYPICAL BULKHEAD CORNER**
 SCALE: NTS



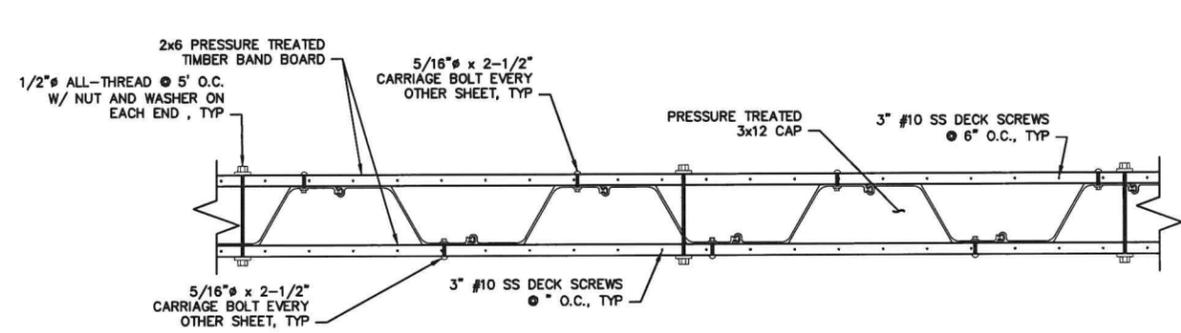
**DETAIL 2
 TYPICAL FILTER DETAIL**
 SCALE: NTS



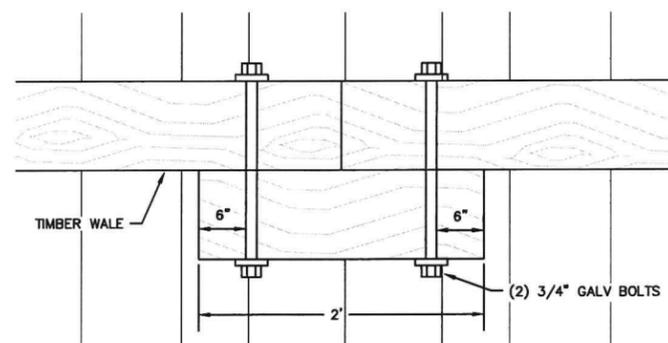
**WALE SPLICE DETAIL 1
 PLAN VIEW**
 SCALE: NTS



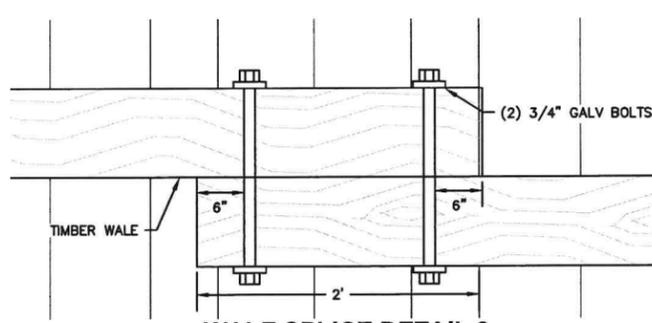
**TYPICAL FRP SHEET PILE AND
 CORNER DETAIL**
 SCALE: NTS



TYPICAL CAP DETAIL
 SCALE: NTS



**WALE SPLICE DETAIL 2
 ELEVATION VIEW**
 SCALE: NTS



**WALE SPLICE DETAIL 3
 ELEVATION VIEW**
 SCALE: NTS



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S2.1
 STRUCTURAL DETAILS - FRP OPT.

DISTANT ISLAND BULKHEAD REPLACEMENT

BEAUFORT COUNTY, SC



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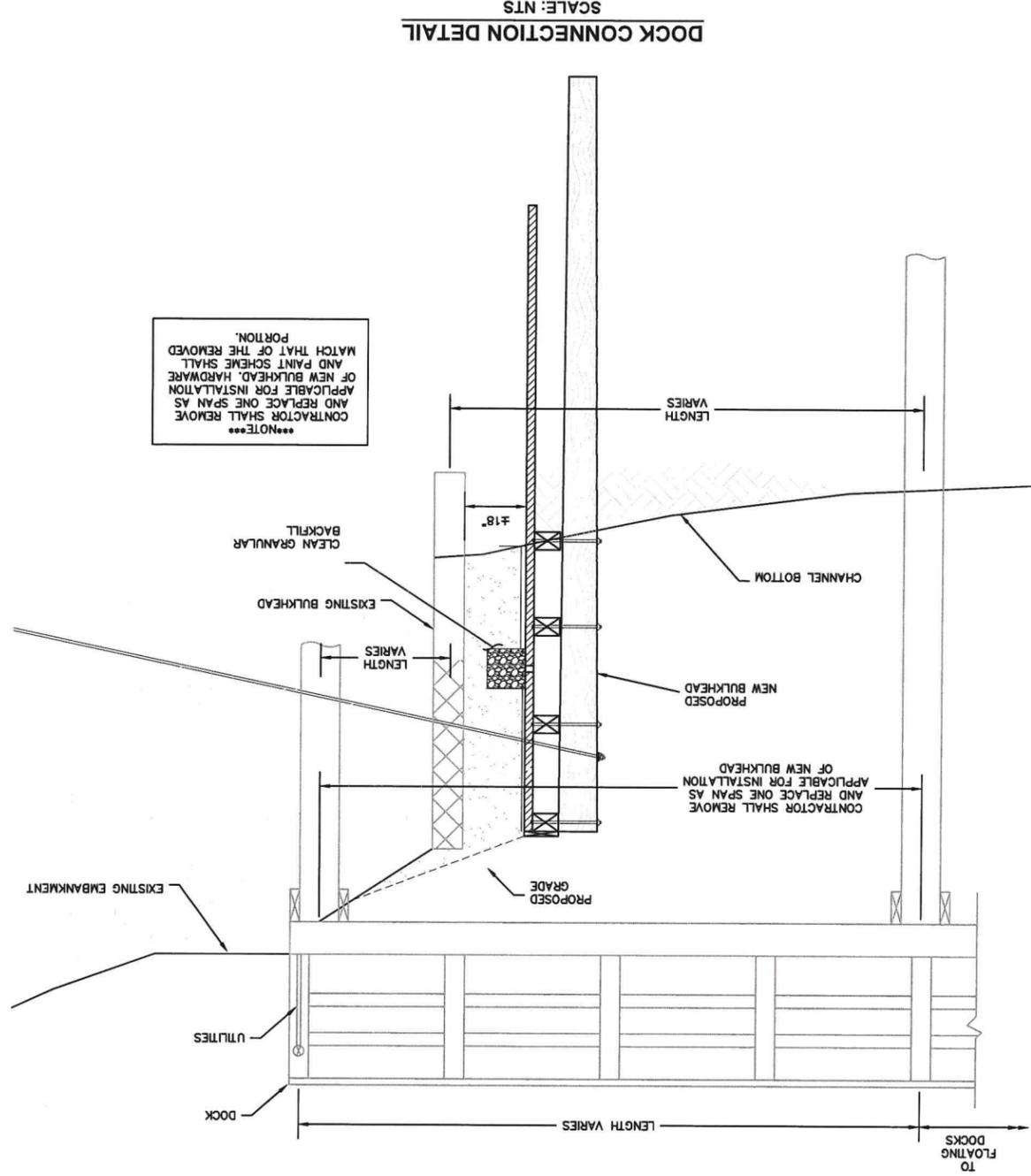
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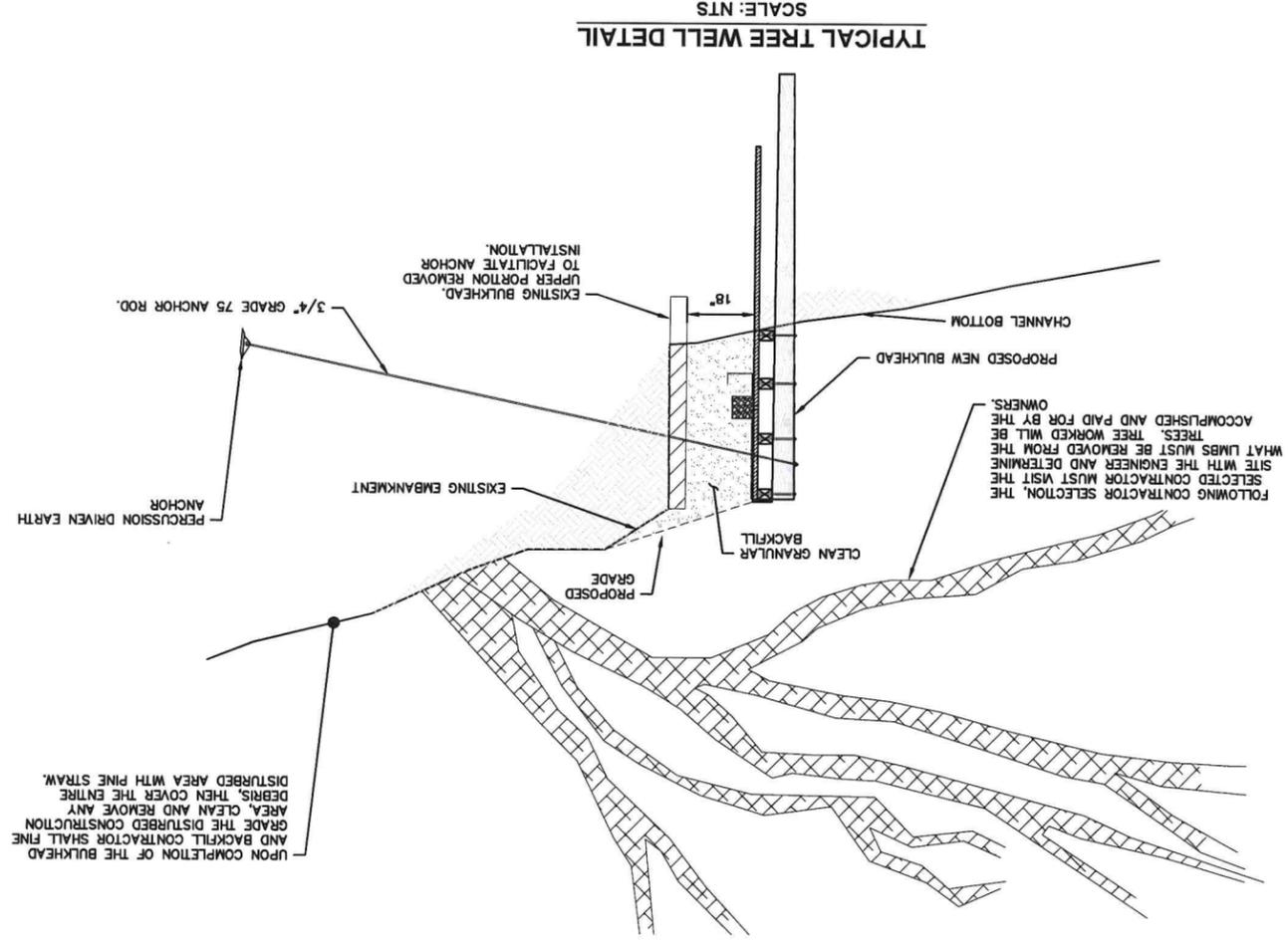
S3

MISCELLANEOUS DETAILS

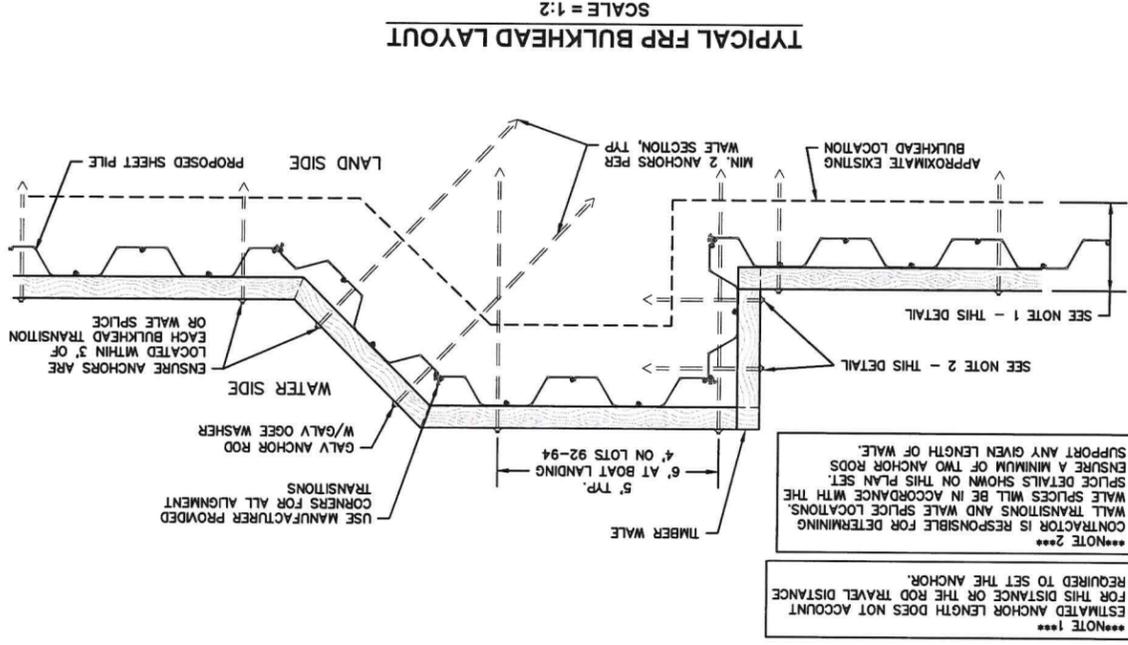
NOTE
 ACCESS TO FLOATING DOCKS AND THE PEDESTRIAN BRIDGE AT THE BOAT LANDING
 MAY BE CLOSED FOR A MAXIMUM OF 3 BUSINESS DAYS TO PERMIT WALL INSTALLATION.
 ACCESS MUST BE RE-ESTABLISHED FROM FRIDAY AFTERNOON THROUGH SUNDAY AFTERNOON.



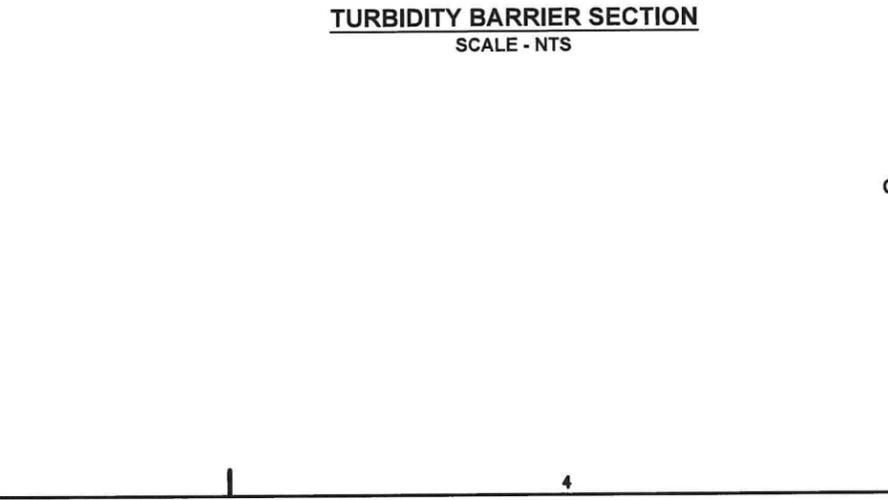
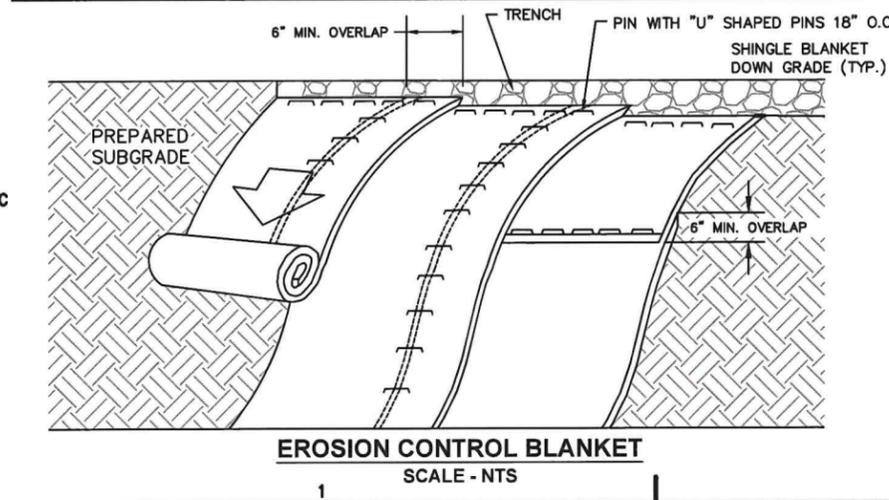
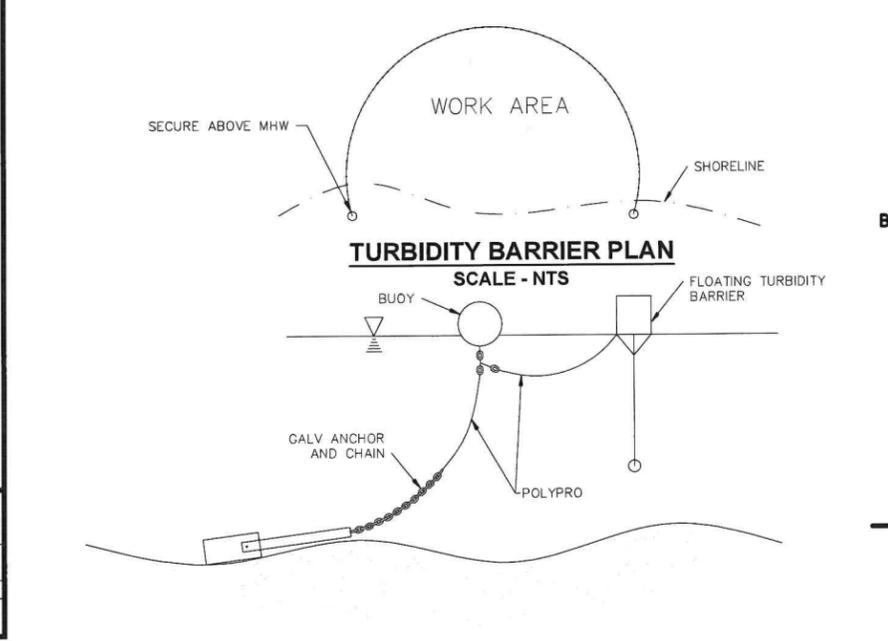
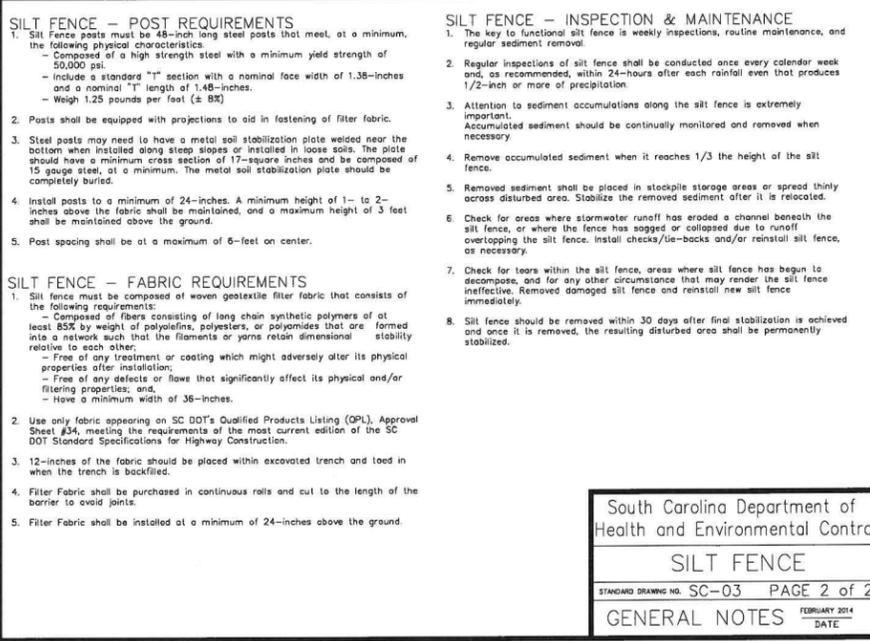
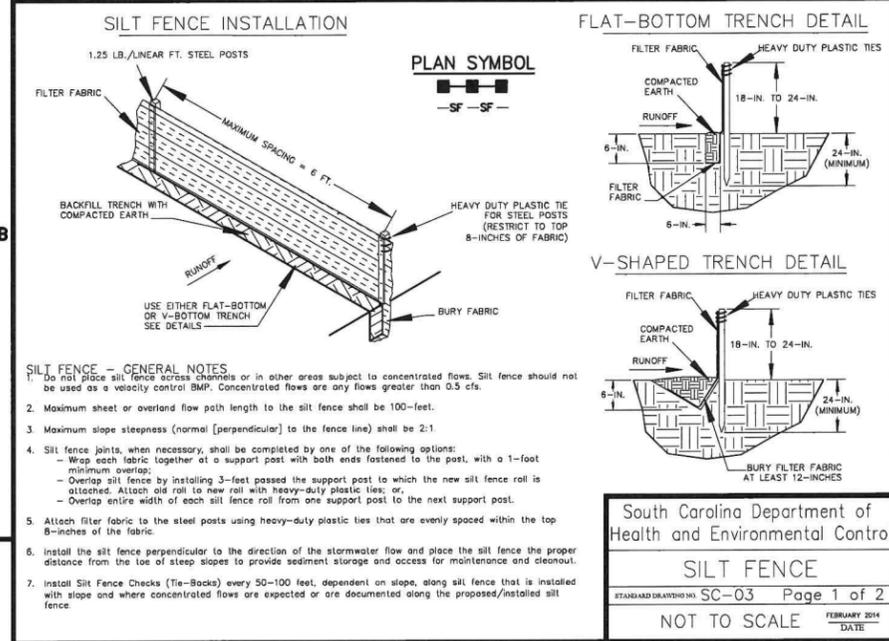
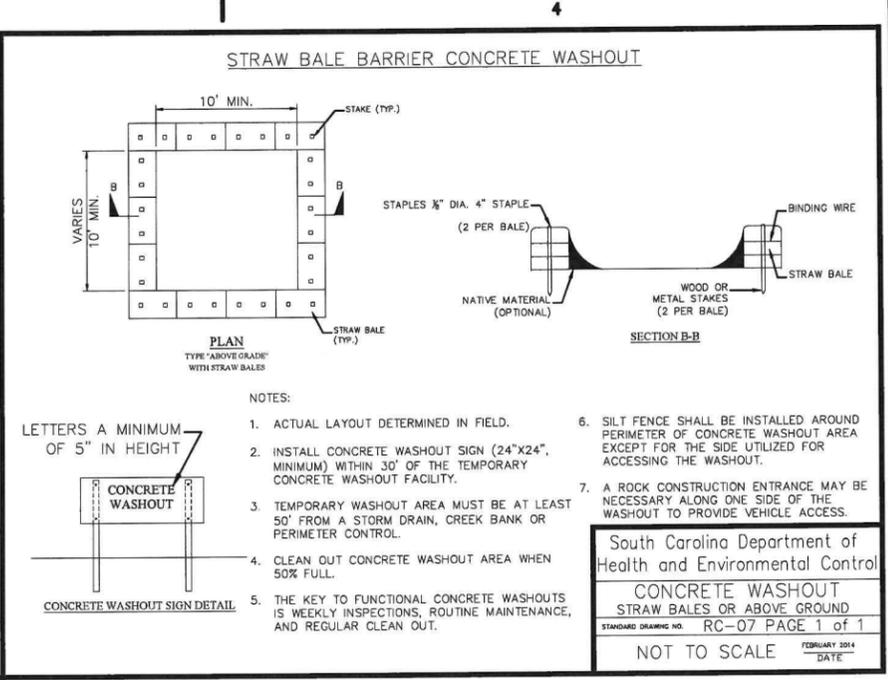
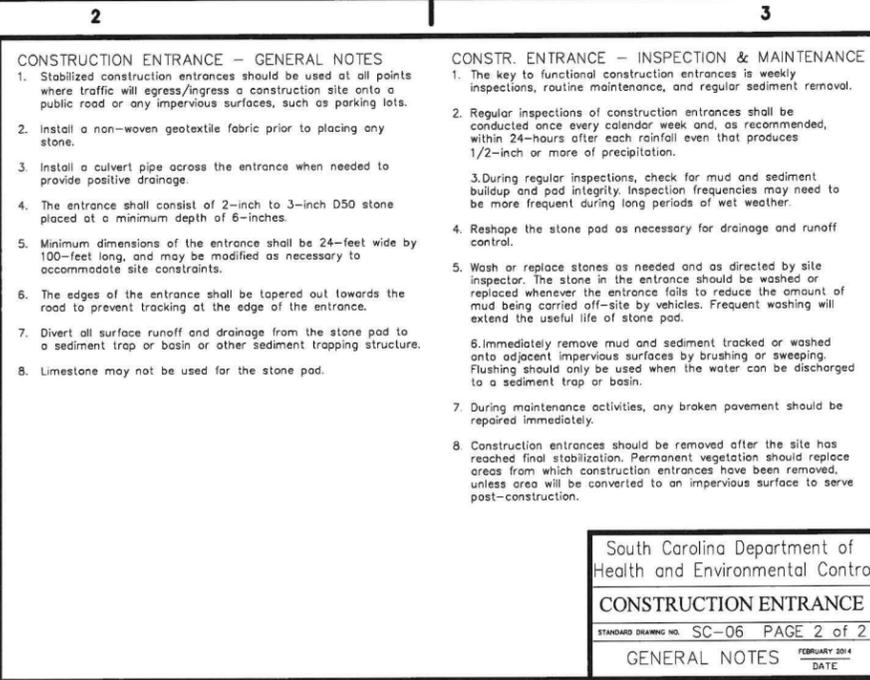
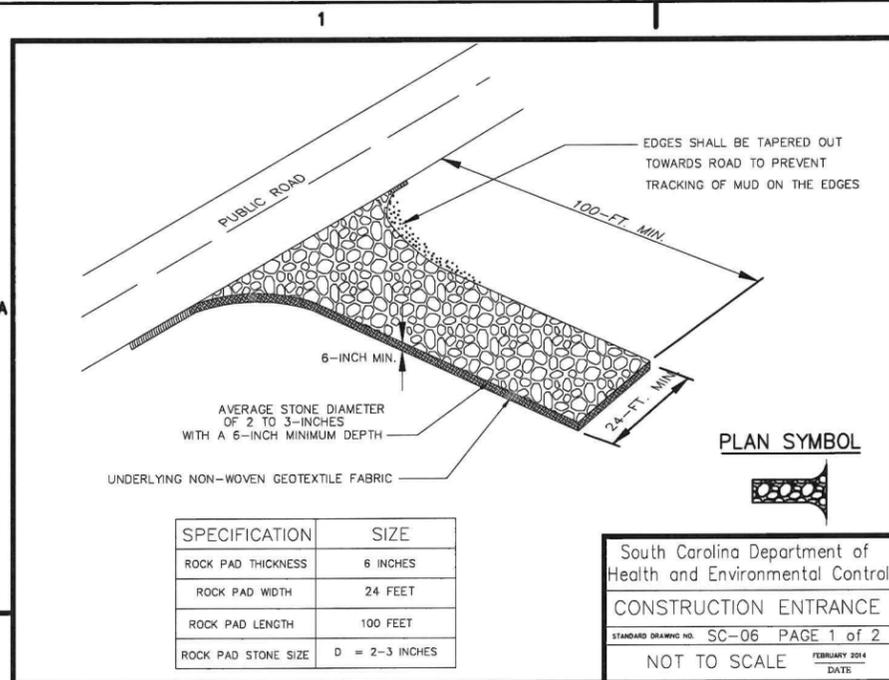
DOCK CONNECTION DETAIL
 SCALE: NTS



TYPICAL TREE WELL DETAIL
 SCALE: NTS



TYPICAL FRP BULKHEAD LAYOUT
 SCALE = 1:2



McSweeney Engineers
300W Coleman Blvd, Ste 203B
Mount Pleasant, SC 29464
(843) 974-5621
www.mcsweeneyengineers.com

DISTANT ISLAND BULKHEAD REPLACEMENT
BEAUFORT COUNTY, SC



DESIGNED BY: WDB
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S4
SEDIMENT & EROSION CONTROL



SC DEPARTMENT of
**ENVIRONMENTAL
SERVICES**

September 30, 2024

Distant Island Community Association
311 Carteret Street
Beaufort, SC 29902

9489 0090 0027 6188 0386 02

Re: OCRM05450

Dear Distant Island Community Association:

The Bureau of Coastal Management (the Department) has reviewed your application to construct a community bulkhead on Distant Island, Beaufort, Beaufort County, South Carolina and has issued a permit for this work. You should carefully read the description of the authorized project and special conditions that have been placed on the permit, as these conditions may modify the permitted activity. In addition, there are a series of general conditions that should be reviewed. The original and one photocopy of the permit, as issued, are enclosed. After carefully reading the permit, if you wish to accept the permit as issued, sign and date in the signature block entitled "PERMITTEE" on the original version of the permit and **return it to this Department. Keep the photocopy for your records.**

PLEASE READ CAREFULLY: You are required to sign and return the original version of your permit to this Department within thirty (30) days. S.C. Code Ann. § 48-6-30(D)(2) provides, "Within thirty calendar days after the mailing of a decision [pursuant to S.C. Code Ann. § 48-6-30(D)(1)], an applicant, permittee, licensee, certificate holder, or affected person desiring to contest the department decision may request a contested case hearing before the Administrative Law Court, in accordance with the Administrative Procedures Act."

In order to request a construction placard, please submit a critical area placard request through ePermitting. You must send in this request before the time you wish to start construction. At that time a construction placard will be sent to you to post at the construction site.

PLEASE NOTE: You are not authorized to commence work under the permit until we have received the original version of the entire permit signed and accepted by you, and a construction placard has been issued and posted at the construction site. The receipt of this permit does not relieve you of the responsibility of acquiring any other federal, state, or local permits that may be required. Please return the signed permit to the following address:

Bureau of Coastal Management
104 Parker Drive
Beaufort, SC 29906

Sincerely,

Sophia Valiulis
Project Manager
Critical Area Permitting Section

Enclosure

cc: Mr. Blair Williams, Critical Area Permitting Section Manager

SCANNED
CLIENT # 2114

**SOUTH CAROLINA DEPARTMENT OF ENVIRONMENTAL SERVICES
BUREAU OF COASTAL MANAGEMENT**

CRITICAL AREA PERMIT & COASTAL ZONE CONSISTENCY CERTIFICATION

Permittee(s): Distant Island Community Association

Permit Number(s): OCRM05450

Date of Issuance: September 30, 2024

Expiration Date: September 30, 2029

**SEE SPECIAL
CONDITION(S)**

Location: On and adjacent to Distant Island Creek on lots 82, 84, 86, 88, 90, 92, 94, 98, 100, 102, 106, and 6 community owned easement lots on Distant Island, Beaufort Beaufort County, South Carolina ((TMS#: R123 018 000 076B 0000 (5 community easements); R123 018 000 0666 0000 (community boat landing easement); R123 018 000 0650 0000 (lot 82); R123 018 000 0563 0000 (lot 84); R123 018 000 0637 0000 (lot 86); R123 018 000 0581 0000 (lot 88); R123 018 000 0638 0000 (lot 90); R123 018 000 0651 0000 (lot 92); R123 018 000 0639 0000 (lot 94); R123 018 000 0653 0000 (lot 98); R123 018 000 0592 0000 (lot 100); R123 018 000 0640 0000 (lot 102); R123 018 000 0533 0000 (lot 106))

This permit is issued under the provisions of S. C. Code Ann. Section 48-39-10, et seq., and 23A S.C. Code Ann. Regs. 30-1 through 30-18, *as amended*. **Please carefully read the project description and special conditions that appear on this permit/certification as they will affect the work that is allowed and may modify the work from that shown on the submitted plans. All special conditions attached to the permit will take precedent over submitted plans.** The general conditions are also a part of this permit/certification and should be read in their entirety. The S. C. Contractor's Licensing Act of 1999, enacted as S.C. Code Ann. Section 40-11-5 through 430, requires that all construction with a total cost of \$5,000 or more be performed by a licensed contractor with a valid contractor's license for marine class construction, except for construction performed by a private landowner for strictly private purposes. Your signature on and acceptance of this permit denotes your understanding of the stated law regarding use of licensed contractors. **All listed special and general conditions will remain in effect for the life of the permit. This applies to permittee, future property owners, or permit assignees.**

DESCRIPTION OF THE PROJECT

As Proposed: Install approximately 1565 LF bulkhead and seven (7) tree wells along Distant Island Creek for the purpose of shoreline Stabilization.

As Authorized: To replace the existing bulkhead and install a new bulkhead at the following properties on Distant Island: lots 82, 84, 86, 88, 90, 92, 94, 98, 100, 102, 106, and 6 community owned easement lots. Specifically, to install a total of 1565 linear feet of bulkhead, 8' - 15' high, no further than 18" from the critical area line verified on August 1st, 2024. 7 tree wells are authorized along the bulkhead with varying distances seaward from the critical area line, as shown in the attached drawings. The purpose of the project is for erosion control for the Distant Island Community.

SPECIAL CONDITIONS

1. The proposed bulkhead is no further than 18" from the critical area line verified on 08/01/2024, aside from the 7 proposed tree wells, as shown in the revised drawings submitted on 08/22/2024.
2. All scrap treated wood and other debris is removed from the area prior to filling, and only clean fill dirt or sand is used as backfill. The earthen banks adjacent to the bulkhead must be stabilized with a vegetative cover as soon as possible after construction to minimize erosion.

SEE SPECIAL CONDITION(S)

3. Any disturbed critical area adjacent to the construction site must be restored to original contours and conditions upon project completion.
4. Once the project is initiated, it must be carried to completion in an expeditious manner in order to minimize the period of disturbance to the environment.
5. The bulkhead should be located in a manner so as to minimize disturbance to shellfish resources or in an area void of shellfish resources. If this requires the relocation of this structure, notification to DES-BCM is required and written approval for the relocation must be received from DES-BCM prior to construction.
6. An as-built survey of the entire erosion control structure must be submitted to the Department within 90 days of the expiration date of the final construction placard. The survey must be performed by a registered land surveyor, must show all components of the structure, and must list the starting and ending coordinates of the structure in the SC State Plane Coordinate System, which can be obtained by survey-grade Global Positioning System equipment.
7. In the event that any historic or cultural resources and/or archaeological materials are found during the course of work, the applicant must notify the State Historic Preservation Office and the South Carolina Institute of Archaeology and Anthropology. Historic or cultural resources consist of those sites listed in the National Register of Historic Places and those sites that are eligible for the National Register. Archaeological materials consist of any items, fifty years old or older, which were made or used by man. These items include, but are not limited to, stone projectile points (arrowheads), ceramic sherds, bricks, worked wood, bone and stone, metal and glass objects, and human skeletal materials.

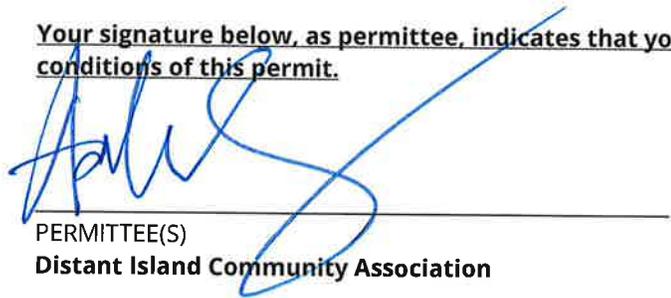
SEE SPECIAL CONDITION(S)

PERMITTEE'S ATTENTION IS DIRECTED TO GENERAL CONDITIONS NUMBERS FOUR (4) AND FIVE (5). BY ACCEPTANCE OF THIS PERMIT, PERMITTEE IS PLACED ON NOTICE THAT THE STATE OF SOUTH CAROLINA, BY ISSUING THIS PERMIT, DOES NOT WAIVE ITS RIGHTS TO REQUIRE PAYMENT OF A REASONABLE FEE FOR USE OF STATE LANDS AT A FUTURE DATE IF SO DIRECTED BY STATUTE.

THE PERMITTEE, BY ACCEPTANCE OF THIS PERMIT AGREES TO ABIDE BY THE TERMS AND CONDITIONS CONTAINED HEREIN AND TO PERFORM THE WORK IN STRICT ACCORDANCE WITH THE PLANS AND SPECIFICATIONS ATTACHED HERETO AND MADE A PART HEREOF. ANY DEVIATION FROM THESE CONDITIONS, TERMS, PLANS AND SPECIFICATIONS SHALL BE GROUNDS FOR REVOCATION, SUSPENSION OR MODIFICATION OF THIS PERMIT AND THE INSTITUTION OF SUCH LEGAL PROCEEDINGS AS THE DEPARTMENT MAY CONSIDER APPROPRIATE.

Permit Number: **OCRM05450**

Your signature below, as permittee, indicates that you accept and agree to comply with the terms and conditions of this permit.


PERMITTEE(S)
Distant Island Community Association

10-14-24
DATE

This permit becomes effective when the State official, designated to act for the Bureau of Coastal Management, has signed below.


CRITICAL AREA PERMITTING PROJECT MANAGER
Sophia Valiulis
Or Other Authorized State Official

09/30/2024
DATE

SEE SPECIAL CONDITION(S)

GENERAL CONDITIONS:

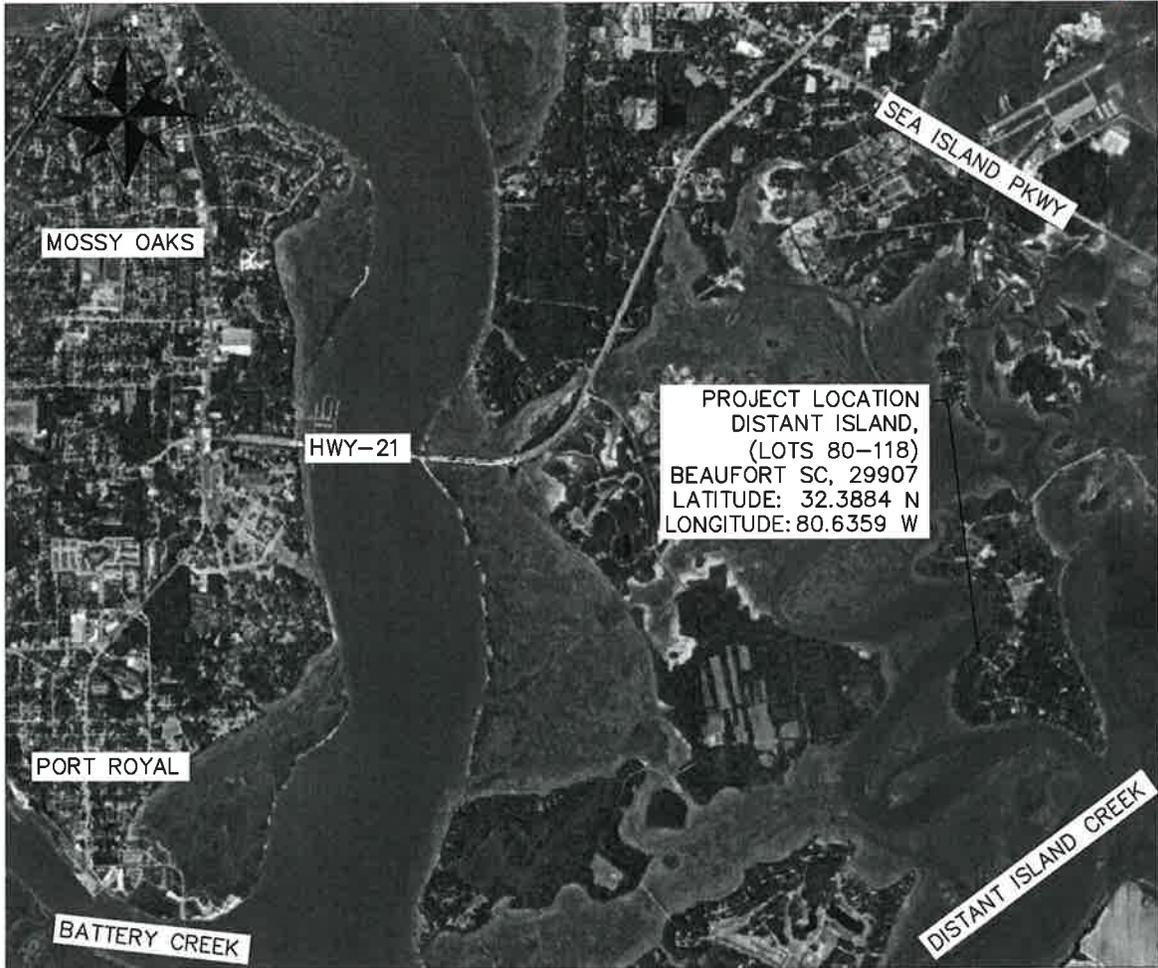
This construction and use permit is expressly contingent upon the following conditions which are binding on the permittee:

1. The permittee, in accepting this permit, covenants and agrees to comply with and abide by the provisions and conditions herein and assumes all responsibility and liability and agrees to save the Department and the State of South Carolina, its employees or representatives, harmless from all claims of damage arising out of operations conducted pursuant to this permit.
2. If the activity authorized herein is not constructed or completed within five years of the date of issuance, this permit shall automatically expire. A request, in writing, for an extension of time shall be made not less than thirty days prior to the expiration date.
3. All authorized work shall be conducted in a manner that minimizes any adverse impact on fish, wildlife and water quality.
4. This permit does not relieve the permittee from the requirements of obtaining a permit from the U. S. Army Corps of Engineers or any other applicable federal agency, nor from the necessity of complying with all applicable local laws, ordinances, and zoning regulations. This permit is granted subject to the rights of the State of South Carolina in the navigable waters and shall be subject, further, to all rights held by the State of South Carolina under the public trust doctrine as well as any other right the State may have in the waters and submerged lands of the coast.
5. This permit does not convey, expressly or impliedly, any property rights in real estate or material nor any exclusive privileges; nor does it authorize the permittee to alienate, diminish, infringe upon or otherwise restrict the property rights of any other person or the public; nor shall this permit be interpreted as appropriating public properties for private use.
6. The permittee shall permit the Department or its authorized agents or representatives to make periodic inspections at any time deemed necessary to ensure that the activity being performed is in accordance with the terms and conditions of this permit.
7. Any abandonment of the permitted activity will require restoration of the area to a satisfactory condition as determined by the Department
8. This permit may not be transferred to a third party without prior written notice to the Department, either by the transferee's written agreement to comply with all terms and conditions of this permit or by the transferee subscribing to this permit and thereby agreeing to comply.
9. If the display of lights and signals on any structure or work authorized herein is not otherwise provided for by law, such lights and special signals as may be prescribed by the United States Coast Guard shall be installed and maintained by and at the expense of the permittee.
10. The permit construction placard or a copy of the placard shall be posted in a conspicuous place at the project site during the entire period of work.
11. The structure or work authorized herein shall be in accordance with the permit, as issued, and shall be maintained in good condition. Failure to build in accordance with the permit, as issued, or failure to maintain the structure in good condition, shall result in the revocation of this permit.

SEE SPECIAL CONDITION(S)

12. The authorization for activities or structures herein constitutes a revocable license. The Department may require the permittee to modify activities or remove structures authorized herein if it is determined by the Department that such activity or structures violates the public's health, safety, or welfare, or if any activity is inconsistent with the public trust doctrine. Modification or removal under this condition shall be ordered only after reasonable notice stating the reasons therefore and provision to the permittee of the opportunity to respond in writing. When the Permittee is notified that the Department intends to revoke the permit, Permittee agrees to immediately stop work pending resolution of the revocation.
13. The Department shall have the right to revoke, suspend, or modify this permit in the event it is determined the permitted structure (1) significantly impacts the public health, safety and welfare, and/or is violation of Section 48-39-150, (2) adversely impacts public rights, (3) that the information and data which the permittee or any other agencies have provided in connection with the permit application is either false, incomplete or inaccurate, or (4) that the activity is in violation of the terms and/or conditions, including any special conditions of the permit. That the permittee, upon receipt of the Department's written intent to revoke, suspend, or modify the permit has the right to a hearing. Prior to revocation, suspension, or modification of this permit, the Department shall provide written notification of intent to revoke to the permittee, and permittee can respond with a written explanation to the Department. (South Carolina Code Section 1-23-370 shall govern the procedure for revocation, suspension or modification herein described).
14. Any modification, suspension or revocation of this permit shall not be the basis of any claim for damages against the Department or the State of South Carolina or any employee, agent, or representative of the Department or the State of South Carolina.
15. All activities authorized herein shall be, if they involve a discharge or deposit into navigable waters or ocean waters, at all times consistent with all applicable water quality standards, effluent limitations, and standards of performance, prohibitions, and pretreatment standards established pursuant to applicable federal, state and local laws.
16. Extreme care shall be exercised to prevent any adverse or undesirable effects from this work on the property of others. This permit authorizes no invasion of adjacent private property, and the Department assumes no responsibility or liability from any claims of damage arising out of any operations conducted by the permittee pursuant to this permit.

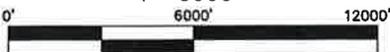
**SEE SPECIAL
CONDITION(S)**



- DIRECTIONS TO SITE FROM CHARLESTON:
- TAKE CALHOUN ST TO SC-30 W
 - TAKE SC-61 N TO HWY 17 S
 - CONTINUE ON HWY 17 S TO BEAUFORT COUNTY
 - TAKE EXIT TO HWY 21 S AND CONTINUE SOUTH
 - TAKE RIGHT ONTO CHOWAN CRK BLF
 - TAKE RIGHT ONTO DISTANT ISLAND DR



PROJECT VICINITY
SCALE: 1" = 6000'

<p>PURPOSE: SHORELINE STABILIZATION</p> <p>ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16</p>	<p>FIGURE 1 VICINITY MAP 1" = 6000'</p>  <p>APPLICANT DISTANT ISLAND COMM. ASSOC., INC. AGENT McSWEENEY ENGINEERS, LLC</p>	<p>PROPOSED: BULKHEAD WATERWAY: DISTANT ISLAND CREEK</p> <p>IN: BEAUFORT COUNTY OF: BEAUFORT, SC REVISION NO: 2 SHEET: 1 OF 16 DATE: 8/22/2024</p>
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**SEE SPECIAL
CONDITION(S)**

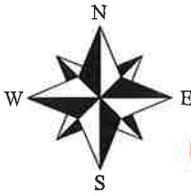


- DIRECTIONS TO SITE FROM CHARLESTON:
- TAKE CALHOUN ST TO SC-30 W
 - TAKE SC-61 N TO HWY 17 S
 - CONTINUE ON HWY 17 S TO BEAUFORT COUNTY
 - TAKE EXIT TO HWY 21 S AND CONTINUE SOUTH
 - TAKE RIGHT ONTO CHOWAN CRK BLF
 - TAKE RIGHT ONTO DISTANT ISLAND DR

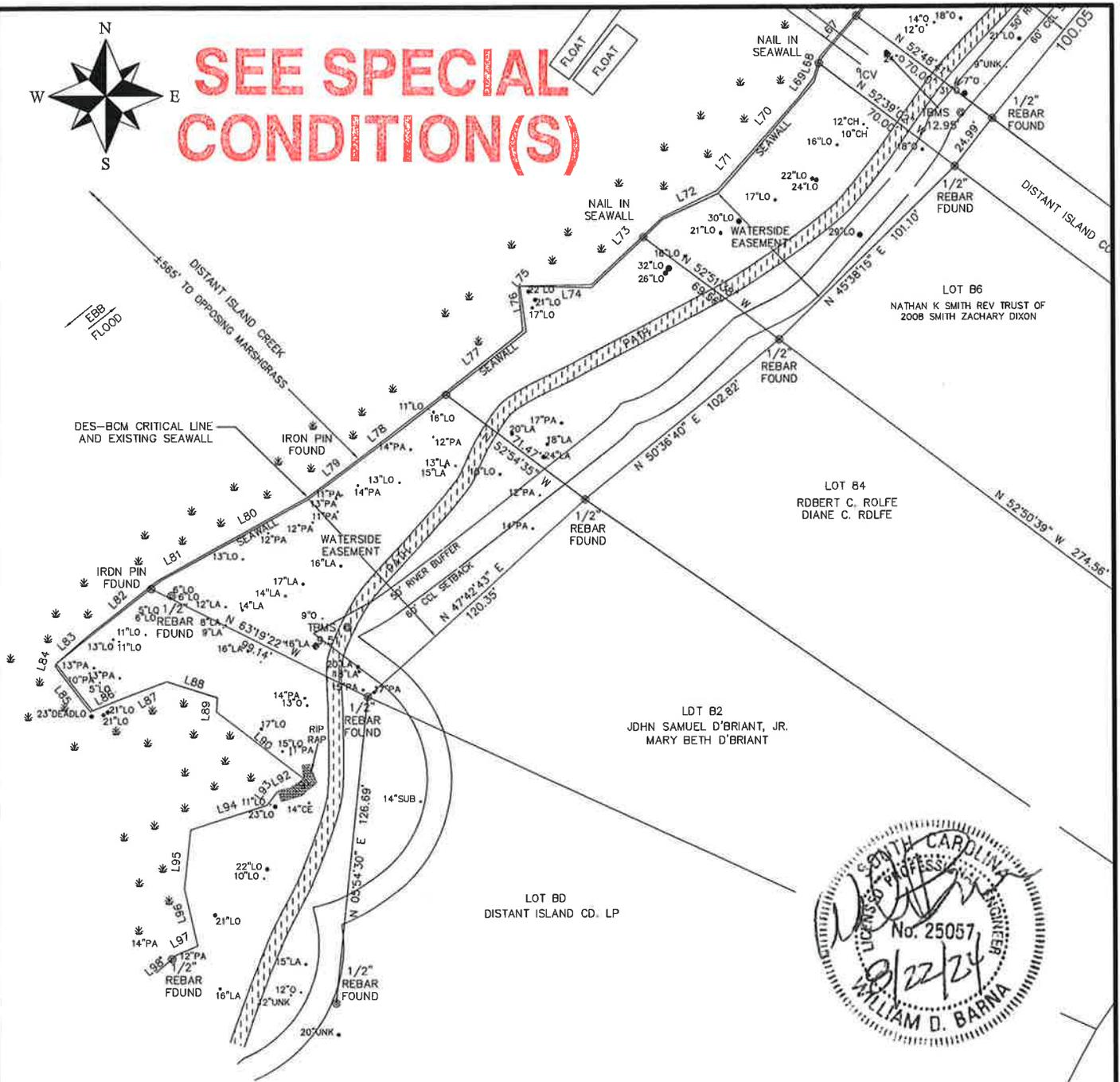


PROJECT LOCATION
SCALE: 1" = 4000'

<p>PURPOSE: SHORELINE STABILIZATION</p>	<p>FIGURE 2 LOCATION MAP 1"=4000'</p>  <p>APPLICANT DISTANT ISLAND COMM. ASSOC., INC. AGENT McSWEENEY ENGINEERS, LLC</p>	<p>PROPOSED: BULKHEAD WATERWAY: DISTANT ISLAND CREEK</p>
<p>ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16</p>		<p>IN: BEAUFORT COUNTY OF: BEAUFORT, SC REVISION NO: 2 SHEET: 2 OF 16 DATE: 8/22/2024</p>



**SEE SPECIAL
CONDITION(S)**



EXISTING SITE PLAN—LOTS 80–86
SCALE: 1:60

NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.

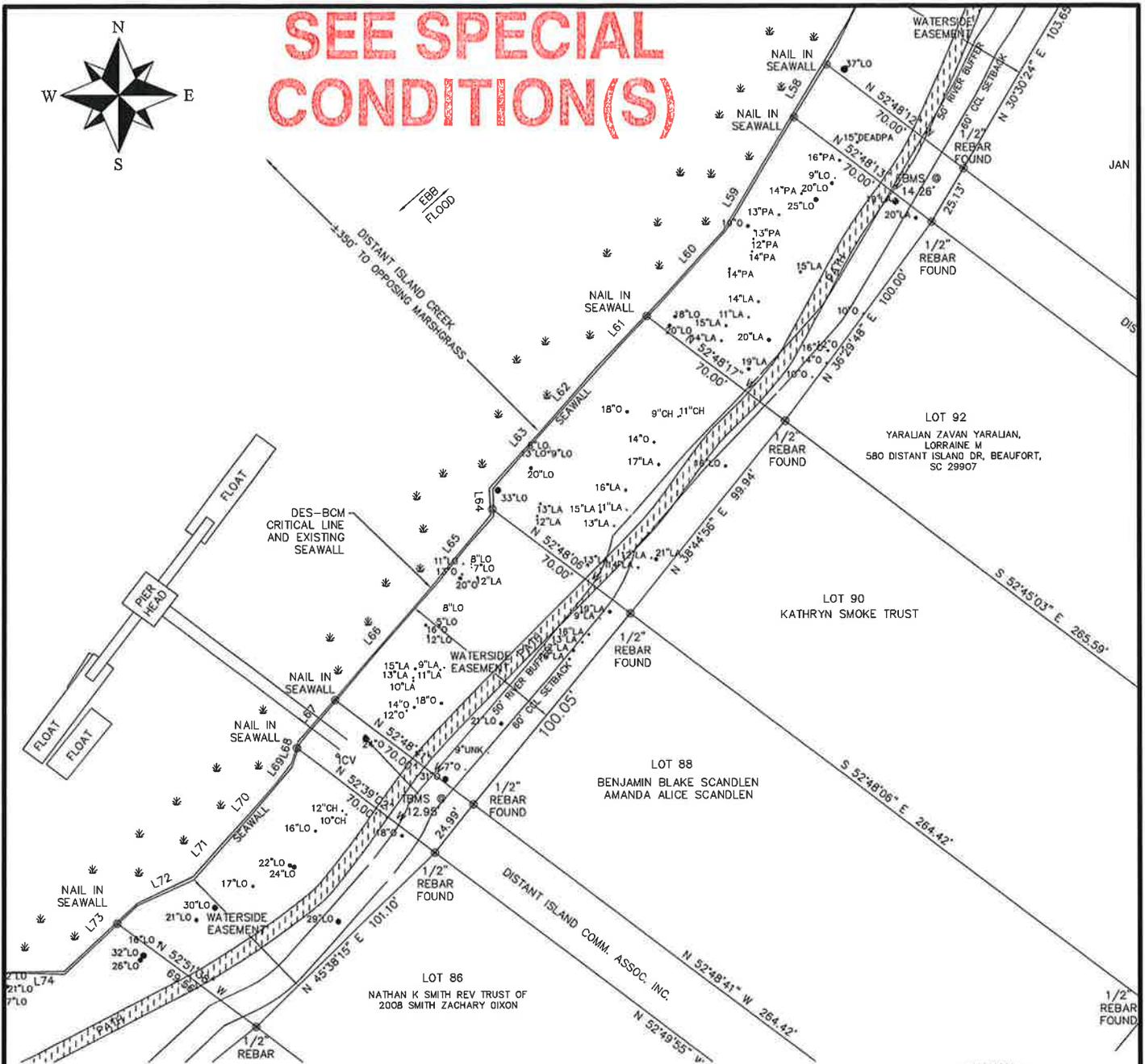
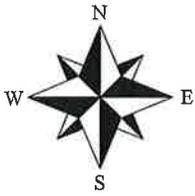
PURPOSE: SHORELINE STABILIZATION
ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16

FIGURE 3
EXISTING SITE PLAN LOTS 80–86
1:60

APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK
IN: BEAUFORT
COUNTY OF: BEAUFORT, SC
REVISION NO: 2
SHEET: 3 OF 16 **DATE:** 8/22/2024

**SEE SPECIAL
CONDITION(S)**



**EXISTING SITE PLAN—LOTS 88–92
AND COMMUNITY ACCESS LOTS**

SCALE: 1:60



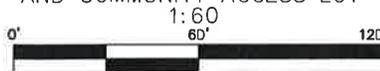
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ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.

PURPOSE: SHORELINE STABILIZATION

ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16

FIGURE 4
EXISTING SITE PLAN LOTS 88–92
AND COMMUNITY ACCESS LOT



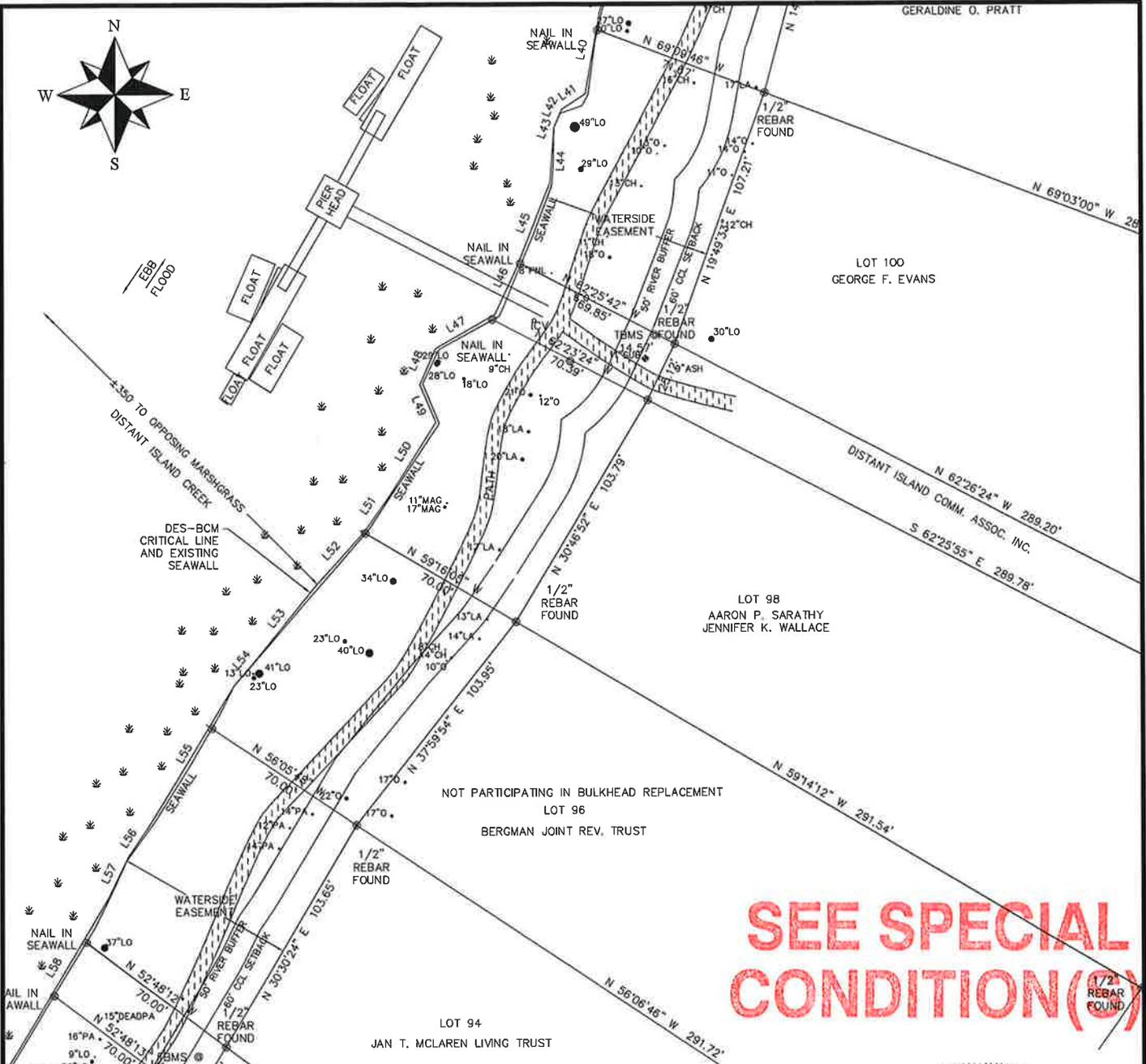
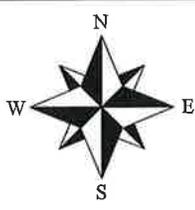
APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

REVISION NO: 2
SHEET: 4 OF 16 **DATE:** 8/22/2024

GERALDINE O. PRATT



SEE SPECIAL CONDITION (9)

EXISTING SITE PLAN—LOTS 94, 98 & 100 AND COMMUNITY ACCESS LOT

SCALE: 1:60



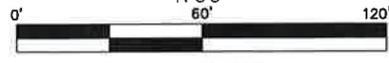
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ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.

PURPOSE: SHORELINE STABILIZATION

ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16

FIGURE 5
EXISTING SITE PLAN LOTS 94, 98 & 100 AND COMMUNITY ACCESS LOT
1:60

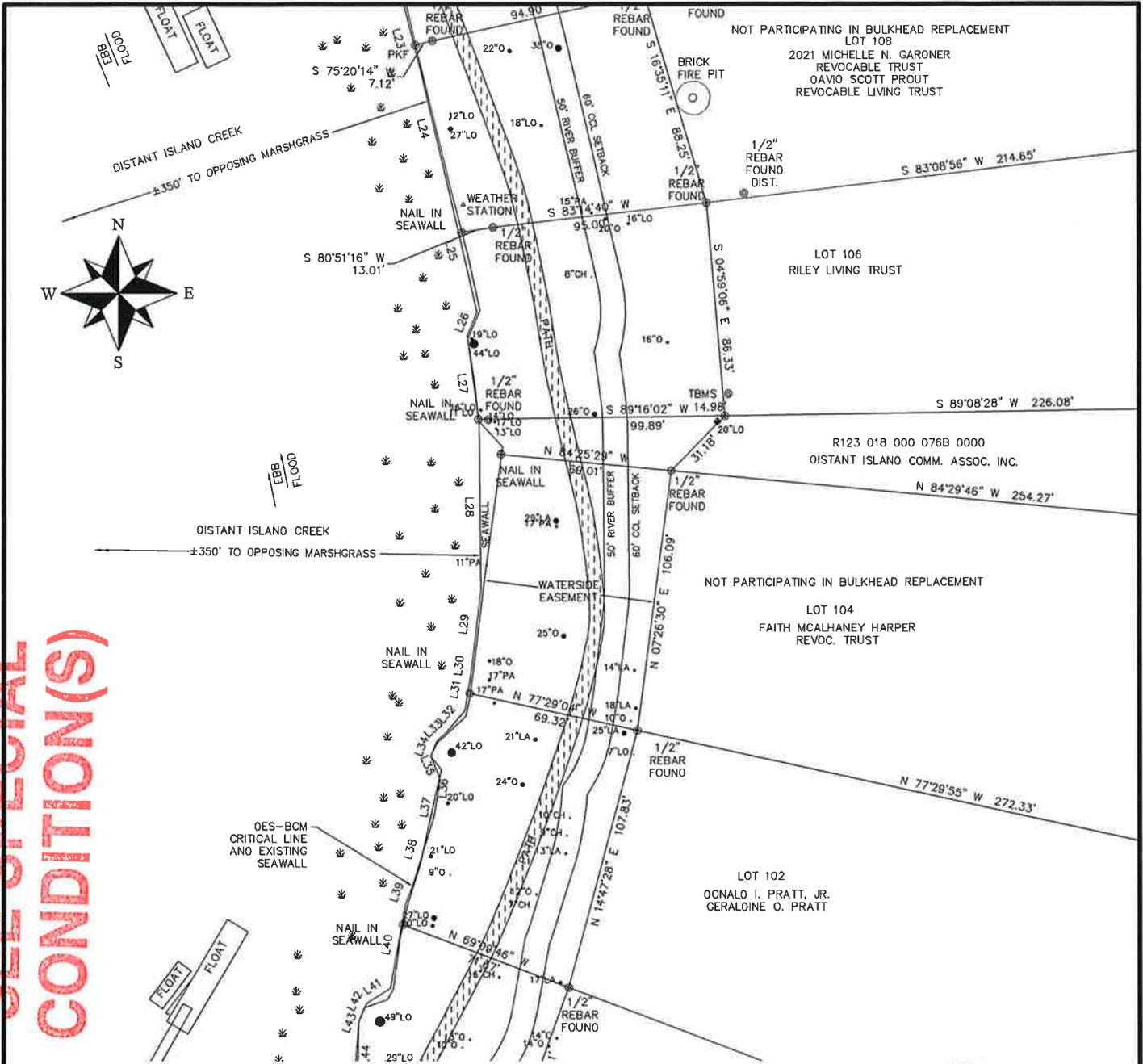


APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

IN: BEAUFORT
COUNTY OF: BEAUFORT, SC
REVISION NO: 2
SHEET: 5 OF 16 **DATE:** 8/22/2024

SEE SPECIAL
CONDITION(S)



EXISTING SITE PLAN—LOTS 102 & 106
AND COMMUNITY ACCESS LOT

SCALE: 1:60



NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

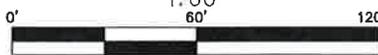
ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.

PURPOSE: SHORELINE STABILIZATION

FIGURE 6
EXISTING SITE PLAN LOTS 100 & 102
AND COMMUNITY ACCESS LOT

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16

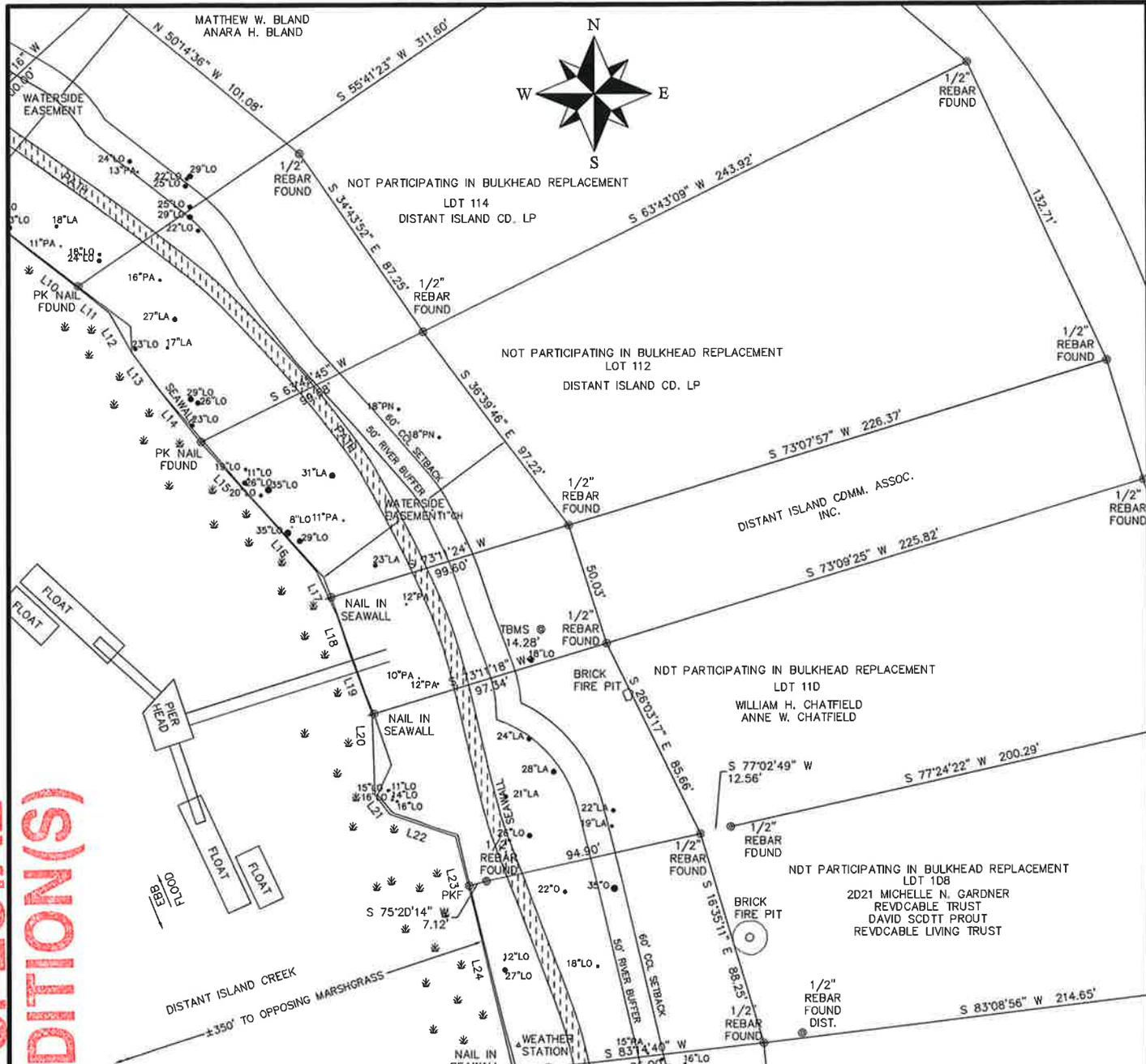


IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

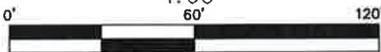
REVISION NO: 2
SHEET: 6 OF 16 **DATE:** 8/22/2024

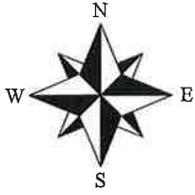
SEE SPECIAL
CONDITIONS



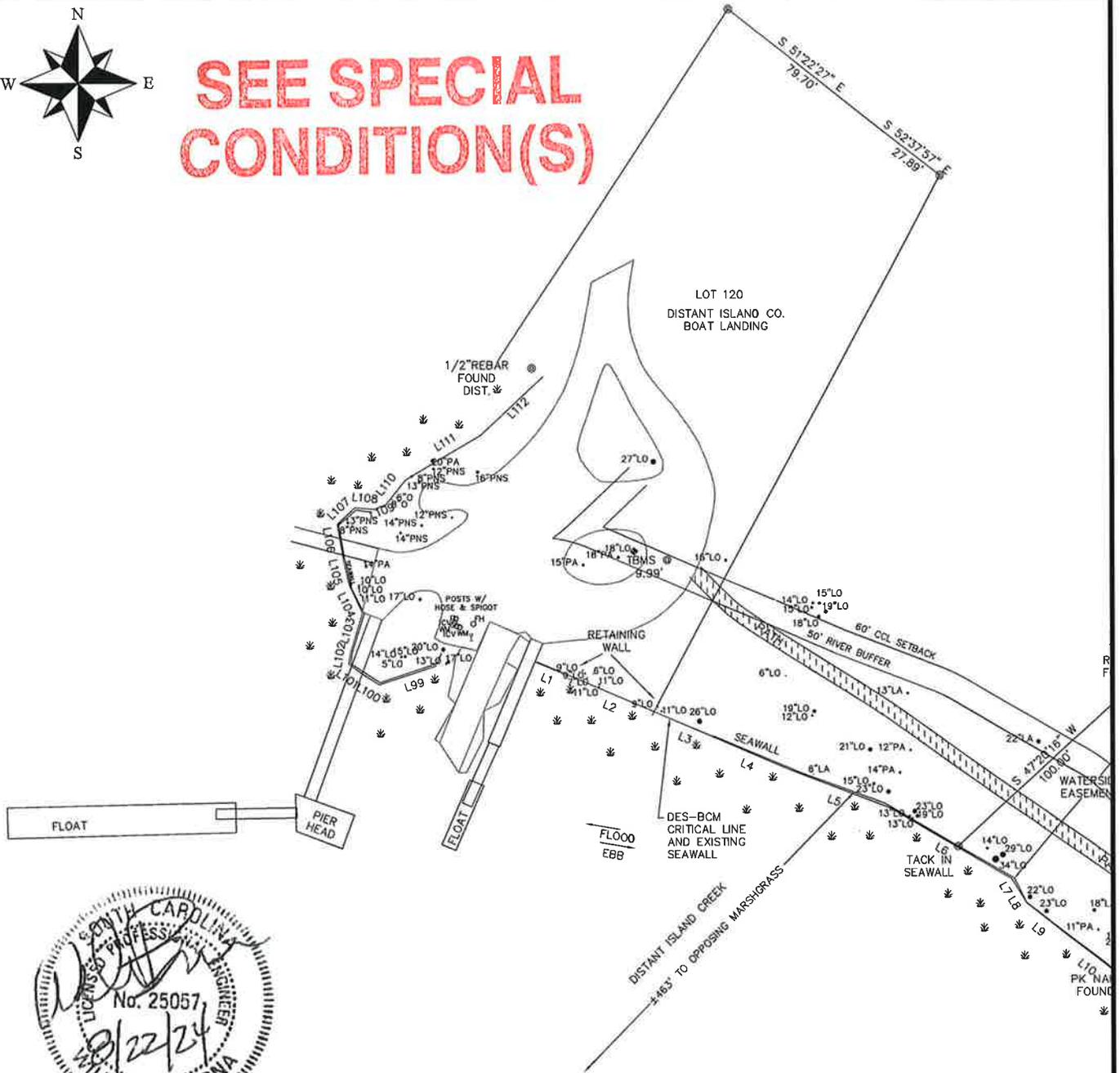
**EXISTING SITE PLAN
COMMUNITY ACCESS LOT**
SCALE: 1:60



<p>NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.</p>	<p>ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.</p>	<p>FIGURE 7 EXISTING SITE PLAN COMMUNITY ACCESS LOT 1:60</p>  <p>APPLICANT DISTANT ISLAND COMM. ASSOC., INC. AGENT McSWEENEY ENGINEERS, LLC</p>
<p>PURPOSE: SHORELINE STABILIZATION</p> <p>ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16</p>	<p>PROPOSED: BULKHEAD WATERWAY: DISTANT ISLAND CREEK</p> <p>IN: BEAUFORT COUNTY OF: BEAUFORT, SC REVISION NO: 2 SHEET: 7 OF 16 DATE: 8/22/2024</p>	



**SEE SPECIAL
CONDITION(S)**



**EXISTING SITE PLAN
BOAT LANDING**

SCALE: 1:60

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ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.

PURPOSE: SHORELINE STABILIZATION

ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16

FIGURE 8
EXISTING SITE PLAN— BOAT LANDING

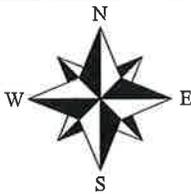


APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

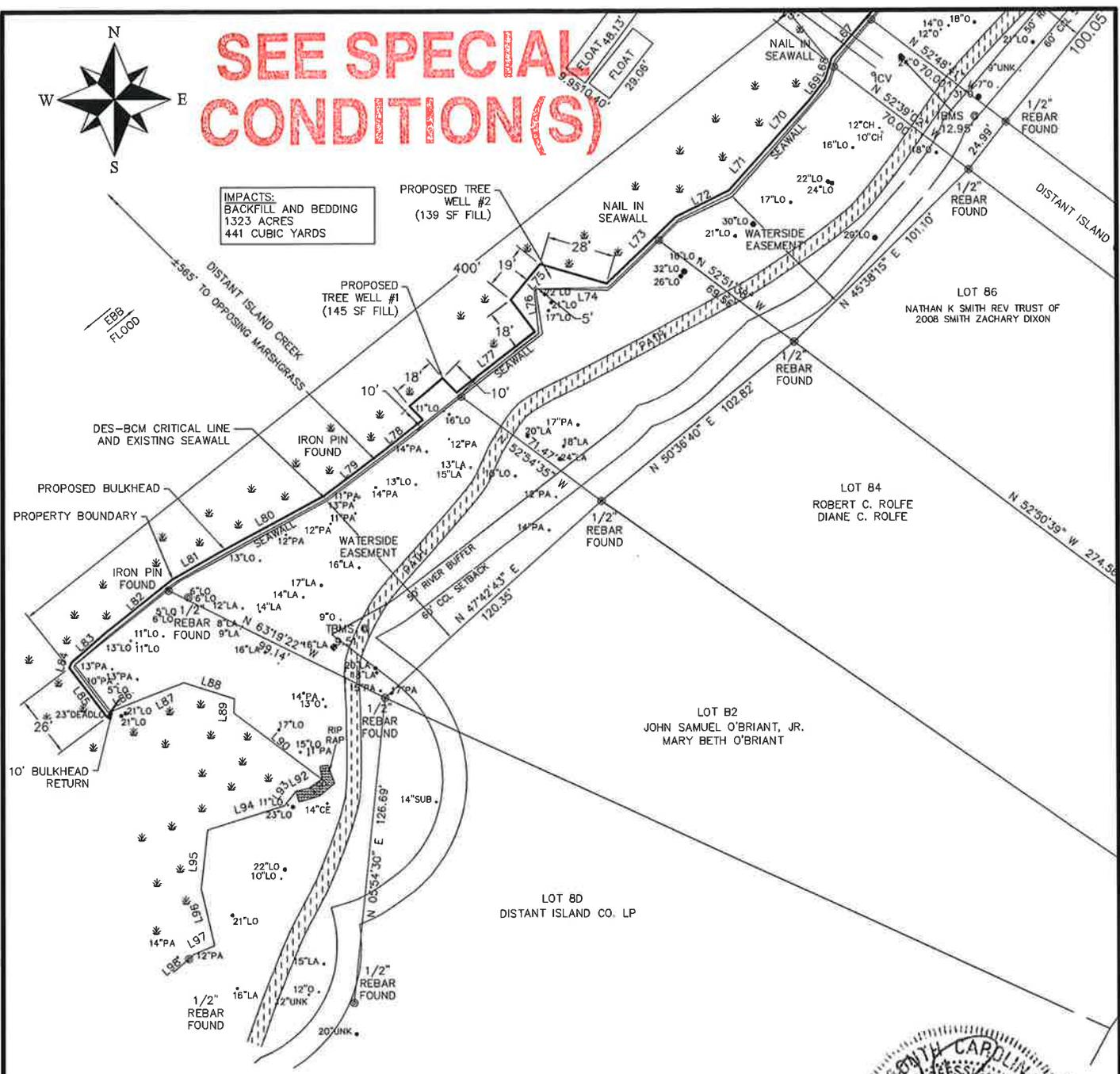
IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

REVISION NO: 2
SHEET: 8 OF 16 **DATE:** 8/22/2024



**SEE SPECIAL
CONDITION(S)**

IMPACTS:
BACKFILL AND BEDDING
1.323 ACRES
441 CUBIC YARDS



PROPOSED SITE PLAN—LOTS 80–86

SCALE: 1:60



NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

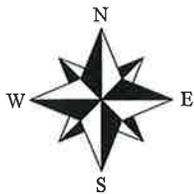
ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.

PURPOSE:
ADJACENT PROPERTY OWNERS:

FIGURE 9
PROPOSED SITE PLAN LOTS 80–86
1:60

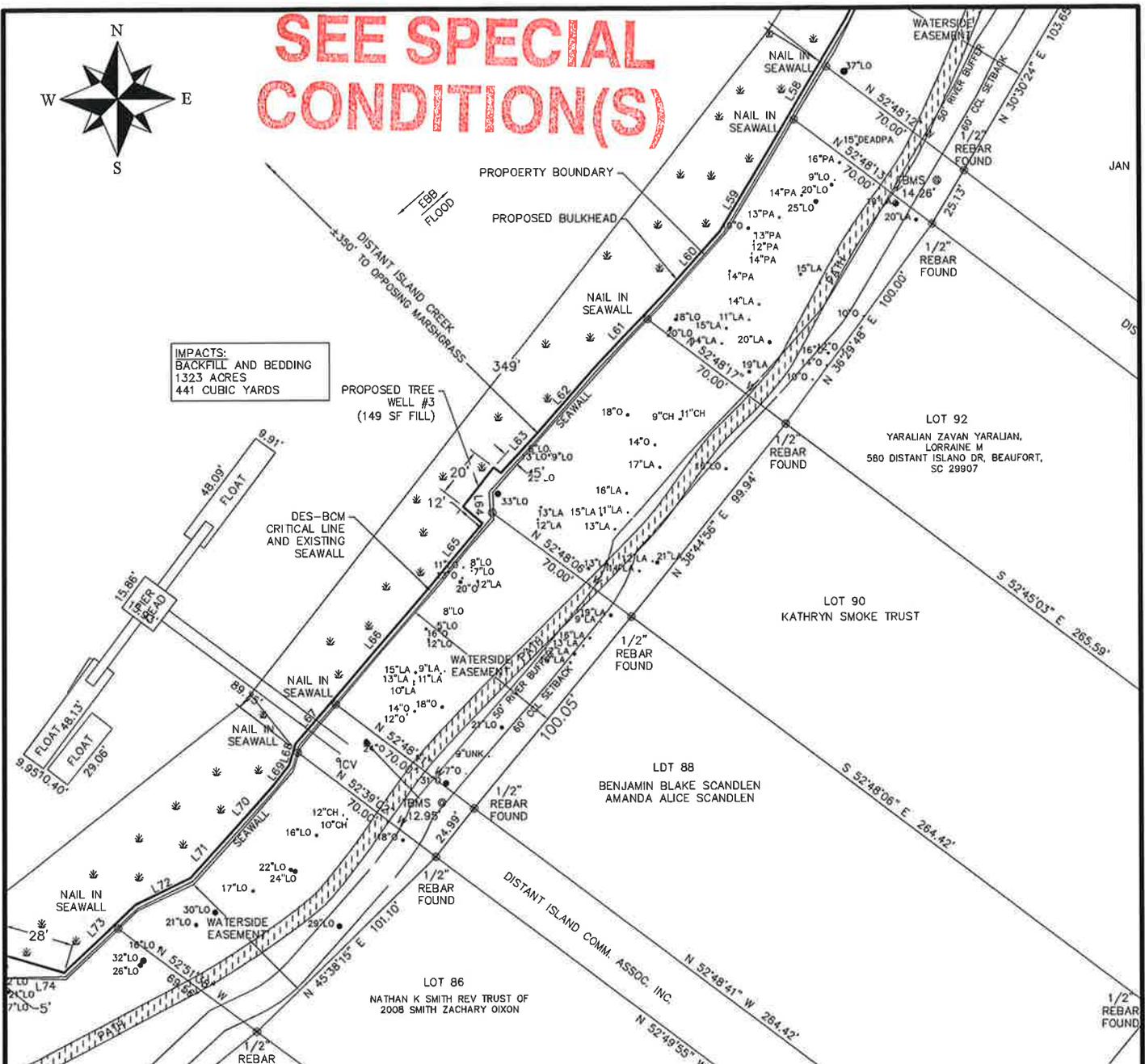
APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK
IN: BEAUFORT
COUNTY OF: BEAUFORT, SC
REVISION NO: 2
SHEET: 9 OF 16 **DATE:** 8/22/2024



**SEE SPECIAL
CONDITION(S)**

IMPACTS:
BACKFILL AND BEDDING
1323 ACRES
441 CUBIC YARDS



**PROPOSED SITE PLAN—LOTS 88–92
AND COMMUNITY ACCESS LOTS**

SCALE: 1:60



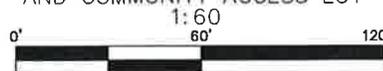
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ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.

PURPOSE: SHORELINE STABILIZATION

ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16

FIGURE 10
PROPOSED SITE PLAN LOTS 88–92
AND COMMUNITY ACCESS LOT



APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

REVISION NO: 2
SHEET: 10 OF 16 **DATE:** 8/22/2024



IMPACTS:
BACKFILL AND BEDDING
1323 ACRES
441 CUBIC YARDS

LOT 102
DONALD I. PRATT, JR.
GERALDINE O. PRATT

LOT 100
GEORGE F. EVANS

LOT 98
AARON P. SARATHY
JENNIFER K. WALLACE

NOT PARTICIPATING IN BULKHEAD REPLACEMENT
LOT 96
BERGMAN JOINT REV. TRUST

LOT 94
JAN T. MCLAREN LIVING TRUST

**SEE SPECIAL
CONDITION(S)**



**PROPOSED SITE PLAN—LOTS 94, 98 & 100
AND COMMUNITY ACCESS LOT**

SCALE: 1:60

NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.

PURPOSE: SHORELINE STABILIZATION

FIGURE 11
PROPOSED SITE PLAN LOTS 94, 98 & 100 AND COMMUNITY ACCESS LOT

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

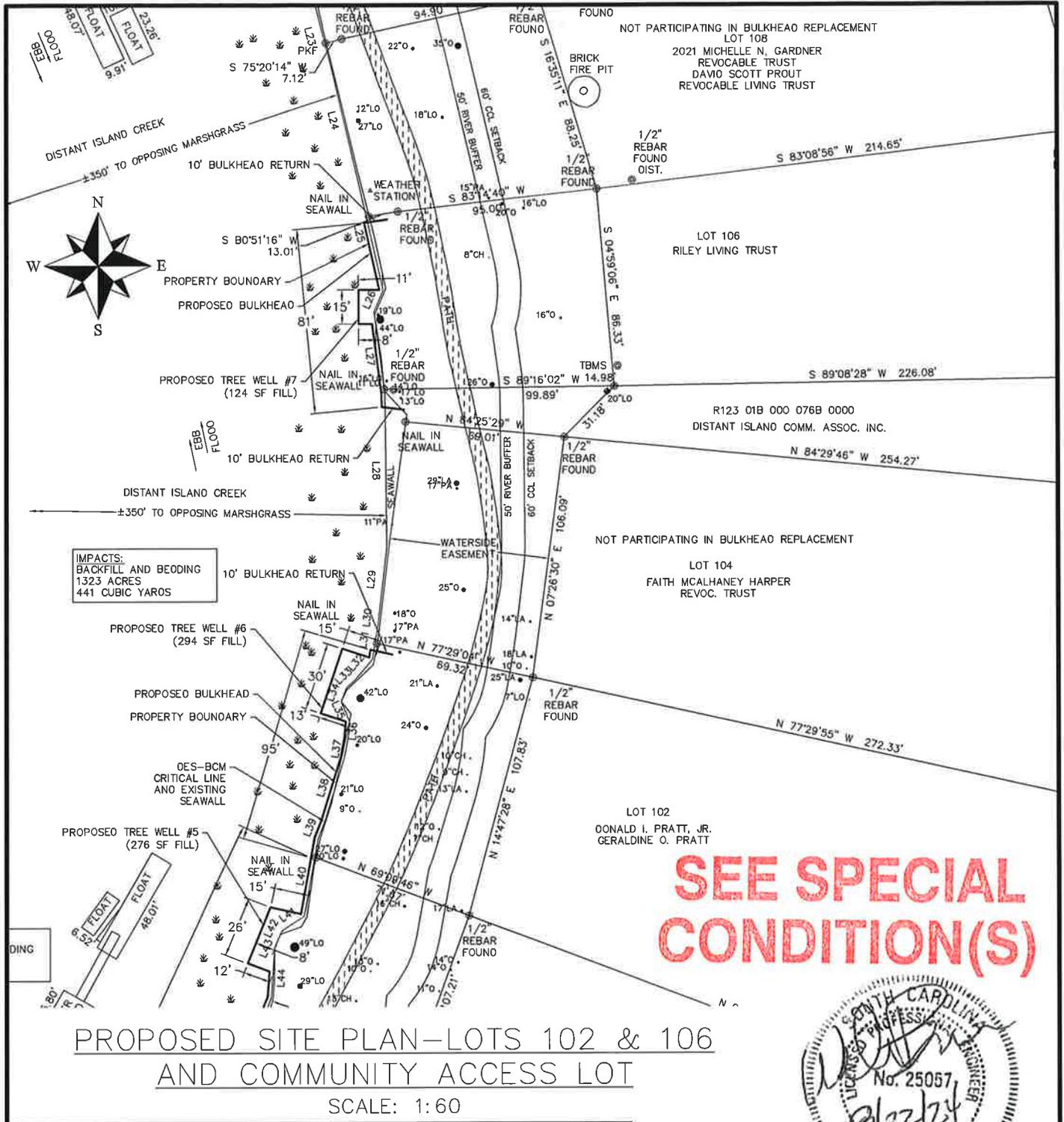
ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16



IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

REVISION NO: 2
SHEET: 11 OF 16 **DATE:** 8/22/2024

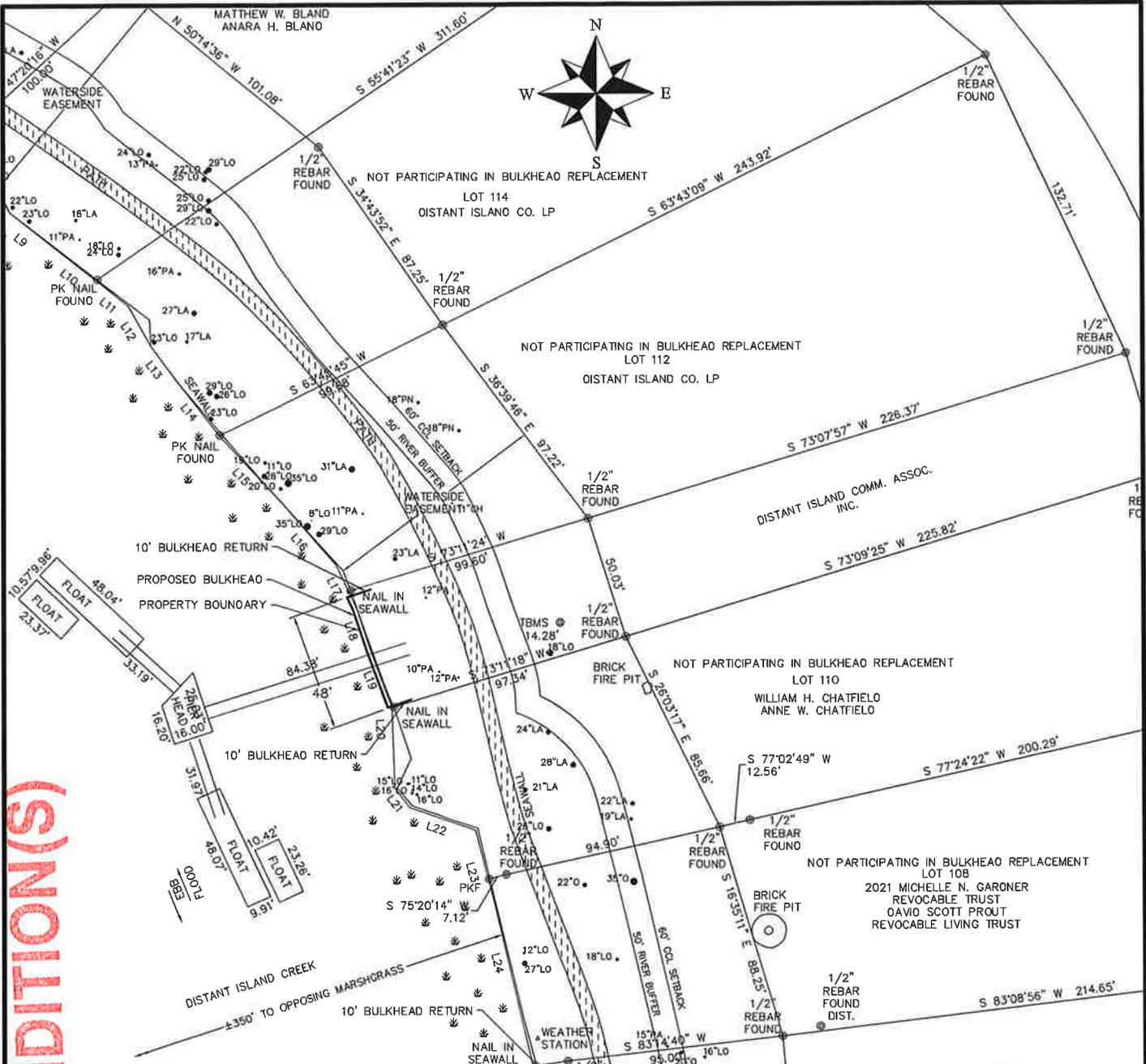


**PROPOSED SITE PLAN—LOTS 102 & 106
AND COMMUNITY ACCESS LOT**

SCALE: 1:60

<p>NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.</p>	<p>ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.</p>	
<p>PURPOSE: SHORELINE STABILIZATION</p> <p>ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16</p>	<p align="center">FIGURE 12</p> <p align="center">PROPOSED SITE PLAN LOTS 100 & 102 AND COMMUNITY ACCESS LOT</p> <p align="center">1:60</p> <p align="center">APPLICANT DISTANT ISLAND COMM. ASSOC., INC.</p> <p align="center">AGENT McSWEENEY ENGINEERS, LLC</p>	<p>PROPOSED: BULKHEAD</p> <p>WATERWAY: DISTANT ISLAND CREEK</p> <p>IN: BEAUFORT</p> <p>COUNTY OF: BEAUFORT, SC</p> <p>REVISION NO: 2</p> <p>SHEET: 12 OF 16 DATE: 8/22/2024</p>

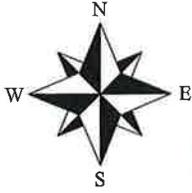
SEE SPECIAL CONDITIONS



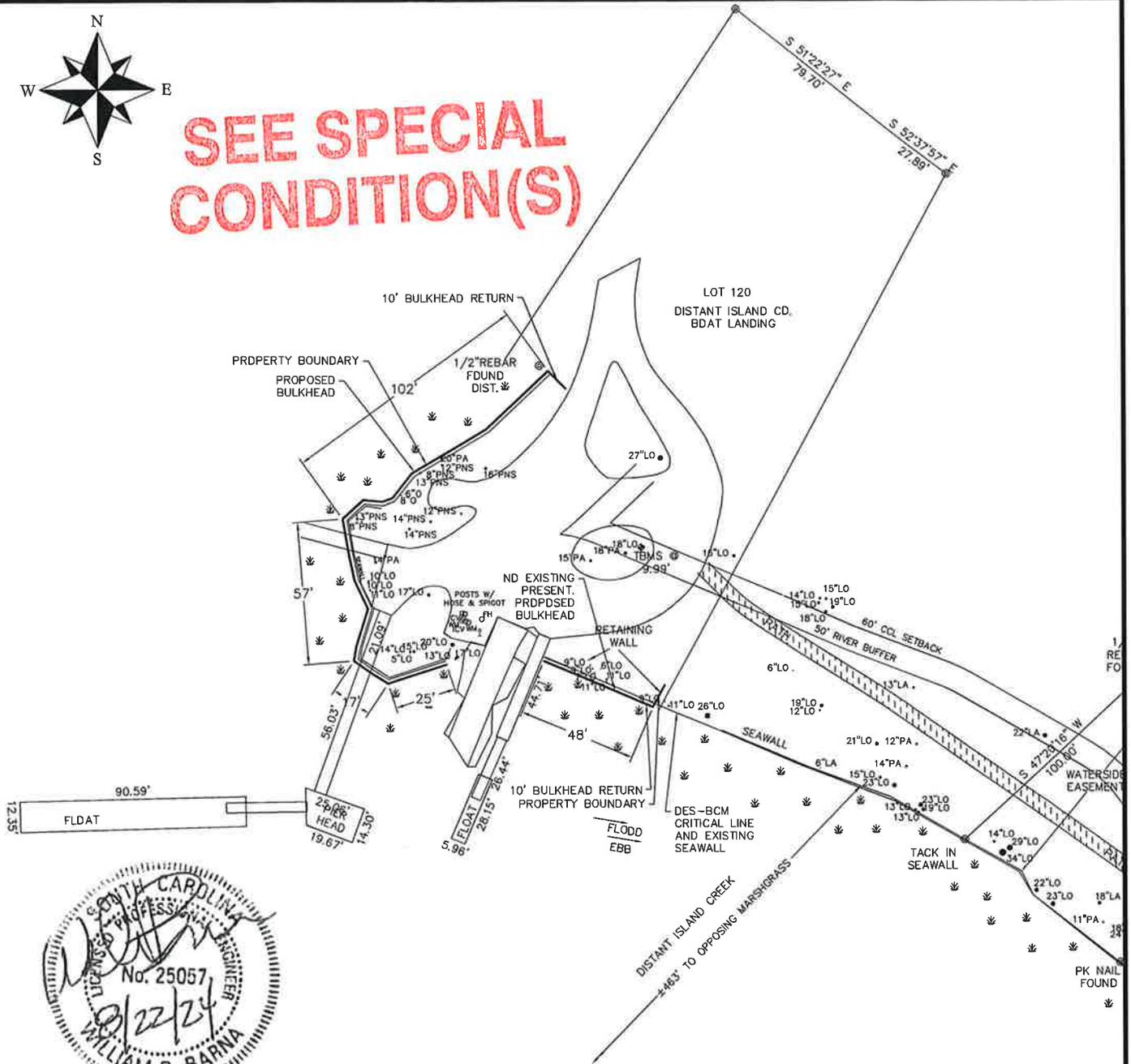
**PROPOSED SITE PLAN
COMMUNITY ACCESS LOT**
SCALE: 1:60



<p>NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.</p>	<p>ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.</p>		
<p>PURPOSE: SHORELINE STABILIZATION</p> <p>ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16</p>	<p align="center">FIGURE 13 PROPOSED SITE PLAN COMMUNITY ACCESS LOT 1:60</p> <p align="center">APPLICANT DISTANT ISLAND COMM. ASSOC., INC. AGENT McSWEENEY ENGINEERS, LLC</p>	<p>PROPOSED: BULKHEAD WATERWAY: DISTANT ISLAND CREEK</p> <p>IN: BEAUFORT COUNTY OF: BEAUFORT, SC</p> <p>REVISION NO: 2 SHEET: 13 OF 16</p>	<p>DATE: 8/22/2024</p>



**SEE SPECIAL
CONDITION(S)**

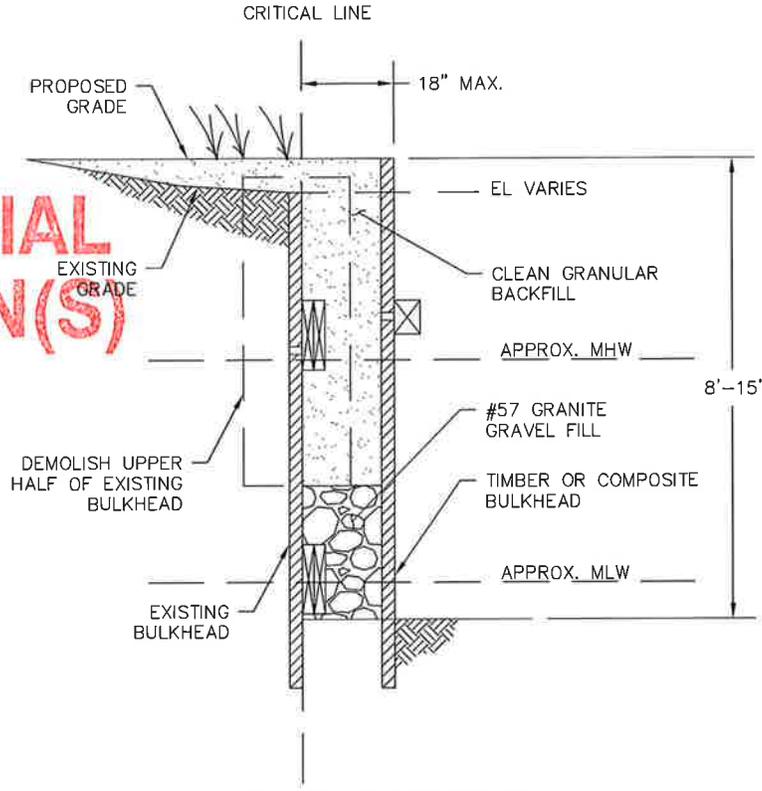


**PROPOSED SITE PLAN
BOAT LANDING**

SCALE: 1:60

<p>NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.</p>	<p>ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.</p>	
<p>PURPOSE: SHORELINE STABILIZATION</p> <p>ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16</p>	<p>FIGURE 14 PROPOSED SITE PLAN— BOAT LANDING</p> <p>1:60 0' 60' 120'</p> <p>APPLICANT DISTANT ISLAND COMM. ASSOC., INC.</p> <p>AGENT McSWEENEY ENGINEERS, LLC</p>	<p>PROPOSED: BULKHEAD WATERWAY: DISTANT ISLAND CREEK</p> <p>IN: BEAUFORT COUNTY OF: BEAUFORT, SC</p> <p>REVISION NO: 2 SHEET: 14 OF 16 DATE: 8/22/2024</p>

**SEE SPECIAL
CONDITION(S)**



BULKHEAD SECTION
SCALE: 1:3



LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 66°53'39" E	11.53'	L41	S 56°36'47" W	11.34'	L81	S 60°20'36" W	20.79'
L2	S 66°48'57" E	43.28'	L42	S 25°51'39" W	1.89'	L82	S 51°23'02" W	34.85'
L3	S 67°08'24" E	23.00'	L43	S 22°21'24" W	6.30'	L83	S 49°01'13" W	18.57'
L4	S 66°25'50" E	31.96'	L44	S 04°06'19" W	21.98'	L84	S 20°13'41" W	1.08'
L5	S 68°51'04" E	42.64'	L45	S 21°36'13" W	37.46'	L85	S 37°08'28" E	23.46'
L6	S 59°44'03" E	56.71'	L46	S 25°08'53" W	19.92'	L86	N 68°11'59" E	15.57'
L7	S 30°52'24" E	7.16'	L47	S 59°52'34" W	27.53'	L87	N 68°45'50" E	17.80'
L8	S 31°07'16" E	3.92'	L48	S 23°30'36" W	15.82'	L88	S 72°09'01" E	21.72'
L9	S 51°16'39" E	23.32'	L49	S 23°01'53" E	16.40'	L89	S 02°50'56" W	5.94'
L10	S 51°53'44" E	26.12'	L50	S 32°16'55" W	34.50'	L90	S 52°37'30" E	45.20'
L11	S 50°47'52" E	11.47'	L51	S 34°35'55" W	18.30'	L91	S 55°25'33" W	6.46'
L12	S 29°25'51" E	18.46'	L52	S 42°18'02" W	28.96'	L92	S 76°27'01" W	5.39'
L13	S 36°02'05" E	17.25'	L53	S 39°08'03" W	40.86'	L93	S 38°20'09" W	7.51'
L14	S 37°55'16" E	28.27'	L54	S 39°54'37" W	11.46'	L94	S 72°12'51" W	33.03'
L15	S 42°18'27" E	36.64'	L55	S 31°00'06" W	67.01'	L95	S 06°17'31" W	24.35'
L16	S 41°01'07" E	33.09'	L56	S 33°56'07" W	13.41'	L96	S 12°53'54" E	24.17'
L17	S 24°46'01" E	19.65'	L57	S 25°43'44" W	18.41'	L97	S 67°00'26" W	9.13'
L18	S 18°17'11" E	17.00'	L58	S 30°39'53" W	72.05'	L98	S 48°44'09" W	11.13'
L19	S 20°12'28" E	24.80'	L59	S 30°45'19" W	27.49'	L99	S 72°06'50" W	24.10'
L20	S 01°55'23" E	32.77'	L60	S 41°56'44" W	33.02'	L100	N 58°27'35" W	6.58'
L21	S 37°03'03" E	9.80'	L61	S 43°37'17" W	43.19'	L101	N 54°24'53" W	8.14'
L22	S 70°55'55" E	28.15'	L62	S 41°04'38" W	34.11'	L102	N 09°52'43" E	4.89'
L23	S 14°11'38" E	31.65'	L63	S 42°11'59" W	30.41'	L103	N 16°43'49" E	16.27'
L24	S 13°11'09" E	47.63'	L64	S 03°13'18" E	10.75'	L104	N 24°54'55" W	12.85'
L25	S 13°00'05" E	51.98'	L65	S 39°21'58" W	38.10'	L105	N 12°23'39" W	10.71'
L26	S 22°16'19" W	10.39'	L66	S 40°35'32" W	60.29'	L106	N 09°46'56" W	13.64'
L27	S 07°40'39" E	36.11'	L67	S 40°46'01" W	21.82'	L107	N 47°09'25" E	9.72'
L28	S 00°35'01" E	67.10'	L68	S 16°32'26" W	8.99'	L108	S 84°18'12" E	7.42'
L29	S 06°42'21" W	28.69'	L69	S 37°19'01" W	10.77'	L109	N 69°17'57" E	5.22'
L30	S 06°25'06" W	4.78'	L70	S 41°29'27" W	28.26'	L110	N 38°51'22" E	12.71'
L31	S 09°16'20" W	15.76'	L71	S 41°37'14" W	22.08'	L111	N 59°20'16" E	34.63'
L32	S 40°05'20" W	11.91'	L72	S 63°52'36" W	24.61'	L112	N 46°36'38" E	34.21'
L33	S 48°17'21" W	4.95'	L73	S 46°34'54" W	40.22'			
L34	S 21°31'54" W	6.64'	L74	S 89°02'30" W	29.38'			
L35	S 22°32'26" E	9.13'	L75	S 30°31'11" W	0.99'			
L36	S 04°23'00" W	7.07'	L76	S 05°34'40" E	17.56'			
L37	S 10°12'44" W	9.14'	L77	S 51°58'14" W	64.53'			
L38	S 16°57'11" W	29.40'	L78	S 52°01'06" W	15.90'			
L39	S 21°12'44" W	7.74'	L79	S 53°06'00" W	30.82'			
L40	S 10°10'40" W	34.71'	L80	S 61°22'26" W	49.61'			

PURPOSE: SHORELINE STABILIZATION

ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16

FIGURE 15
BULKHEAD SECTION
1:3

APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK
IN: BEAUFORT
COUNTY OF: BEAUFORT, SC
REVISION NO: 2
SHEET: 15 OF 16 **DATE:** 8/22/2024

ADJACENT PROPERTY TMS:

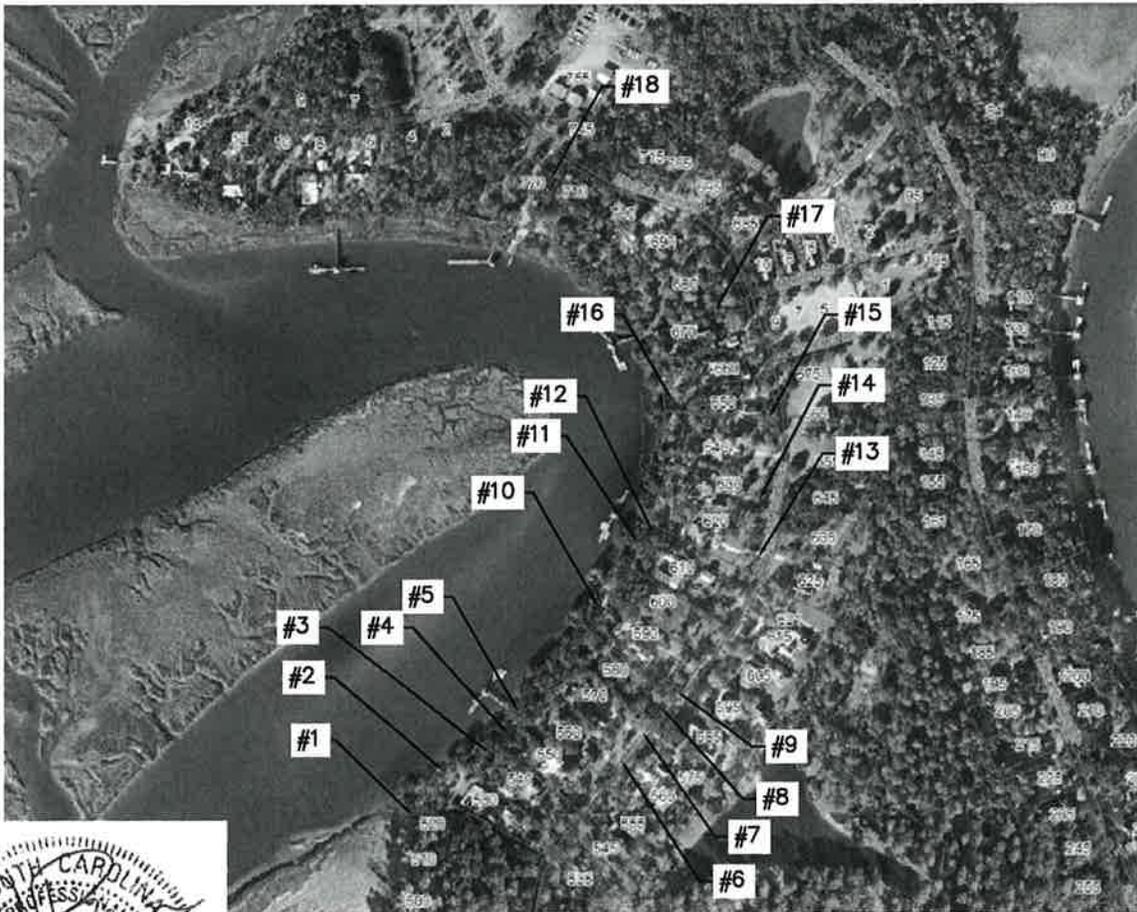
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14. R123 01B 000 0640 0000
15. R123 01B 000 076B 0000
16. R123 01B 000 0533 0000
17. R123 01B 000 076B 0000
18. R123 01B 000 0666 0000

OWNER:

1. DISTANT ISLAND CO LP
2. O'BRIANT JOHN SAMUEL JR
3. ROLFE ROBERT C ROLFE DIANE C
4. NATHAN K SMITH REV TRUST OF 2008 SMITH ZACHARY DIXON
5. DISTANT ISLAND CO LP
6. SCANDLEN BENJAMIN BLAKE, SCANDLEN AMANDA ALICE
7. KATHRYN K SMOKE TRUST
8. YARALIAN ZAVAN YARALIAN, LORRAINE M
9. DISTANT ISLAND CO LP
10. JAN T MCLAREN LIVNG TRUST
11. SARATHY AARON P WALLACE, JENNIFER K
12. DISTANT ISLAND CO LP
13. EVANS GEORGE F
14. PRATT DONALD I JR PRATT, GERALDINE O
15. DISTANT ISLAND CO LP
16. RILEY LIVING TRUST
17. DISTANT ISLAND CO LP
18. DISTANT ISLAND COMMUNITY ASSOC INC

ADDRESS:

1. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
2. 530 DISTANT ISLAND DR, BEAUFORT, SC 29907
3. 540 DISTANT ISLAND DR, BEAUFORT, SC 29907
4. 550 DISTANT ISLAND DR, BEAUFORT, SC 29907
5. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
6. 560 DISTANT ISLAND DR, BEAUFORT, SC 29907
7. 570 DISTANT ISLAND DR, BEAUFORT, SC 29907
- B. 580 DISTANT ISLAND DR, BEAUFORT, SC 29907
9. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
10. 590 DISTANT ISLAND DR, BEAUFORT, SC 29907
11. 610 DISTANT ISLAND DR, BEAUFORT, SC 29907
12. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
13. 620 DISTANT ISLAND DR, BEAUFORT, SC 29907
14. 630 DISTANT ISLAND DR, BEAUFORT, SC 29907
15. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
16. 650 DISTANT ISLAND DR, BEAUFORT, SC 29907
17. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
18. 720 DISTANT ISLAND DR, BEAUFORT, SC 29907



**SEE SPECIAL
CONDITION(S)**

PURPOSE: SHORELINE STABILIZATION

ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16

FIGURE 16
ADJACENT PROPERTY OWNERS MAP
SCALE: NTS

APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

REVISION NO: 2
SHEET: 16 OF 16 **DATE:** 8/22/2024

SEE SPECIAL CONDITION(S)



LOCATOR MAP (N.T.S.)

- NOTES:**
- 1) THE SURVEY SHOWN HEREON ARE MADE BY GASQUE & ASSOCIATES, INC. AND ARE SUBJECT TO LOCAL ORDINANCES AND THE PLAT DOES NOT CONSTITUTE THE PRACTICE OR OPINION OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WATERS.
 - 2) METHODS AND CALCULATIONS BASED ON COORDINATE METHOD.
 - 3) LOCATION OF ENCUMBRANCES LISTED ARE FROM SURFACE INDICATIONS ONLY AND ARE NOT CERTAINLY.
 - 4) THE PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.
 - 5) ENCUMBRANCES ARE NOT NECESSARILY TO ADDITIONAL INVESTIGATIONS OR SURVEYS.
 - 6) THE SURVEYER HAS NOT INVESTIGATED OR BEEN RESTRICTED TO INVESTIGATE THE EXISTENCE OR NON-EXISTENCE OF ANY SURVEY DISTRICTS, SUCH AS AIRPORT, MILITARY, ROADS, CRASH POTENTIAL OR ENVIRONMENTAL ISSUES.
 - 7) BEFORE ANY DESIGN WORK OR CONSTRUCTION ON THIS SITE IS INITIATED, PLEASE OBTAIN INFORMATION MUST BE OBTAINED BY PROPER BUILDING CODES OFFICIAL.
 - 8) SETBACKS SHOWN AS PER PART OF RECORD ARE NOT BE REFERRED WITH OTHER AGENCY SETBACKS FOR LAND OR CONSTRUCTION ON ADJACENT PROPERTY.
 - 9) THE PROPERTY APPEARS TO BE IN FLOOD ZONE "X" SHOWN ON FEMA FIRM COMM-PANEL NUMBER 8501202181 DATED MARCH 23, 2002, 1500 HIGHS.
 - 10) CONTOUR INTERVAL: 5 FT. 1:12,000 C.S. JANUARY 25, 1988 H.W.D.

- REFERENCES:**
- 1) T.M.S. #1123 018 000 0769 0000 (PORTION OF)
 - T.M.S. #1123 018 000 0850 0001
 - T.M.S. #1123 018 000 0853 0000
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 - T.M.S. #1123 018 000 2293 0000
 - T.M.S. #1123 018 000 2297 0000
 - T.M.S. #1123 018 000 2301 0000
 - T.M.S.

SEE SPECIAL
CONDITION(S)



LOCATION MAP (N.T.S.)

SYMBOL	DESCRIPTION
1	1" X 1" GRID
2	2" X 2" GRID
3	4" X 4" GRID
4	8" X 8" GRID
5	16" X 16" GRID
6	32" X 32" GRID
7	64" X 64" GRID
8	128" X 128" GRID
9	256" X 256" GRID
10	512" X 512" GRID
11	1024" X 1024" GRID
12	2048" X 2048" GRID
13	4096" X 4096" GRID
14	8192" X 8192" GRID
15	16384" X 16384" GRID
16	32768" X 32768" GRID
17	65536" X 65536" GRID
18	131072" X 131072" GRID
19	262144" X 262144" GRID
20	524288" X 524288" GRID
21	1048576" X 1048576" GRID
22	2097152" X 2097152" GRID
23	4194304" X 4194304" GRID
24	8388608" X 8388608" GRID
25	16777216" X 16777216" GRID
26	33554432" X 33554432" GRID
27	67108864" X 67108864" GRID
28	134217728" X 134217728" GRID
29	268435456" X 268435456" GRID
30	536870912" X 536870912" GRID
31	1073741824" X 1073741824" GRID
32	2147483648" X 2147483648" GRID
33	4294967296" X 4294967296" GRID
34	8589934592" X 8589934592" GRID
35	17179869184" X 17179869184" GRID
36	34359738368" X 34359738368" GRID
37	68719476736" X 68719476736" GRID
38	137438953472" X 137438953472" GRID
39	274877906944" X 274877906944" GRID
40	549755813888" X 549755813888" GRID
41	1099511627776" X 1099511627776" GRID
42	2199023255552" X 2199023255552" GRID
43	4398046511104" X 4398046511104" GRID
44	8796093022208" X 8796093022208" GRID
45	17592186444416" X 17592186444416" GRID
46	35184372888832" X 35184372888832" GRID
47	70368745777664" X 70368745777664" GRID
48	140737491555328" X 140737491555328" GRID
49	281474983110656" X 281474983110656" GRID
50	562949966221312" X 562949966221312" GRID
51	1125899932422624" X 1125899932422624" GRID
52	2251799864845248" X 2251799864845248" GRID
53	4503599729690496" X 4503599729690496" GRID
54	9007199459380992" X 9007199459380992" GRID
55	18014398918761984" X 18014398918761984" GRID
56	36028797837523968" X 36028797837523968" GRID
57	72057595675047936" X 72057595675047936" GRID
58	144115191350095872" X 144115191350095872" GRID
59	288230382700191744" X 288230382700191744" GRID
60	576460765400383488" X 576460765400383488" GRID
61	1152921530800766976" X 1152921530800766976" GRID
62	2305843061601533952" X 2305843061601533952" GRID
63	4611686123203067904" X 4611686123203067904" GRID
64	9223372246406135808" X 9223372246406135808" GRID
65	18446744492812271616" X 18446744492812271616" GRID
66	36893488985624543232" X 36893488985624543232" GRID
67	73786977971249086464" X 73786977971249086464" GRID
68	147573955942498172928" X 147573955942498172928" GRID
69	295147911884996345856" X 295147911884996345856" GRID
70	590295823769992691712" X 590295823769992691712" GRID
71	1180591647539985383424" X 1180591647539985383424" GRID
72	2361183295079970766848" X 2361183295079970766848" GRID
73	4722366590159941533696" X 4722366590159941533696" GRID
74	9444733180319883067392" X 9444733180319883067392" GRID
75	18889466360639767134784" X 18889466360639767134784" GRID
76	37778932721279534269568" X 37778932721279534269568" GRID
77	75557865442559068539136" X 75557865442559068539136" GRID
78	151115730885118137078272" X 151115730885118137078272" GRID
79	302231461770236274156544" X 302231461770236274156544" GRID
80	604462923540472548313088" X 604462923540472548313088" GRID
81	1208925847080945096626176" X 1208925847080945096626176" GRID
82	2417851694161890193252352" X 2417851694161890193252352" GRID
83	4835703388323780386504704" X 4835703388323780386504704" GRID
84	9671406776647560773009408" X 9671406776647560773009408" GRID
85	19342813553295121546018816" X 19342813553295121546018816" GRID
86	38685627106590243092037632" X 38685627106590243092037632" GRID
87	77371254213180486184075264" X 77371254213180486184075264" GRID
88	154742508426360972368150528" X 154742508426360972368150528" GRID
89	309485016852721944736301056" X 309485016852721944736301056" GRID
90	618970033705443889472602112" X 618970033705443889472602112" GRID
91	1237940067410887778945204224" X 1237940067410887778945204224" GRID
92	2475880134821775557890408448" X 2475880134821775557890408448" GRID
93	4951760269643551115780816896" X 4951760269643551115780816896" GRID
94	9903520539287102231561633792" X 9903520539287102231561633792" GRID
95	1980704107857420446312266784" X 1980704107857420446312266784" GRID
96	3961408215714840892624533568" X 3961408215714840892624533568" GRID
97	7922816431429681785249067136" X 7922816431429681785249067136" GRID
98	1584563286255936370449813472" X 1584563286255936370449813472" GRID
99	3169126572511872740899626944" X 3169126572511872740899626944" GRID
100	6338253145023745481799253888" X 6338253145023745481799253888" GRID

LEGEND OF SYMBOLS & ABBREVIATIONS

○	FIRE HYDRANT	○	MANHOLE
□	CLEAR CUT	○	WATER VALVE
○	POWER POLE	○	CURB
○	WATERMETER PROBE/VALVE	○	CABLE BOX
○	WATER VALVE	○	WATER VALVE
○	GAS VALVE	○	WATER METER
○	WATER METER	○	1/2" ROD SET
○	1/2" ROD SET	○	DEMARKER

TREE LEGEND

SYMBOL	TREE SPECIES	HEIGHT	DBH
○	ACACIA	10'	4"
○	ALBANY	10'	4"
○	ALBANY	15'	6"
○	ALBANY	20'	8"
○	ALBANY	25'	10"
○	ALBANY	30'	12"
○	ALBANY	35'	14"
○	ALBANY	40'	16"
○	ALBANY	45'	18"
○	ALBANY	50'	20"
○	ALBANY	55'	22"
○	ALBANY	60'	24"
○	ALBANY	65'	26"
○	ALBANY	70'	28"
○	ALBANY	75'	30"
○	ALBANY	80'	32"
○	ALBANY	85'	34"
○	ALBANY	90'	36"
○	ALBANY	95'	38"
○	ALBANY	100'	40"
○	ALBANY	105'	42"
○	ALBANY	110'	44"
○	ALBANY	115'	46"
○	ALBANY	120'	48"
○	ALBANY	125'	50"
○	ALBANY	130'	52"
○	ALBANY	135'	54"
○	ALBANY	140'	56"
○	ALBANY	145'	58"
○	ALBANY	150'	60"
○	ALBANY	155'	62"
○	ALBANY	160'	64"
○	ALBANY	165'	66"
○	ALBANY	170'	68"
○	ALBANY	175'	70"
○	ALBANY	180'	72"
○	ALBANY	185'	74"
○	ALBANY	190'	76"
○	ALBANY	195'	78"
○	ALBANY	200'	80"
○	ALBANY	205'	82"
○	ALBANY	210'	84"
○	ALBANY	215'	86"
○	ALBANY	220'	88"
○	ALBANY	225'	90"
○	ALBANY	230'	92"
○	ALBANY	235'	94"
○	ALBANY	240'	96"
○	ALBANY	245'	98"
○	ALBANY	250'	100"
○	ALBANY	255'	102"
○	ALBANY	260'	104"
○	ALBANY	265'	106"
○	ALBANY	270'	108"
○	ALBANY	275'	110"
○	ALBANY	280'	112"
○	ALBANY	285'	114"
○	ALBANY	290'	116"
○	ALBANY	295'	118"
○	ALBANY	300'	120"
○	ALBANY	305'	122"
○	ALBANY	310'	124"
○	ALBANY	315'	126"
○	ALBANY	320'	128"
○	ALBANY	325'	130"
○	ALBANY	330'	132"
○	ALBANY	335'	134"
○	ALBANY	340'	136"
○	ALBANY	345'	138"
○	ALBANY	350'	140"
○	ALBANY	355'	142"
○	ALBANY	360'	144"
○	ALBANY	365'	146"
○	ALBANY	370'	148"
○	ALBANY	375'	150"
○	ALBANY	380'	152"
○	ALBANY	385'	154"
○	ALBANY	390'	156"
○	ALBANY	395'	158"
○	ALBANY	400'	160"
○	ALBANY	405'	162"
○	ALBANY	410'	164"
○	ALBANY	415'	166"
○	ALBANY	420'	168"
○	ALBANY	425'	170"
○	ALBANY	430'	172"
○	ALBANY	435'	174"
○	ALBANY	440'	176"
○	ALBANY	445'	178"
○	ALBANY	450'	180"
○	ALBANY	455'	182"
○	ALBANY	460'	184"
○	ALBANY	465'	186"
○	ALBANY	470'	188"
○	ALBANY	475'	190"
○	ALBANY	480'	192"
○	ALBANY	485'	194"
○	ALBANY	490'	196"
○	ALBANY	495'	198"
○	ALBANY	500'	200"
○	ALBANY	505'	202"
○	ALBANY	510'	204"
○	ALBANY	515'	206"
○	ALBANY	520'	208"
○	ALBANY	525'	210"
○	ALBANY	530'	212"
○	ALBANY	535'	214"
○	ALBANY	540'	216"
○	ALBANY	545'	218"
○	ALBANY	550'	220"
○	ALBANY	555'	222"
○	ALBANY	560'	224"
○	ALBANY	565'	226"
○	ALBANY	570'	228"
○	ALBANY	575'	230"
○	ALBANY	580'	232"
○	ALBANY	585'	234"
○	ALBANY	590'	236"
○	ALBANY	595'	238"
○	ALBANY	600'	240"
○	ALBANY	605'	242"
○	ALBANY	610'	244"
○	ALBANY	615'	246"
○	ALBANY	620'	248"
○	ALBANY	625'	250"
○	ALBANY	630'	252"
○	ALBANY	635'	254"
○	ALBANY	640'	256"
○	ALBANY	645'	258"
○	ALBANY	650'	260"
○	ALBANY	655'	262"
○	ALBANY	660'	264"
○	ALBANY	665'	266"
○	ALBANY	670'	268"
○	ALBANY	675'	270"
○	ALBANY	680'	272"
○	ALBANY	685'	274"
○	ALBANY	690'	276"
○	ALBANY	695'	278"
○	ALBANY	700'	280"
○	ALBANY	705'	282"
○	ALBANY	710'	284"
○	ALBANY	715'	286"
○	ALBANY	720'	288"
○	ALBANY	725'	290"
○	ALBANY	730'	292"
○	ALBANY	735'	294"
○	ALBANY	740'	296"
○	ALBANY	745'	298"
○	ALBANY	750'	300"
○	ALBANY	755'	302"
○	ALBANY	760'	304"
○	ALBANY	765'	306"
○	ALBANY	770'	308"
○	ALBANY	775'	310"
○	ALBANY	780'	312"
○	ALBANY	785'	314"
○	ALBANY	790'	316"
○	ALBANY	795'	318"
○	ALBANY	800'	320"
○	ALBANY	805'	322"
○	ALBANY	810'	324"
○	ALBANY	815'	326"
○	ALBANY	820'	328"
○	ALBANY	825'	330"
○	ALBANY	830'	332"
○	ALBANY	835'	334"
○	ALBANY	840'	336"
○	ALBANY	845'	338"
○	ALBANY	850'	340"
○	ALBANY	855'	342"
○	ALBANY	860'	344"
○	ALBANY	865'	346"
○	ALBANY	870'	348"
○	ALBANY	875'	350"
○	ALBANY	880'	352"
○	ALBANY	885'	354"
○	ALBANY	890'	356"
○	ALBANY	895'	358"
○	ALBANY	900'	360"
○	ALBANY	905'	362"
○	ALBANY	910'	364"
○	ALBANY	915'	366"
○	ALBANY	920'	368"
○	ALBANY	925'	370"
○	ALBANY	930'	372"
○	ALBANY	935'	374"
○</			



DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS, CHARLESTON DISTRICT
69A HAGOOD AVENUE
CHARLESTON, SOUTH CAROLINA 29403-5107

January 17, 2025

Regulatory Division

Mr. Ashley Twombly
Distant Island Community Association, Inc.
311 Carteret St
Beaufort, South Carolina 29907
twombly@twlawfirm.com

Dear Mr. Twombly:

This is in response to a Pre-Construction Notification (PCN) (SAC-2002-14958) received on June 18, 2024, and considered complete on July 24, 2024. In submitting the PCN, you requested verification the proposed project is authorized by a Department of the Army (DA) Nationwide Permit (NWP).

The work affecting waters of the United States is part of an overall project known as Distant Island Bulkhead. The activities in waters of the United States include the maintenance and repair of 1,565 linear feet of bulkhead and seven tree wells. The project involves impacts to not more than 0.03-acre of waters of the United States. Specifically, this letter authorizes impacts to 0.03-acre of Distant Island Creek. The project is located on Distant Island Road, Beaufort, Beaufort County, South Carolina (Latitude: 32.3812 °, Longitude: -80.6412 °). The PCN also includes the following supplemental information:

- a. Drawing sheets ex. 1-16 of 16 titled "Proposed: Bulkhead" and dated June 12, 2024.

Based on a review of the PCN, including the supplemental information indicated above, the Corps has determined the proposed activity will result in minimal individual and cumulative adverse environmental effects and is not contrary to the public interest. Furthermore, the activity meets the terms and conditions of NWP 3 Maintenance.

For this authorization to remain valid, the project must comply with the enclosed NWP General Conditions, Charleston District Regional Conditions, and the following special conditions:

- a. **That impacts to aquatic areas do not exceed those specified in the above mentioned PCN, including any supplemental information or revised permit drawings that were submitted to the Corps by the permittee.**

- b. That the construction, use, and maintenance of the authorized activity is in accordance with the information given in the PCN, including the supplemental information listed above, and is subject to any conditions or restrictions imposed by this letter.**
- c. That the permittee shall submit the attached signed compliance certification to the Corps within 30 days following completion of the authorized work.**
- d. Prior to beginning the authorized work, the permittee must coordinate with the local NFIP flood plain manager and comply with FEMA requirements. A list of NFIP floodplain managers may be found at: <https://www.dnr.sc.gov/water/flood/index.html>.**
- e. That the permittee shall use only clean fill material obtained from an upland source.**
- f. That the permittee shall incorporate Best Management Practices (BMPs) during construction to protect adjacent wetlands and Waters of the United States from sediment and erosion during construction. BMPs to be utilized, independently or in combination, may include but are not limited to; erosion control matting, mulch, silt fences, sediment tubes, and other devices. BMPs shall be maintained until the fill material is stabilized.**
- g. The permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structure or work herein authorized, or if, in the opinion of the Secretary of the Army or their authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.**
- h. Use of the permitted activity must not interfere with the public's right to free navigation on all navigable waters of the U.S.**
- i. The permittee must install and maintain, at their expense, any safety lights and signals prescribed by the U.S. Coast Guard (USCG), through regulations or otherwise, on authorized facilities. The USCG may be reached at the following address and telephone number: (as of February 2013) U. S. Coast Guard District Seven, Waterways Management Branch,**

909 SE 1st Ave, Suite 406, Miami, FL. 33131, and 305-415-6755 or 305-415-6750.

- j. In order to ensure protection of any threatened or endangered species, and designated critical habitat that may be present in the vicinity of the project area during construction activities, the permittee will comply with the following:

1. The permittee shall instruct all personnel associated with the project of the potential presence of and the need to avoid collisions with protected species, which may include but is not limited to West Indian manatees, Atlantic sturgeon, shortnose sturgeon, sea turtles, wood stork, blue whale, fin whale, humpback whale, North Atlantic right whale, sei whale and sperm whale.

2. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing protected species, to include manatee(s), which are protected under the Marine Mammal Protection Act of 1972 and/or the Endangered Species Act of 1973.

3. Any siltation barriers used during the project shall be made of material in which protected species, to include manatee(s), cannot become entangled and must be properly secured, and regularly monitored to avoid protected species entrapment.

4. All vessels associated with the project shall operate at "no wake/idle" speeds at all times while in the construction area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.

5. If protected species, to include manatee(s), are seen within 100 yards of the active construction area all appropriate precautions shall be implemented to ensure protection of the protected species, to include manatee(s). These precautions shall include the operation of all moving equipment no closer than 50 feet to a protected species, to include manatee(s). Operation of any equipment closer than 50 feet to a protected species, to include manatee(s), shall necessitate immediate shutdown of that equipment. Activities will not resume until the protected species, to include manatee(s), has departed the project area of its own volition.

6. Incidents where any individuals of sea turtles, Atlantic sturgeon, shortnose sturgeon, blue whale, fin whale, humpback whale, North Atlantic right whale, sei whale and sperm whale listed by NOAA Fisheries under the

Endangered Species Act appear to be injured or killed as a result of discharges of dredged or fill material into waters of the United States or structures or work in navigable waters of the United States authorized by this DA permit shall be reported to NOAA Fisheries, Office of Protected Species at (727) 824-5312, the SCDNR Hotline at 1-800-922-5431, and the Regulatory Office of the Charleston District of the U.S. Army Corps of Engineers at (843) 329-8044. The finder should leave the animal alone, make note of any circumstances likely causing the death or injury, note the location and number of individuals involved and, if possible, take photographs. Adult animals should not be disturbed unless circumstances arise where they are obviously injured or killed by discharge exposure, or some unnatural cause. The finder may be asked to carry out instructions provided by NOAA Fisheries, Office of Protected Resources, to collect specimens or take other measures to ensure that evidence intrinsic to the specimen is preserved.

7. The permittee understands and agrees that all in-water lines (rope, chain, and cable, including the lines to secure turbidity curtains) must be stiff, taut, and non-looping. Examples of such lines are heavy metal chains or heavy cables that do not readily loop and tangle. Flexible in-water lines, such as nylon rope or any lines that could loop or tangle, must be enclosed in a plastic or rubber sleeve/tube to add rigidity and prevent the line from looping and tangling. In all instances, no excess line is allowed in the water. Where appropriate, in water wires should be fitted with PVC sleeve from the surface to the bottom to prevent any potential scraping of the passing manatees.

k. In order to ensure protection and reduce potential construction-related impacts to West Indian manatees that may be in the vicinity of the project area during construction activities, to discountable and insignificant levels, the permittee will comply with the following for all projects affecting the coastal waters of South Carolina:

1. The permittee shall instruct all personnel associated with the project of the potential presence of manatees and the need to avoid collisions with manatees. All construction personnel MUST monitor water-related activities for the presence of manatee(s).

2. Any collision with and/or injury to a manatee shall be reported immediately to the U.S. Fish and Wildlife Service contacts: Melanie Olds, South Carolina Manatee Lead, Charleston Field Office, at 843-727-4707 ext. 205; or Terri Calleson, Manatee Recovery Coordinator, North Florida Field Office, at 904-731-3286.

This verification is valid until March 14, 2026, unless the district engineer modifies, suspends, or revokes the NWP authorization in accordance with 33 CFR 330.5(d). If prior to this date, the NWP authorization is reissued without modification or the activity complies with any subsequent modification of the NWP authorization, the verification continues to remain valid until March 14, 2026. If you commence, or are under contract to commence this activity before the NWP expires, or the NWP is modified, suspended, or revoked by the Chief of Engineers or division engineer in accordance with 33 CFR 330.5(b) or (c), respectively, in such a way that the activity would no longer comply with the terms and conditions of the NWP, you will have 12 months after the date the NWP expires or is modified, suspended, or revoked, to complete the activity under the present terms and conditions of this NWP.

This NWP is verified based on information you provided. It is your responsibility to read the attached NWP(s) along with the General, Regional, and Special Conditions before you begin work. If you determine your project will not be able to meet the NWP and the conditions, you must contact the Corps before you proceed. Enclosed you will also find a copy of the Coastal Zone Management special conditions which are conditions of your authorization under Nationwide Permit NWP 3 Maintenance. If you have questions concerning compliance with the conditions of the Coastal Zone Management concurrence, you should contact the South Carolina Department of Environmental Services (SCDES).

In all future correspondence, please refer to file number SAC-2002-14958. A copy of this letter is forwarded to State and/or Federal agencies for their information. If you have any questions, please contact Brittany Pittman, Project Manager, at 843-329-8046, or by email at Brittany.F.Pittman@usace.army.mil.

Sincerely,



Carl Johnson
Team Lead

Attachments

- Permit Drawings
- Nationwide Permit 3 General Conditions
- Nationwide Permit Regional Conditions
- Coastal Zone Management Consistency Certification
- Compliance Certification Form

Copies Furnished:

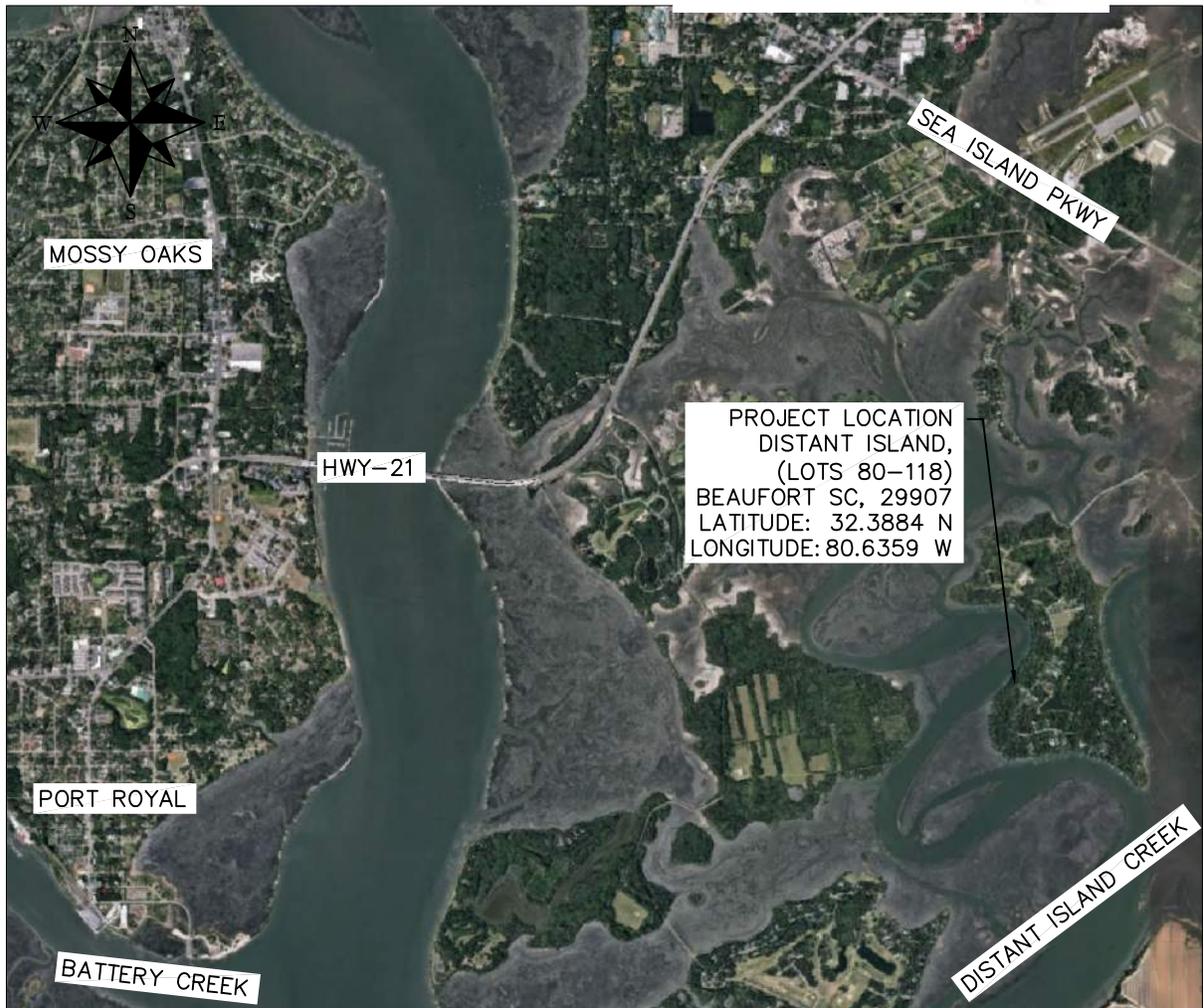
Mr. William Oriani
McSweeney Engineers
300 West Coleman Blvd. Suite 203B
Mount Pleasant , South Carolina 29464
hunter@mcsweeneyengineers.com

SCDES – Bureau of Coastal Management
1362 McMillan Avenue, Suite 400
North Charleston, South Carolina 29405
OCRMPermitting@des.sc.gov

SCDES-Bureau of Water
2600 Bull Street
Columbia, South Carolina 29201
WQCWetlands@des.sc.gov

US Coast Guard
Sector Charleston
Attention: Waterways Management
1050 Register Street
North Charleston, SC 29405
D07-PF-SECTORCHASN-WWM@uscg.mil

PERMITTED PLANS



- DIRECTIONS TO SITE FROM CHARLESTON:
- TAKE CALHOUN ST TO SC-30 W
 - TAKE SC-61 N TO HWY 17 S
 - CONTINUE ON HWY 17 S TO BEAUFORT COUNTY
 - TAKE EXIT TO HWY 21 S AND CONTINUE SOUTH
 - TAKE RIGHT ONTO CHOWAN CRK BLF
 - TAKE RIGHT ONTO DISTANT ISLAND DR



PROJECT VICINITY

SCALE: 1" = 6000'

PURPOSE: SHORELINE STABILIZATION

ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16



APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

REVISION NO: --
SHEET: 1 OF 16 **DATE:** 6/12/2024

SAC-2002-14958

PERMITTED PLANS



- DIRECTIONS TO SITE FROM CHARLESTON:
- TAKE CALHOUN ST TO SC-30 W
 - TAKE SC-61 N TO HWY 17 S
 - CONTINUE ON HWY 17 S TO BEAUFORT COUNTY
 - TAKE EXIT TO HWY 21 S AND CONTINUE SOUTH
 - TAKE RIGHT ONTO CHOWAN CRK BLF
 - TAKE RIGHT ONTO DISTANT ISLAND DR



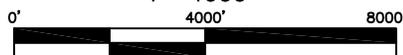
PROJECT LOCATION

SCALE: 1" = 4000'

PURPOSE: SHORELINE STABILIZATION

ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16

FIGURE 2
LOCATION MAP
1" = 4000'

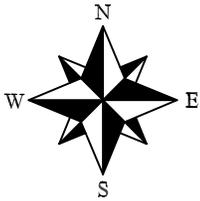


APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

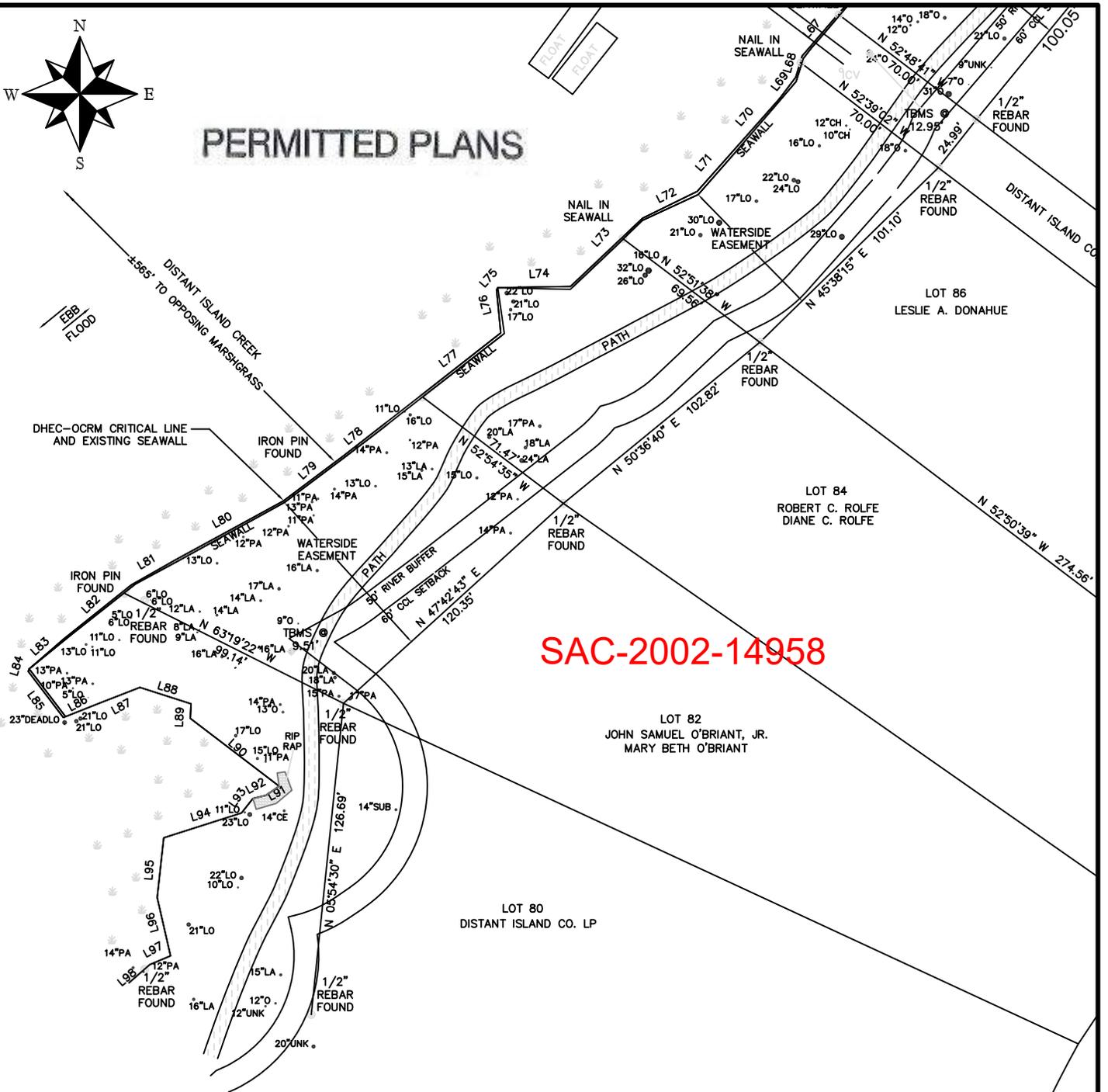
PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

REVISION NO: --
SHEET: 2 OF 16 **DATE:** 6/12/2024



PERMITTED PLANS



SAC-2002-14958

EXISTING SITE PLAN—LOTS 80—86

SCALE: 1:60

NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON JANUARY 24, 2023.



PURPOSE: SHORELINE STABILIZATION

FIGURE 3
EXISTING SITE PLAN LOTS 80—86

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

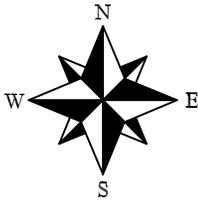
ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16



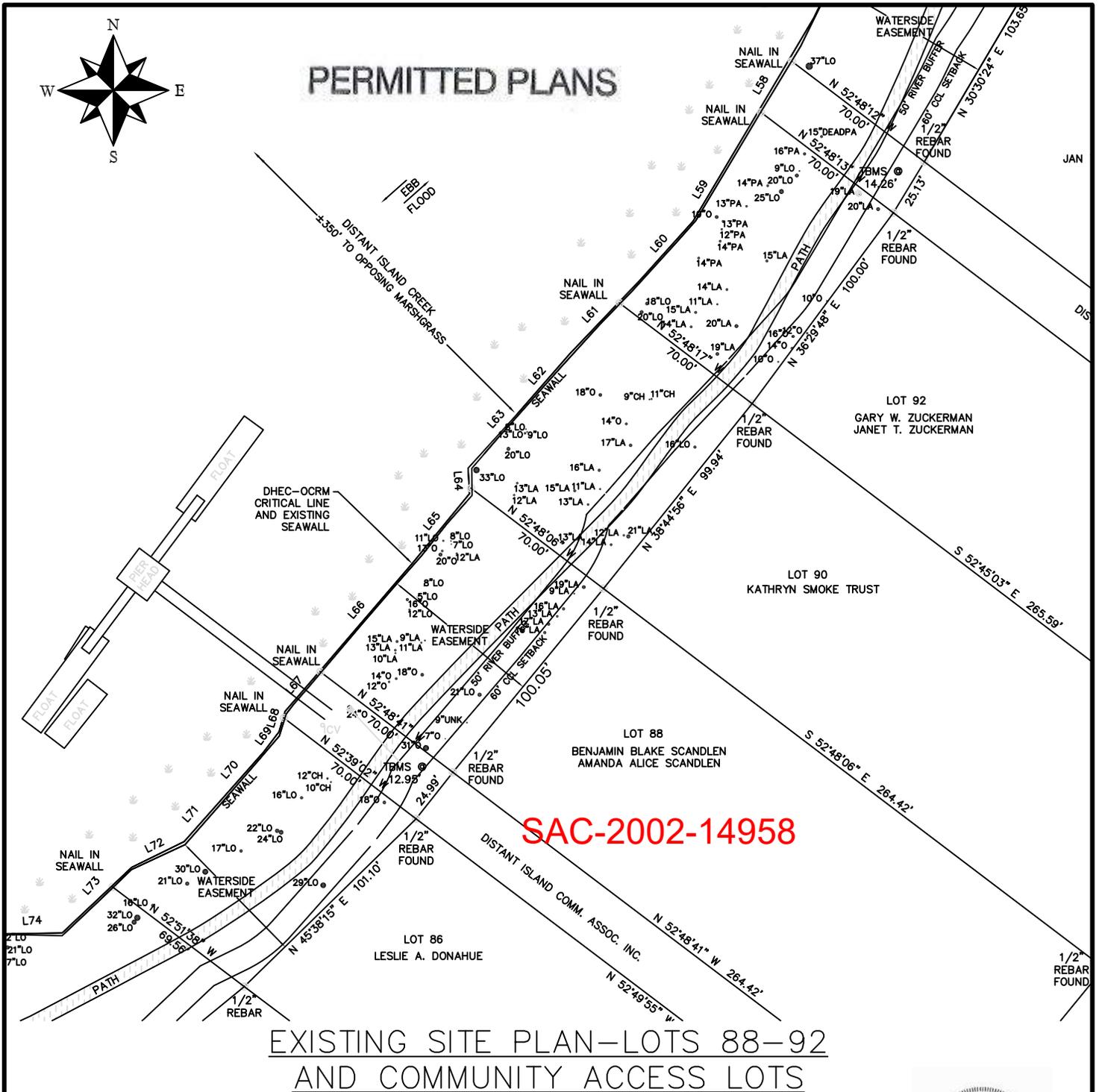
IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

REVISION NO: --
SHEET: 3 OF 16 **DATE:** 6/12/2024



PERMITTED PLANS



EXISTING SITE PLAN—LOTS 88–92 AND COMMUNITY ACCESS LOTS

SCALE: 1:60



NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON JANUARY 24, 2023.

PURPOSE: SHORELINE STABILIZATION

ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16

FIGURE 4

EXISTING SITE PLAN LOTS 88–92 AND COMMUNITY ACCESS LOT

1:60



APPLICANT

DISTANT ISLAND COMM. ASSOC., INC.

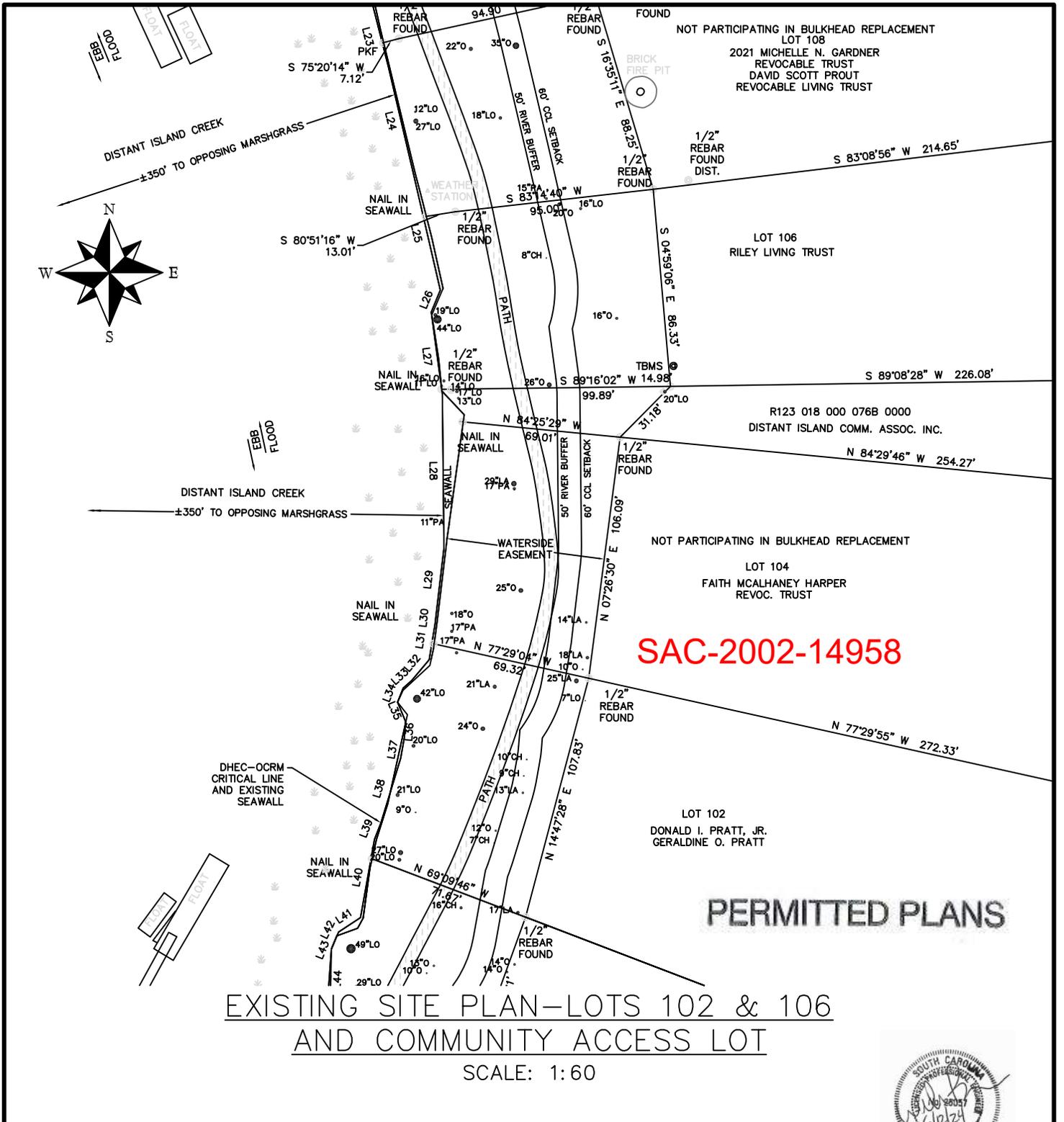
AGENT

McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

REVISION NO: --
SHEET: 4 OF 16 **DATE:** 6/12/2024



SAC-2002-14958

**EXISTING SITE PLAN—LOTS 102 & 106
AND COMMUNITY ACCESS LOT**

SCALE: 1:60



PERMITTED PLANS

NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON JANUARY 24, 2023.

PURPOSE: SHORELINE STABILIZATION

FIGURE 6
EXISTING SITE PLAN LOTS 100 & 102
AND COMMUNITY ACCESS LOT
1:60

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

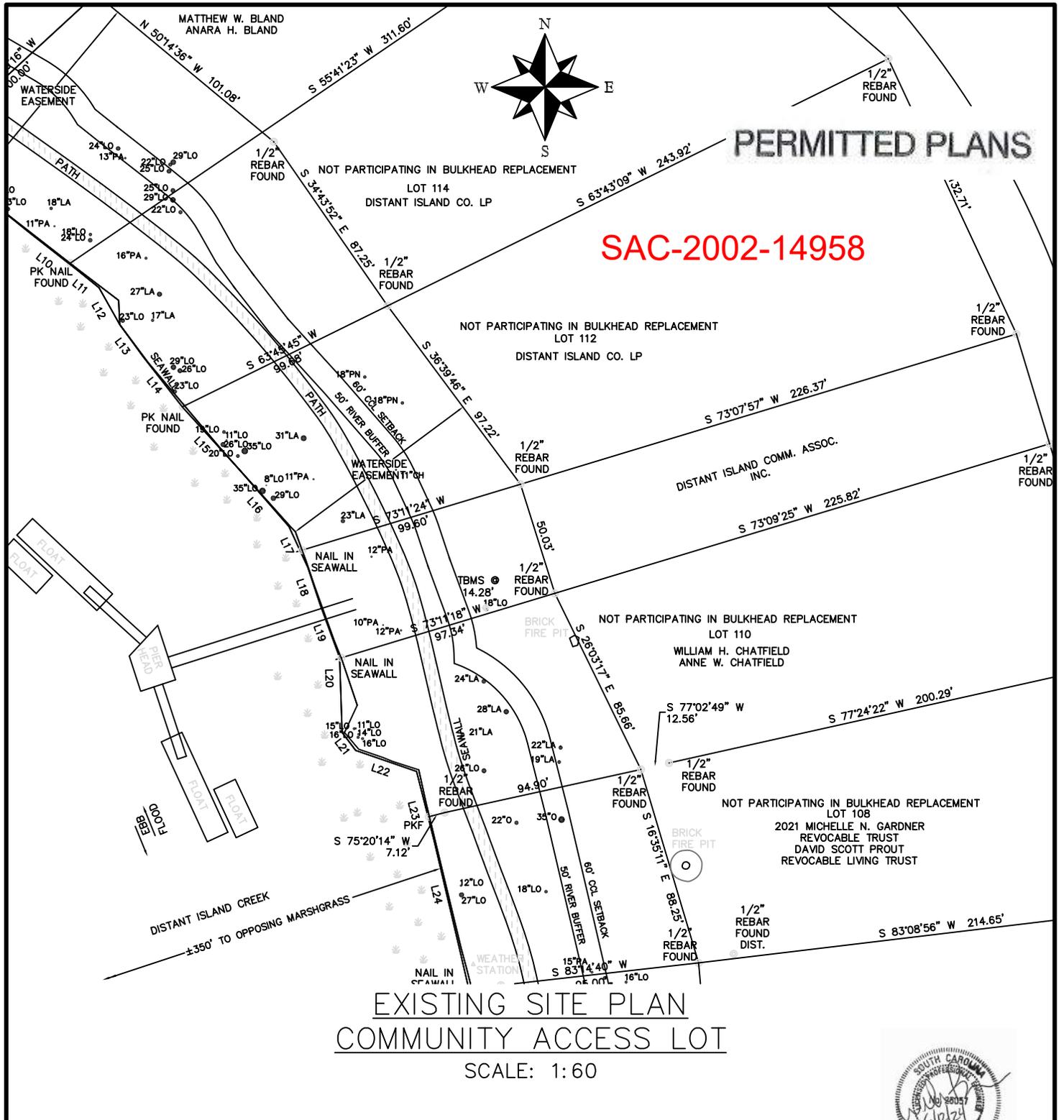
ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16



IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

REVISION NO: --
SHEET: 6 OF 16 **DATE:** 6/12/2024



PERMITTED PLANS

SAC-2002-14958

EXISTING SITE PLAN
COMMUNITY ACCESS LOT
SCALE: 1:60



NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

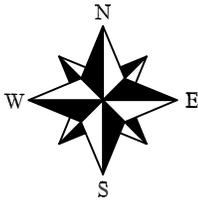
ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON JANUARY 24, 2023.

PURPOSE: SHORELINE STABILIZATION
ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16

FIGURE 7
EXISTING SITE PLAN
COMMUNITY ACCESS LOT
1:60

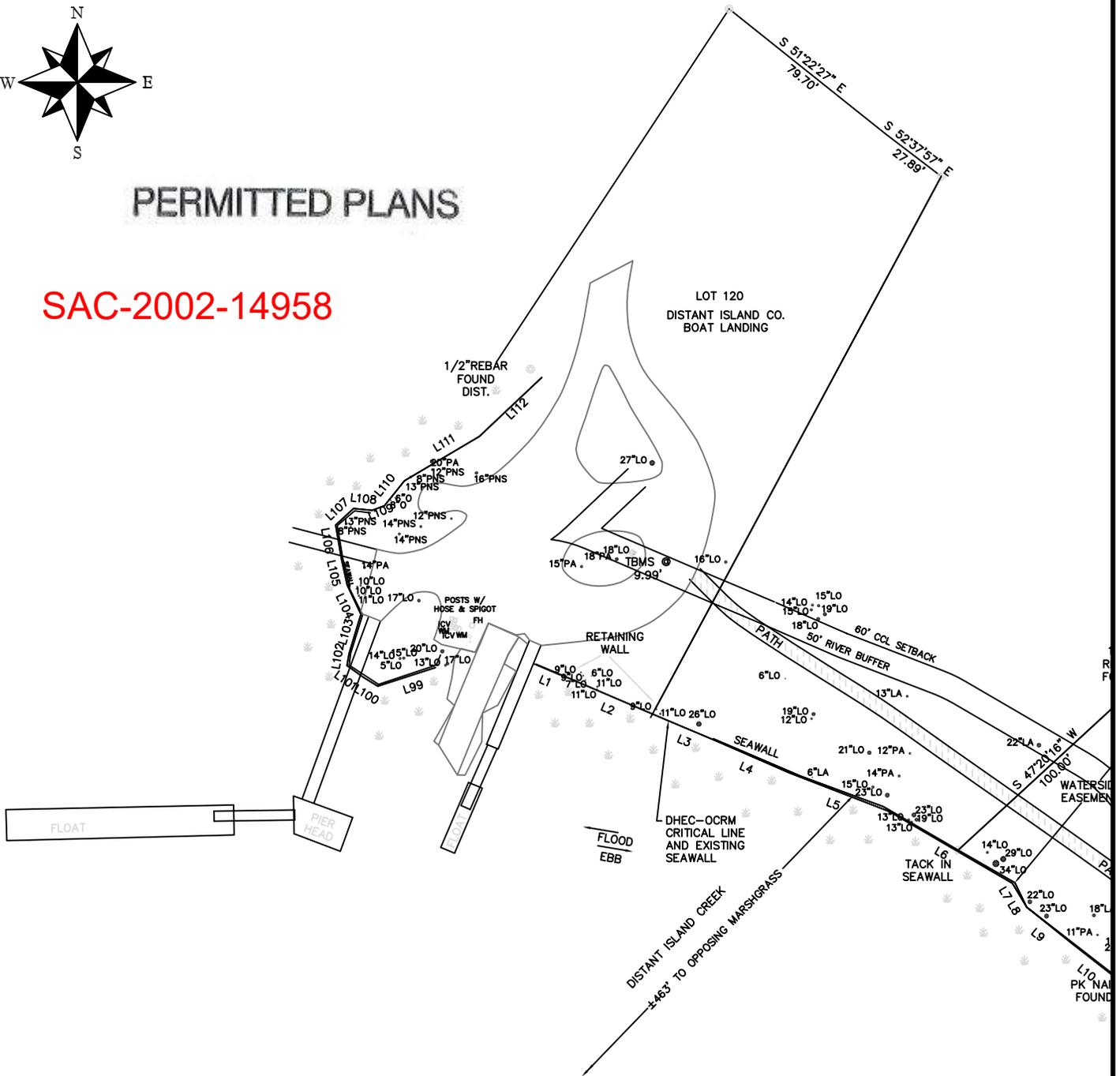
APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK
IN: BEAUFORT
COUNTY OF: BEAUFORT, SC
REVISION NO: --
SHEET: 7 OF 16 **DATE:** 6/12/2024



PERMITTED PLANS

SAC-2002-14958



EXISTING SITE PLAN BOAT LANDING

SCALE: 1:60



NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON JANUARY 24, 2023.

PURPOSE: SHORELINE STABILIZATION

ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16

FIGURE 8
EXISTING SITE PLAN— BOAT LANDING

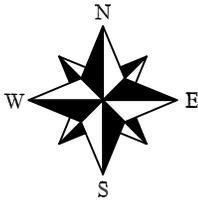


APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

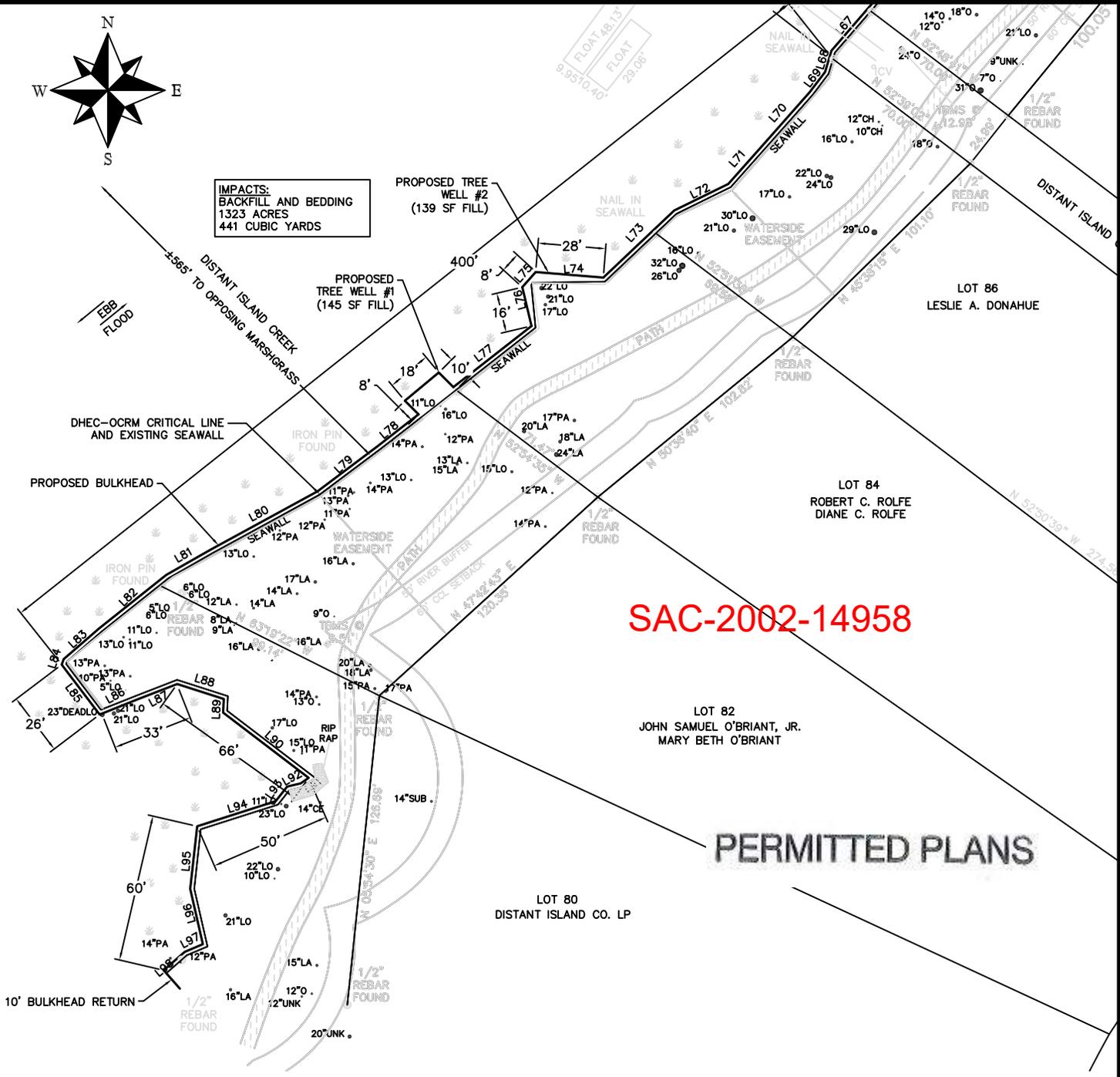
PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

REVISION NO: --
SHEET: 8 OF 16 **DATE:** 6/12/2024



IMPACTS:
 BACKFILL AND BEDDING
 1323 ACRES
 441 CUBIC YARDS



SAC-2002-14958

PERMITTED PLANS

PROPOSED SITE PLAN—LOTS 80–86

SCALE: 1:60



NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON JANUARY 24, 2023.

PURPOSE:

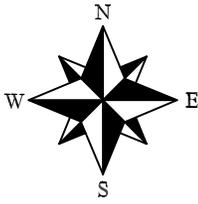
ADJACENT PROPERTY OWNERS:

FIGURE 9
 PROPOSED SITE PLAN LOTS 80–86

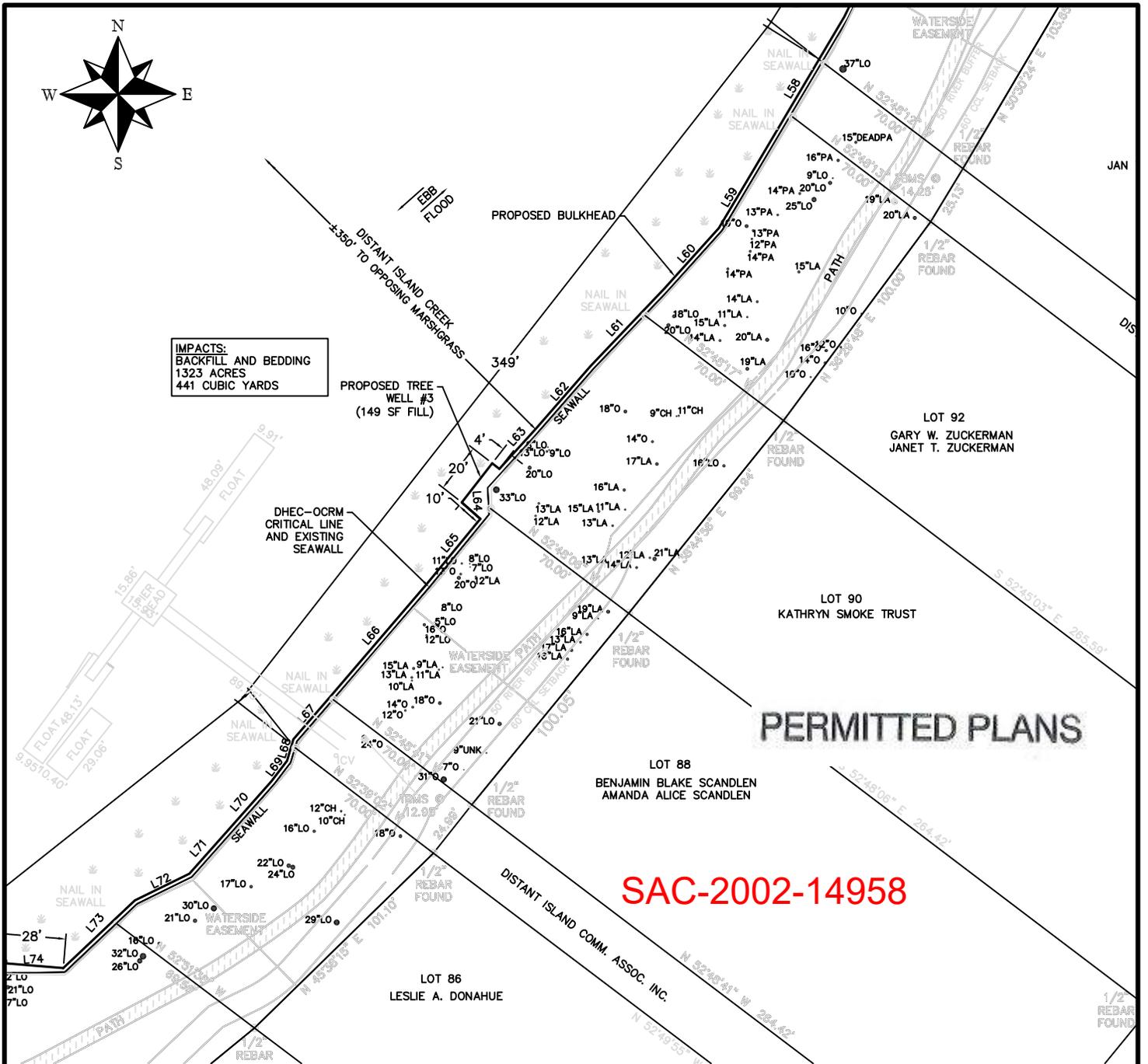
1:60

APPLICANT
 DISTANT ISLAND COMM. ASSOC., INC.
AGENT
 McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK
IN: BEAUFORT
COUNTY OF: BEAUFORT, SC
REVISION NO: --
SHEET: 9 OF 16 **DATE:** 6/12/2024



IMPACTS:
 BACKFILL AND BEDDING
 1323 ACRES
 441 CUBIC YARDS



PERMITTED PLANS

SAC-2002-14958

**PROPOSED SITE PLAN—LOTS 88–92
 AND COMMUNITY ACCESS LOTS**

SCALE: 1:60



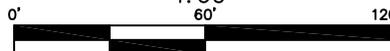
NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON JANUARY 24, 2023.

PURPOSE: SHORELINE STABILIZATION

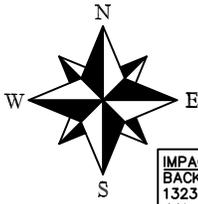
ADJACENT PROPERTY OWNERS:
 SEE SCHEDULE SHEET 16

FIGURE 10
 PROPOSED SITE PLAN LOTS 88–92
 AND COMMUNITY ACCESS LOT
 1:60



APPLICANT
 DISTANT ISLAND COMM. ASSOC., INC.
AGENT
 McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK
IN: BEAUFORT
COUNTY OF: BEAUFORT, SC
REVISION NO: --
SHEET: 10 OF 16 **DATE:** 6/12/2024



IMPACTS:
BACKFILL AND BEDDING
1323 ACRES
441 CUBIC YARDS

LOT 102
DONALD I. PRATT, JR.
GERALDINE O. PRATT

LOT 100
GEORGE F. EVANS

LOT 98
AARON P. SARATHY
JENNIFER K. WALLACE

LOT 94
JAN T. MCLAREN LIVING TRUST

NOT PARTICIPATING IN BULKHEAD REPLACEMENT
LOT 96
BERGMAN JOINT REV. TRUST

PERMITTED PLANS

SAC-2002-14958

**PROPOSED SITE PLAN—LOTS 94, 98 & 100
AND COMMUNITY ACCESS LOT**

SCALE: 1:60



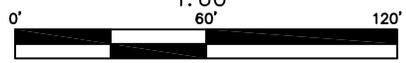
NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON JANUARY 24, 2023.

PURPOSE: SHORELINE STABILIZATION

ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16

FIGURE 11
PROPOSED SITE PLAN LOTS 94, 98 & 100 AND COMMUNITY ACCESS LOT
1:60

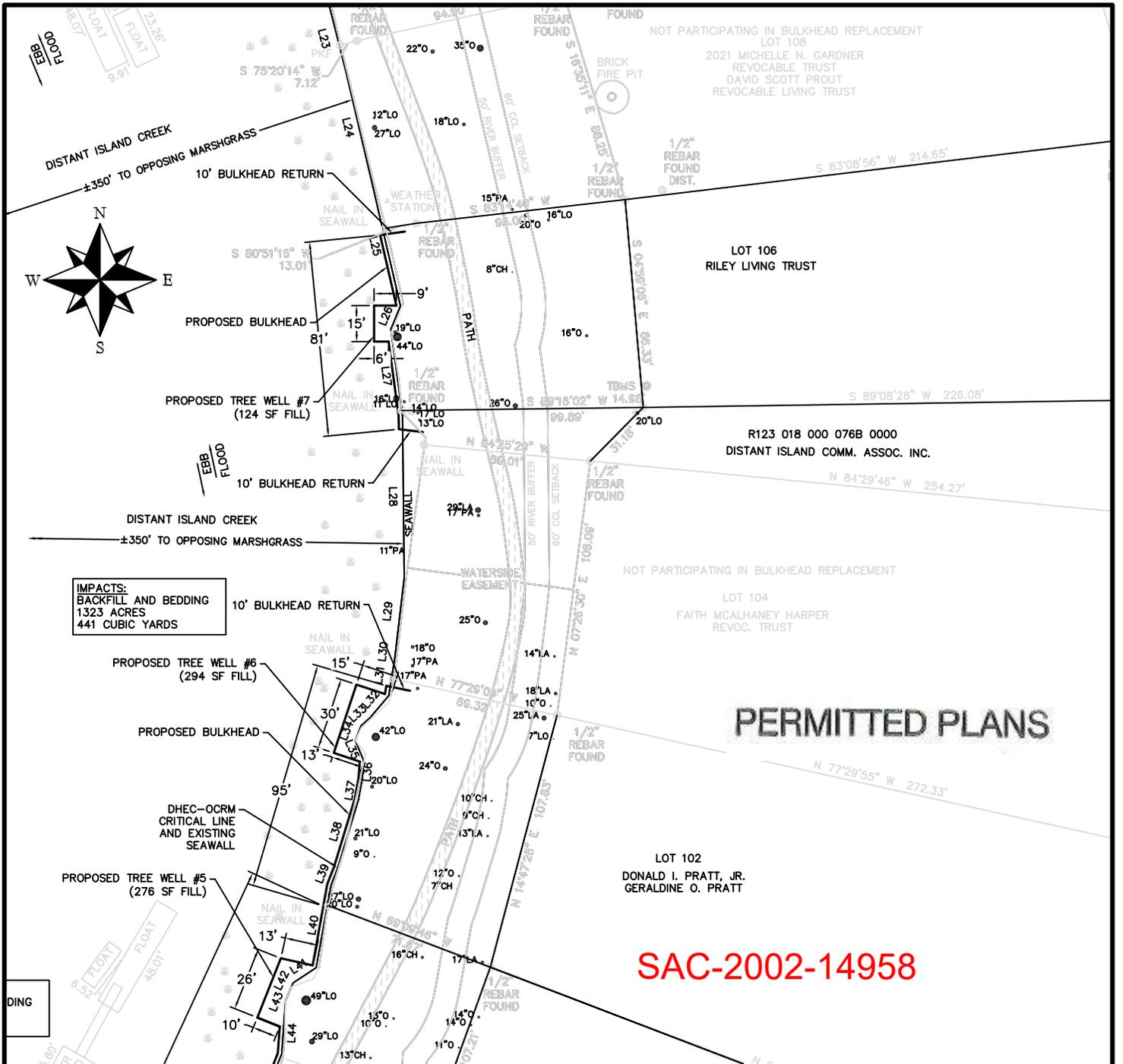


APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

REVISION NO: --
SHEET: 11 OF 16 **DATE:** 6/12/2024



**PROPOSED SITE PLAN—LOTS 102 & 106
AND COMMUNITY ACCESS LOT**

SCALE: 1:60



NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

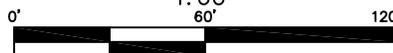
ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON JANUARY 24, 2023.

PURPOSE: SHORELINE STABILIZATION

FIGURE 12
PROPOSED SITE PLAN LOTS 100 & 102
AND COMMUNITY ACCESS LOT
1:60

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

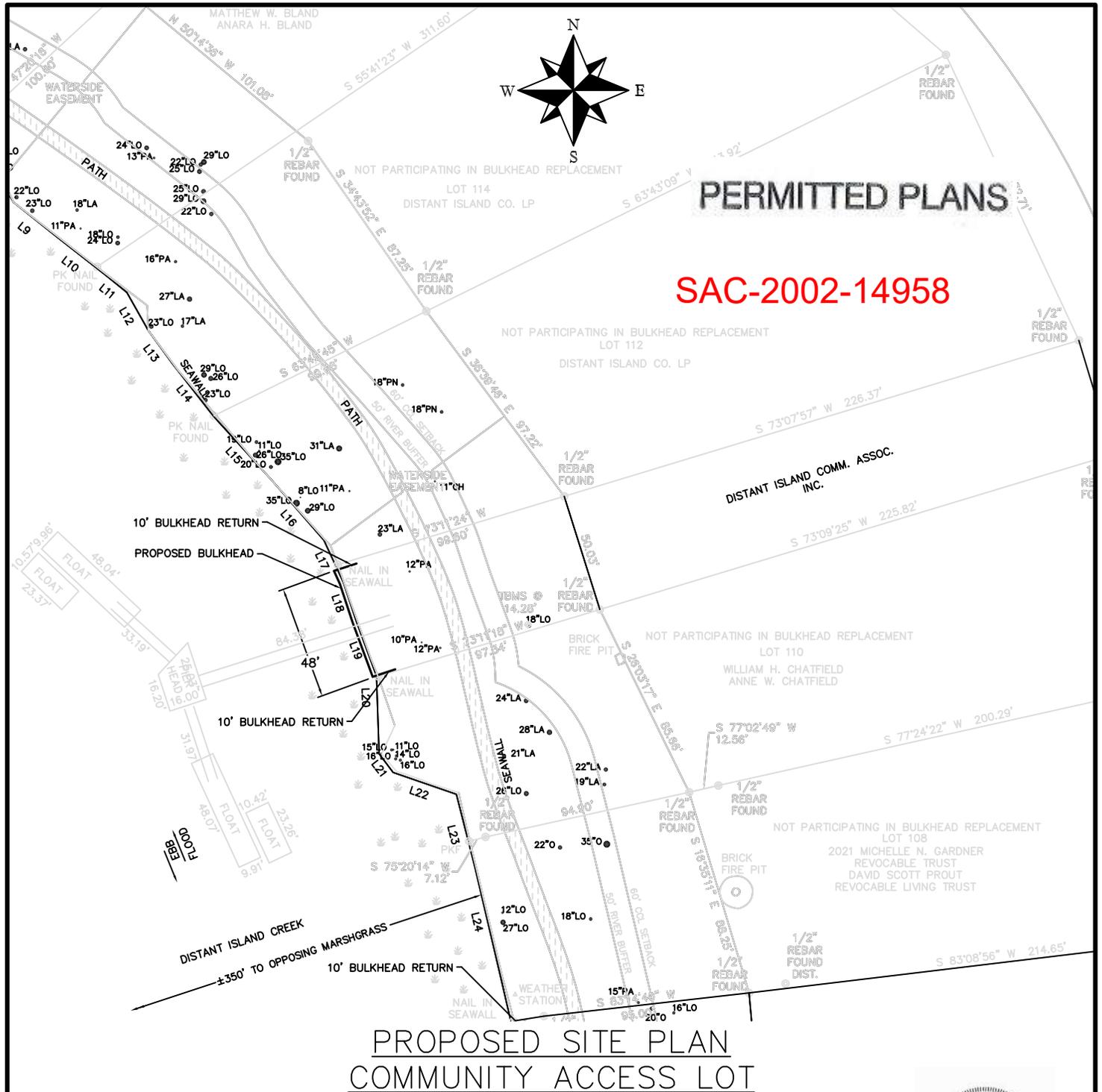
ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16



IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

REVISION NO: --
SHEET: 12 OF 16 **DATE:** 6/12/2024



NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON JANUARY 24, 2023.

PURPOSE: SHORELINE STABILIZATION

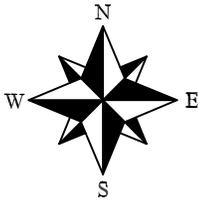
ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16

FIGURE 13
PROPOSED SITE PLAN
COMMUNITY ACCESS LOT
1:60

0' 60' 120'

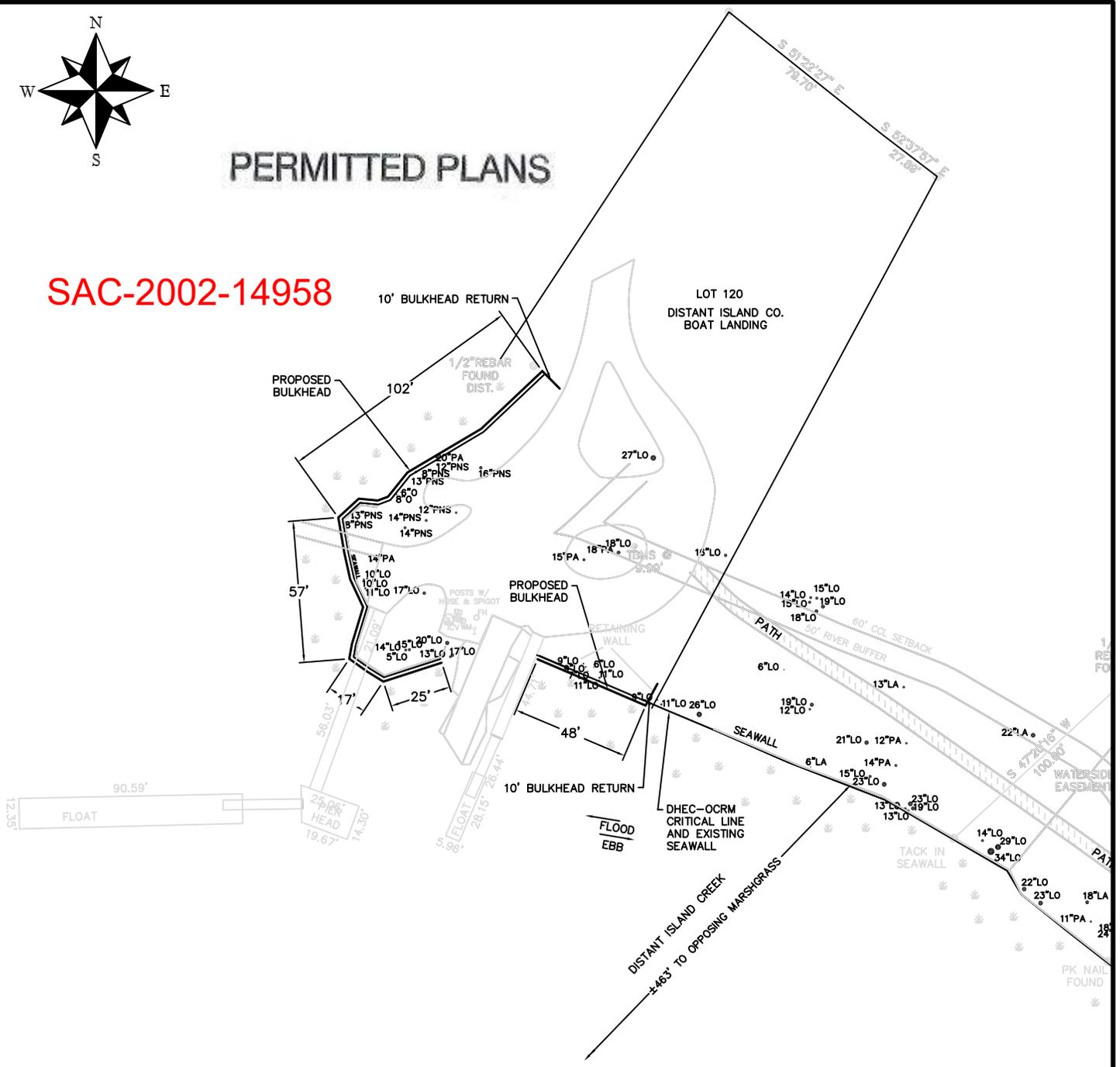
APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK
IN: BEAUFORT
COUNTY OF: BEAUFORT, SC
REVISION NO: --
SHEET: 13 OF 16 **DATE:** 6/12/2024



PERMITTED PLANS

SAC-2002-14958



PROPOSED SITE PLAN BOAT LANDING

SCALE: 1:60



NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON JANUARY 24, 2023.

PURPOSE: SHORELINE STABILIZATION

FIGURE 14
PROPOSED SITE PLAN- BOAT LANDING

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16

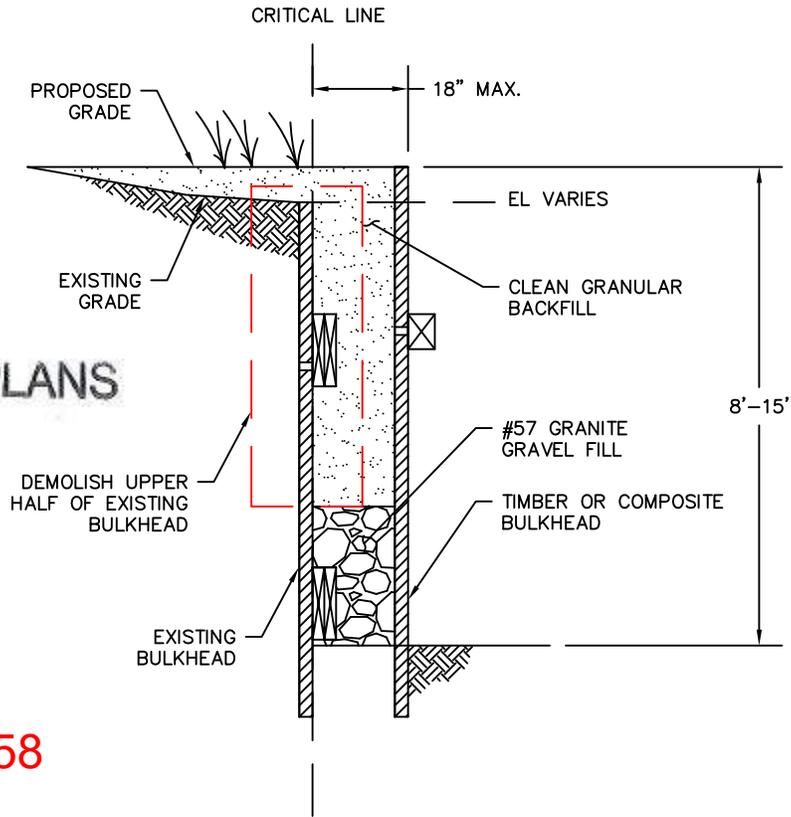


IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

REVISION NO: --
SHEET: 14 OF 16 **DATE:** 6/12/2024

PERMITTED PLANS



SAC-2002-14958

BULKHEAD SECTION

SCALE: 1: 3

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 66°53'39" E	11.53'	L41	S 56°36'47" W	11.34'	L81	S 60°20'36" W	20.79'
L2	S 66°48'57" E	43.28'	L42	S 25°51'39" W	1.89'	L82	S 51°23'02" W	34.85'
L3	S 67°08'24" E	23.00'	L43	S 22°21'24" W	6.30'	L83	S 49°01'13" W	18.57'
L4	S 66°25'50" E	31.96'	L44	S 04°06'19" W	21.98'	L84	S 20°13'41" W	1.08'
L5	S 68°51'04" E	42.64'	L45	S 21°36'13" W	37.46'	L85	S 37°08'28" E	23.46'
L6	S 59°44'03" E	56.71'	L46	S 25°08'53" W	19.92'	L86	N 68°11'59" E	15.57'
L7	S 30°52'24" E	7.16'	L47	S 59°52'34" W	27.53'	L87	N 68°45'50" E	17.80'
L8	S 31°07'16" E	3.92'	L48	S 23°30'36" W	15.82'	L88	S 72°09'01" E	21.72'
L9	S 51°16'39" E	23.32'	L49	S 23°01'53" E	16.40'	L89	S 02°50'56" W	5.94'
L10	S 51°53'44" E	26.12'	L50	S 32°16'55" W	34.50'	L90	S 52°37'30" E	45.20'
L11	S 50°47'52" E	11.47'	L51	S 34°35'55" W	18.30'	L91	S 55°25'33" W	6.46'
L12	S 29°25'51" E	18.46'	L52	S 42°18'02" W	28.96'	L92	S 76°27'01" W	5.39'
L13	S 36°02'05" E	17.25'	L53	S 39°08'03" W	40.86'	L93	S 38°20'09" W	7.51'
L14	S 37°55'16" E	28.27'	L54	S 39°54'37" W	11.46'	L94	S 72°12'51" W	33.03'
L15	S 42°18'27" E	36.64'	L55	S 31°00'06" W	67.01'	L95	S 06°17'31" W	24.35'
L16	S 41°01'07" E	33.09'	L56	S 33°56'07" W	13.41'	L96	S 12°53'54" E	24.17'
L17	S 24°46'01" E	19.65'	L57	S 25°43'44" W	18.41'	L97	S 67°00'26" W	9.13'
L18	S 18°17'11" E	17.00'	L58	S 30°39'53" W	72.05'	L98	S 48°44'09" W	11.13'
L19	S 20°12'28" E	24.80'	L59	S 30°45'19" W	27.49'	L99	S 72°06'50" W	24.10'
L20	S 01°55'23" E	32.77'	L60	S 41°56'44" W	33.02'	L100	N 58°27'35" W	6.58'
L21	S 37°03'03" E	9.80'	L61	S 43°37'17" W	4.319'	L101	N 54°24'53" W	8.14'
L22	S 70°55'55" E	28.15'	L62	S 41°04'38" W	34.11'	L102	N 09°52'43" E	4.89'
L23	S 14°11'38" E	31.65'	L63	S 42°11'59" W	30.41'	L103	N 16°43'49" E	16.27'
L24	S 13°11'09" E	47.63'	L64	S 03°13'18" E	10.75'	L104	N 24°54'55" W	12.85'
L25	S 13°00'05" E	51.98'	L65	S 39°21'58" W	38.10'	L105	N 12°23'39" W	10.71'
L26	S 22°16'19" W	10.39'	L66	S 40°35'32" W	60.29'	L106	N 09°46'56" W	13.64'
L27	S 07°40'39" E	36.11'	L67	S 40°46'01" W	21.82'	L107	N 47°09'25" E	9.72'
L28	S 00°35'01" E	67.10'	L68	S 16°32'26" W	8.99'	L108	S 84°18'12" E	7.42'
L29	S 06°42'21" W	28.69'	L69	S 37°19'01" W	10.77'	L109	N 69°17'57" E	5.22'
L30	S 06°25'06" W	4.78'	L70	S 41°29'27" W	28.26'	L110	N 38°51'22" E	12.71'
L31	S 09°16'20" W	15.76'	L71	S 41°37'14" W	22.08'	L111	N 59°20'16" E	34.63'
L32	S 40°05'20" W	11.91'	L72	S 63°52'36" W	24.61'	L112	N 46°36'38" E	34.21'
L33	S 48°17'21" W	4.95'	L73	S 46°34'54" W	40.22'			
L34	S 21°31'54" W	6.64'	L74	S 89°02'30" W	29.38'			
L35	S 22°32'26" E	9.13'	L75	S 30°31'11" W	0.99'			
L36	S 04°23'00" W	7.07'	L76	S 05°34'40" E	17.56'			
L37	S 10°12'44" W	9.14'	L77	S 51°58'14" W	64.53'			
L38	S 16°57'11" W	29.40'	L78	S 52°01'06" W	15.90'			
L39	S 21°12'44" W	7.74'	L79	S 53°06'00" W	30.82'			
L40	S 10°10'40" W	34.71'	L80	S 61°22'26" W	49.61'			

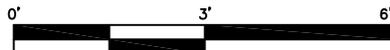


PURPOSE: SHORELINE STABILIZATION

ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16

FIGURE 15
BULKHEAD SECTION

1: 3



APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

REVISION NO: --
SHEET: 15 OF 16 DATE: 6/12/2024

ADJACENT PROPERTY TMS:

1. R123 018 000 076B 0000
2. R123 018 000 0650 0000
3. R123 018 000 0563 0000
4. R123 018 000 0637 0000
5. R123 018 000 076B 0000
6. R123 018 000 0581 0000
7. R123 018 000 0638 0000
8. R123 018 000 0651 0000
9. R123 018 000 076B 0000
10. R123 018 000 0639 0000
11. R123 018 000 0653 0000
12. R123 018 000 076B 0000
13. R123 018 000 0592 0000
14. R123 018 000 0640 0000
15. R123 018 000 076B 0000
16. R123 018 000 0533 0000
17. R123 018 000 076B 0000
18. R123 018 000 0666 0000

OWNER:

1. DISTANT ISLAND CO LP
2. O'BRIANT JOHN SAMUEL JR
3. ROLFE ROBERT C ROLFE DIANE C
4. NATHAN K SMITH REV TRUST OF 2008 SMITH ZACHARY DIXON
5. DISTANT ISLAND CO LP
6. SCANDLEN BENJAMIN BLAKE, SCANDLEN AMANDA ALICE
7. KATHRYN K SMOKE TRUST
8. YARALIAN ZAVAN YARALIAN, LORRAINE M
9. DISTANT ISLAND CO LP
10. JAN T MCLAREN LIVNG TRUST
11. SARATHY AARON P WALLACE, JENNIFER K
12. DISTANT ISLAND CO LP
13. EVANS GEORGE F
14. PRATT DONALD I JR PRATT, GERALDINE O
15. DISTANT ISLAND CO LP
16. RILEY LIVING TRUST
17. DISTANT ISLAND CO LP
18. DISTANT ISLAND COMMUNITY ASSOC INC

ADDRESS:

1. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
2. 530 DISTANT ISLAND DR, BEAUFORT, SC 29907
3. 540 DISTANT ISLAND DR, BEAUFORT, SC 29907
4. 550 DISTANT ISLAND DR, BEAUFORT, SC 29907
5. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
6. 560 DISTANT ISLAND DR, BEAUFORT, SC 29907
7. 570 DISTANT ISLAND DR, BEAUFORT, SC 29907
8. 580 DISTANT ISLAND DR, BEAUFORT, SC 29907
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13. 620 DISTANT ISLAND DR, BEAUFORT, SC 29907
14. 630 DISTANT ISLAND DR, BEAUFORT, SC 29907
15. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
16. 650 DISTANT ISLAND DR, BEAUFORT, SC 29907
17. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
18. 720 DISTANT ISLAND DR, BEAUFORT, SC 29907



PERMITTED PLANS

SAC-2002-14958



PURPOSE: SHORELINE STABILIZATION

FIGURE 16
ADJACENT PROPERTY OWNERS MAP
SCALE: NTS

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16

APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

REVISION NO: --
SHEET: 16 OF 16 **DATE:** 6/12/2024

3. Maintenance. (a) The repair, rehabilitation, or replacement of any previously authorized, currently serviceable structure or fill, or of any currently serviceable structure or fill authorized by 33 CFR 330.3, provided that the structure or fill is not to be put to uses differing from those uses specified or contemplated for it in the original permit or the most recently authorized modification. Minor deviations in the structure's configuration or filled area, including those due to changes in materials, construction techniques, requirements of other regulatory agencies, or current construction codes or safety standards that are necessary to make the repair, rehabilitation, or replacement are authorized. This NWP also authorizes the removal of previously authorized structures or fills. Any stream channel modification is limited to the minimum necessary for the repair, rehabilitation, or replacement of the structure or fill; such modifications, including the removal of material from the stream channel, must be immediately adjacent to the project. This NWP also authorizes the removal of accumulated sediment and debris within, and in the immediate vicinity of, the structure or fill. This NWP also authorizes the repair, rehabilitation, or replacement of those structures or fills destroyed or damaged by storms, floods, fire or other discrete events, provided the repair, rehabilitation, or replacement is commenced, or is under contract to commence, within two years of the date of their destruction or damage. In cases of catastrophic events, such as hurricanes or tornadoes, this two-year limit may be waived by the district engineer, provided the permittee can demonstrate funding, contract, or other similar delays.

(b) This NWP also authorizes the removal of accumulated sediments and debris outside the immediate vicinity of existing structures (e.g., bridges, culverted road crossings, water intake structures, etc.). The removal of sediment is limited to the minimum necessary to restore the waterway in the vicinity of the structure to the approximate dimensions that existed when the structure was built, but cannot extend farther than 200 feet in any direction from the structure. This 200 foot limit does not apply to maintenance dredging to remove accumulated sediments blocking or restricting outfall and intake structures or to maintenance dredging to remove accumulated sediments from canals associated with outfall and intake structures. All dredged or excavated materials must be deposited and retained in an area that has no waters of the United States unless otherwise specifically approved by the district engineer under separate authorization.

(c) This NWP also authorizes temporary structures, fills, and work, including the use of temporary mats, necessary to conduct the maintenance activity. Appropriate measures must be taken to maintain normal downstream flows and minimize flooding to the maximum extent practicable, when temporary structures, work, and discharges of dredged or fill material, including cofferdams, are necessary for construction activities, access fills, or dewatering of construction sites. Temporary fills must consist of materials, and be placed in a manner, that will not be eroded by expected high flows. After conducting the maintenance activity, temporary fills must be removed in their entirety and the affected areas returned to pre-construction elevations. The areas affected by temporary fills must be revegetated, as appropriate.

(d) This NWP does not authorize maintenance dredging for the primary purpose of navigation. This NWP does not authorize beach restoration. This NWP does not authorize new stream channelization or stream relocation projects.

Notification: For activities authorized by paragraph (b) of this NWP, the permittee must submit a pre-construction notification to the district engineer prior to commencing the activity (see general condition 32). The pre-construction notification must include information regarding the original design capacities and configurations of the outfalls, intakes, small impoundments, and canals. (Authorities: Section 10 of the Rivers and Harbors Act of 1899 and Section 404 of the Clean Water Act (Sections 10 and 404))

Note: This NWP authorizes the repair, rehabilitation, or replacement of any previously authorized structure or fill that does not qualify for the Clean Water Act Section 404(f) exemption for maintenance.

Nationwide Permit General Conditions

Note: To qualify for NWP authorization, the prospective permittee must comply with the following general conditions, as applicable, in addition to any regional or case-specific conditions imposed by the division engineer or district engineer. Prospective permittees should contact the appropriate Corps district office to determine if regional conditions have been imposed on an NWP. Prospective permittees should also contact the appropriate Corps district office to determine the status of Clean Water Act Section 401 water quality certification and/or Coastal Zone Management Act consistency for an NWP. Every person who may wish to obtain permit authorization under one or more NWPs, or who is currently relying on an existing or prior permit authorization under one or more NWPs, has been and is on notice that all of the provisions of 33 CFR 330.1 through 330.6 apply to every NWP authorization. Note especially 33 CFR 330.5 relating to the modification, suspension, or revocation of any NWP authorization.

1. Navigation. (a) No activity may cause more than a minimal adverse effect on navigation.

(b) Any safety lights and signals prescribed by the U.S. Coast Guard, through regulations or otherwise, must be installed and maintained at the permittee's expense on authorized facilities in navigable waters of the United States.

(c) The permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structure or work herein authorized, or if, in the opinion of the Secretary of the Army or his or her authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.

2. Aquatic Life Movements. No activity may substantially disrupt the necessary life cycle movements of those species of aquatic life indigenous to the waterbody, including those species that normally migrate through the area, unless the activity's primary purpose is to impound water. All permanent and temporary crossings of waterbodies shall be suitably culverted, bridged, or otherwise designed and constructed to maintain low flows to sustain the movement of those aquatic species. If a bottomless culvert cannot be used, then the crossing should be designed and constructed to minimize adverse effects to aquatic life movements.

3. Spawning Areas. Activities in spawning areas during spawning seasons must be avoided to the maximum extent practicable. Activities that result in the physical destruction (e.g., through excavation, fill, or downstream smothering by substantial turbidity) of an important spawning area are not authorized.

4. Migratory Bird Breeding Areas. Activities in waters of the United States that serve as breeding areas for migratory birds must be avoided to the maximum extent practicable.

5. Shellfish Beds. No activity may occur in areas of concentrated shellfish populations, unless the activity is directly related to a shellfish harvesting activity authorized by NWP 4 and 48, or is a shellfish seeding or habitat restoration activity authorized by NWP 27.

6. Suitable Material. No activity may use unsuitable material (e.g., trash, debris, car bodies, asphalt, etc.). Material used for construction or discharged must be free from toxic pollutants in toxic amounts (see section 307 of the Clean Water Act).

7. Water Supply Intakes. No activity may occur in the proximity of a public water supply intake, except where the activity is for the repair or improvement of public water supply intake structures or adjacent bank stabilization.

8. Adverse Effects From Impoundments. If the activity creates an impoundment of water, adverse effects to the aquatic system due to accelerating the passage of water, and/or restricting its flow must be minimized to the maximum extent practicable.

9. Management of Water Flows. To the maximum extent practicable, the pre-construction course, condition, capacity, and location of open waters must be maintained for each activity, including stream channelization, storm water management activities, and temporary and permanent road crossings, except as provided below. The activity must be constructed to withstand expected high flows. The activity must not restrict or impede the passage of normal or high flows, unless the primary purpose of the activity is to impound water or manage high flows. The activity may alter the pre-construction course, condition, capacity, and location of open waters if it benefits the aquatic environment (e.g., stream restoration or relocation activities).

10. Fills Within 100-Year Floodplains. The activity must comply with applicable FEMA-approved state or local floodplain management requirements.

11. Equipment. Heavy equipment working in wetlands or mudflats must be placed on mats, or other measures must be taken to minimize soil disturbance.

12. Soil Erosion and Sediment Controls. Appropriate soil erosion and sediment controls must be used and maintained in effective operating condition during construction, and all exposed soil and other fills, as well as any work below the ordinary high water mark or high tide line, must be permanently stabilized at the earliest practicable date. Permittees are encouraged to perform work within waters of the United States during periods of low-flow or no-flow, or during low tides.

13. Removal of Temporary Structures and Fills. Temporary structures must be removed, to the maximum extent practicable, after their use has been discontinued.

Temporary fills must be removed in their entirety and the affected areas returned to pre-construction elevations. The affected areas must be revegetated, as appropriate.

14. Proper Maintenance. Any authorized structure or fill shall be properly maintained, including maintenance to ensure public safety and compliance with applicable NWP general conditions, as well as any activity-specific conditions added by the district engineer to an NWP authorization.

15. Single and Complete Project. The activity must be a single and complete project. The same NWP cannot be used more than once for the same single and complete project.

16. Wild and Scenic Rivers. (a) No NWP activity may occur in a component of the National Wild and Scenic River System, or in a river officially designated by Congress as a “study river” for possible inclusion in the system while the river is in an official study status, unless the appropriate Federal agency with direct management responsibility for such river, has determined in writing that the proposed activity will not adversely affect the Wild and Scenic River designation or study status.

(b) If a proposed NWP activity will occur in a component of the National Wild and Scenic River System, or in a river officially designated by Congress as a “study river” for possible inclusion in the system while the river is in an official study status, the permittee must submit a pre-construction notification (see general condition 32). The district engineer will coordinate the PCN with the Federal agency with direct management responsibility for that river. Permittees shall not begin the NWP activity until notified by the district engineer that the Federal agency with direct management responsibility for that river has determined in writing that the proposed NWP activity will not adversely affect the Wild and Scenic River designation or study status.

(c) Information on Wild and Scenic Rivers may be obtained from the appropriate Federal land management agency responsible for the designated Wild and Scenic River or study river (e.g., National Park Service, U.S. Forest Service, Bureau of Land Management, U.S. Fish and Wildlife Service). Information on these rivers is also available at: <http://www.rivers.gov/>.

17. Tribal Rights. No activity or its operation may impair reserved tribal rights, including, but not limited to, reserved water rights and treaty fishing and hunting rights.

18. Endangered Species. (a) No activity is authorized under any NWP which is likely to directly or indirectly jeopardize the continued existence of a threatened or endangered species or a species proposed for such designation, as identified under the Federal Endangered Species Act (ESA), or which will directly or indirectly destroy or adversely modify designated critical habitat or critical habitat proposed for such designation. No activity is authorized under any NWP which “may affect” a listed species or critical habitat, unless ESA section 7 consultation addressing the consequences of the proposed activity on listed species or critical habitat has been completed. See 50 CFR

402.02 for the definition of “effects of the action” for the purposes of ESA section 7 consultation, as well as 50 CFR 402.17, which provides further explanation under ESA section 7 regarding “activities that are reasonably certain to occur” and “consequences caused by the proposed action.”

(b) Federal agencies should follow their own procedures for complying with the requirements of the ESA (see 33 CFR 330.4(f)(1)). If pre-construction notification is required for the proposed activity, the Federal permittee must provide the district engineer with the appropriate documentation to demonstrate compliance with those requirements. The district engineer will verify that the appropriate documentation has been submitted. If the appropriate documentation has not been submitted, additional ESA section 7 consultation may be necessary for the activity and the respective federal agency would be responsible for fulfilling its obligation under section 7 of the ESA.

(c) Non-federal permittees must submit a pre-construction notification to the district engineer if any listed species (or species proposed for listing) or designated critical habitat (or critical habitat proposed such designation) might be affected or is in the vicinity of the activity, or if the activity is located in designated critical habitat or critical habitat proposed for such designation, and shall not begin work on the activity until notified by the district engineer that the requirements of the ESA have been satisfied and that the activity is authorized. For activities that might affect Federally-listed endangered or threatened species (or species proposed for listing) or designated critical habitat (or critical habitat proposed for such designation), the pre-construction notification must include the name(s) of the endangered or threatened species (or species proposed for listing) that might be affected by the proposed activity or that utilize the designated critical habitat (or critical habitat proposed for such designation) that might be affected by the proposed activity. The district engineer will determine whether the proposed activity “may affect” or will have “no effect” to listed species and designated critical habitat and will notify the non-Federal applicant of the Corps’ determination within 45 days of receipt of a complete pre-construction notification. For activities where the non-Federal applicant has identified listed species (or species proposed for listing) or designated critical habitat (or critical habitat proposed for such designation) that might be affected or is in the vicinity of the activity, and has so notified the Corps, the applicant shall not begin work until the Corps has provided notification that the proposed activity will have “no effect” on listed species (or species proposed for listing or designated critical habitat (or critical habitat proposed for such designation), or until ESA section 7 consultation or conference has been completed. If the non-Federal applicant has not heard back from the Corps within 45 days, the applicant must still wait for notification from the Corps.

(d) As a result of formal or informal consultation or conference with the FWS or NMFS the district engineer may add species-specific permit conditions to the NWP.

(e) Authorization of an activity by an NWP does not authorize the “take” of a threatened or endangered species as defined under the ESA. In the absence of separate authorization (e.g., an ESA Section 10 Permit, a Biological Opinion with “incidental take”

provisions, etc.) from the FWS or the NMFS, the Endangered Species Act prohibits any person subject to the jurisdiction of the United States to take a listed species, where "take" means to harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, or collect, or to attempt to engage in any such conduct. The word "harm" in the definition of "take" means an act which actually kills or injures wildlife. Such an act may include significant habitat modification or degradation where it actually kills or injures wildlife by significantly impairing essential behavioral patterns, including breeding, feeding or sheltering.

(f) If the non-federal permittee has a valid ESA section 10(a)(1)(B) incidental take permit with an approved Habitat Conservation Plan for a project or a group of projects that includes the proposed NWP activity, the non-federal applicant should provide a copy of that ESA section 10(a)(1)(B) permit with the PCN required by paragraph (c) of this general condition. The district engineer will coordinate with the agency that issued the ESA section 10(a)(1)(B) permit to determine whether the proposed NWP activity and the associated incidental take were considered in the internal ESA section 7 consultation conducted for the ESA section 10(a)(1)(B) permit. If that coordination results in concurrence from the agency that the proposed NWP activity and the associated incidental take were considered in the internal ESA section 7 consultation for the ESA section 10(a)(1)(B) permit, the district engineer does not need to conduct a separate ESA section 7 consultation for the proposed NWP activity. The district engineer will notify the non-federal applicant within 45 days of receipt of a complete pre-construction notification whether the ESA section 10(a)(1)(B) permit covers the proposed NWP activity or whether additional ESA section 7 consultation is required.

(g) Information on the location of threatened and endangered species and their critical habitat can be obtained directly from the offices of the FWS and NMFS or their world wide web pages at <http://www.fws.gov/> or <http://www.fws.gov/ipac> and <http://www.nmfs.noaa.gov/pr/species/esa/> respectively.

19. Migratory Birds and Bald and Golden Eagles. The permittee is responsible for ensuring that an action authorized by an NWP complies with the Migratory Bird Treaty Act and the Bald and Golden Eagle Protection Act. The permittee is responsible for contacting the appropriate local office of the U.S. Fish and Wildlife Service to determine what measures, if any, are necessary or appropriate to reduce adverse effects to migratory birds or eagles, including whether "incidental take" permits are necessary and available under the Migratory Bird Treaty Act or Bald and Golden Eagle Protection Act for a particular activity.

20. Historic Properties. (a) No activity is authorized under any NWP which may have the potential to cause effects to properties listed, or eligible for listing, in the National Register of Historic Places until the requirements of Section 106 of the National Historic Preservation Act (NHPA) have been satisfied.

(b) Federal permittees should follow their own procedures for complying with the requirements of section 106 of the National Historic Preservation Act (see 33 CFR

330.4(g)(1)). If pre-construction notification is required for the proposed NWP activity, the Federal permittee must provide the district engineer with the appropriate documentation to demonstrate compliance with those requirements. The district engineer will verify that the appropriate documentation has been submitted. If the appropriate documentation is not submitted, then additional consultation under section 106 may be necessary. The respective federal agency is responsible for fulfilling its obligation to comply with section 106.

(c) Non-federal permittees must submit a pre-construction notification to the district engineer if the NWP activity might have the potential to cause effects to any historic properties listed on, determined to be eligible for listing on, or potentially eligible for listing on the National Register of Historic Places, including previously unidentified properties. For such activities, the pre-construction notification must state which historic properties might have the potential to be affected by the proposed NWP activity or include a vicinity map indicating the location of the historic properties or the potential for the presence of historic properties. Assistance regarding information on the location of, or potential for, the presence of historic properties can be sought from the State Historic Preservation Officer, Tribal Historic Preservation Officer, or designated tribal representative, as appropriate, and the National Register of Historic Places (see 33 CFR 330.4(g)). When reviewing pre-construction notifications, district engineers will comply with the current procedures for addressing the requirements of section 106 of the National Historic Preservation Act. The district engineer shall make a reasonable and good faith effort to carry out appropriate identification efforts commensurate with potential impacts, which may include background research, consultation, oral history interviews, sample field investigation, and/or field survey. Based on the information submitted in the PCN and these identification efforts, the district engineer shall determine whether the proposed NWP activity has the potential to cause effects on the historic properties. Section 106 consultation is not required when the district engineer determines that the activity does not have the potential to cause effects on historic properties (see 36 CFR 800.3(a)). Section 106 consultation is required when the district engineer determines that the activity has the potential to cause effects on historic properties. The district engineer will conduct consultation with consulting parties identified under 36 CFR 800.2(c) when he or she makes any of the following effect determinations for the purposes of section 106 of the NHPA: no historic properties affected, no adverse effect, or adverse effect.

(d) Where the non-Federal applicant has identified historic properties on which the proposed NWP activity might have the potential to cause effects and has so notified the Corps, the non-Federal applicant shall not begin the activity until notified by the district engineer either that the activity has no potential to cause effects to historic properties or that NHPA section 106 consultation has been completed. For non-federal permittees, the district engineer will notify the prospective permittee within 45 days of receipt of a complete pre-construction notification whether NHPA section 106 consultation is required. If NHPA section 106 consultation is required, the district engineer will notify the non-Federal applicant that he or she cannot begin the activity until section 106

consultation is completed. If the non-Federal applicant has not heard back from the Corps within 45 days, the applicant must still wait for notification from the Corps.

(e) Prospective permittees should be aware that section 110k of the NHPA (54 U.S.C. 306113) prevents the Corps from granting a permit or other assistance to an applicant who, with intent to avoid the requirements of section 106 of the NHPA, has intentionally significantly adversely affected a historic property to which the permit would relate, or having legal power to prevent it, allowed such significant adverse effect to occur, unless the Corps, after consultation with the Advisory Council on Historic Preservation (ACHP), determines that circumstances justify granting such assistance despite the adverse effect created or permitted by the applicant. If circumstances justify granting the assistance, the Corps is required to notify the ACHP and provide documentation specifying the circumstances, the degree of damage to the integrity of any historic properties affected, and proposed mitigation. This documentation must include any views obtained from the applicant, SHPO/THPO, appropriate Indian tribes if the undertaking occurs on or affects historic properties on tribal lands or affects properties of interest to those tribes, and other parties known to have a legitimate interest in the impacts to the permitted activity on historic properties.

21. Discovery of Previously Unknown Remains and Artifacts. Permittees that discover any previously unknown historic, cultural or archeological remains and artifacts while accomplishing the activity authorized by an NWP, they must immediately notify the district engineer of what they have found, and to the maximum extent practicable, avoid construction activities that may affect the remains and artifacts until the required coordination has been completed. The district engineer will initiate the Federal, Tribal, and state coordination required to determine if the items or remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.

22. Designated Critical Resource Waters. Critical resource waters include, NOAA-managed marine sanctuaries and marine monuments, and National Estuarine Research Reserves. The district engineer may designate, after notice and opportunity for public comment, additional waters officially designated by a state as having particular environmental or ecological significance, such as outstanding national resource waters or state natural heritage sites. The district engineer may also designate additional critical resource waters after notice and opportunity for public comment.

(a) Discharges of dredged or fill material into waters of the United States are not authorized by NWPs 7, 12, 14, 16, 17, 21, 29, 31, 35, 39, 40, 42, 43, 44, 49, 50, 51, 52, 57 and 58 for any activity within, or directly affecting, critical resource waters, including wetlands adjacent to such waters.

(b) For NWPs 3, 8, 10, 13, 15, 18, 19, 22, 23, 25, 27, 28, 30, 33, 34, 36, 37, 38, and 54, notification is required in accordance with general condition 32, for any activity proposed by permittees in the designated critical resource waters including wetlands adjacent to those waters. The district engineer may authorize activities under these NWPs only

after she or he determines that the impacts to the critical resource waters will be no more than minimal.

23. Mitigation. The district engineer will consider the following factors when determining appropriate and practicable mitigation necessary to ensure that the individual and cumulative adverse environmental effects are no more than minimal:

(a) The activity must be designed and constructed to avoid and minimize adverse effects, both temporary and permanent, to waters of the United States to the maximum extent practicable at the project site (i.e., on site).

(b) Mitigation in all its forms (avoiding, minimizing, rectifying, reducing, or compensating for resource losses) will be required to the extent necessary to ensure that the individual and cumulative adverse environmental effects are no more than minimal.

(c) Compensatory mitigation at a minimum one-for-one ratio will be required for all wetland losses that exceed 1/10-acre and require pre-construction notification, unless the district engineer determines in writing that either some other form of mitigation would be more environmentally appropriate or the adverse environmental effects of the proposed activity are no more than minimal, and provides an activity-specific waiver of this requirement. For wetland losses of 1/10-acre or less that require pre-construction notification, the district engineer may determine on a case-by-case basis that compensatory mitigation is required to ensure that the activity results in only minimal adverse environmental effects.

(d) Compensatory mitigation at a minimum one-for-one ratio will be required for all losses of stream bed that exceed 3/100-acre and require pre-construction notification, unless the district engineer determines in writing that either some other form of mitigation would be more environmentally appropriate or the adverse environmental effects of the proposed activity are no more than minimal, and provides an activity-specific waiver of this requirement. This compensatory mitigation requirement may be satisfied through the restoration or enhancement of riparian areas next to streams in accordance with paragraph (e) of this general condition. For losses of stream bed of 3/100-acre or less that require pre-construction notification, the district engineer may determine on a case-by-case basis that compensatory mitigation is required to ensure that the activity results in only minimal adverse environmental effects. Compensatory mitigation for losses of streams should be provided, if practicable, through stream rehabilitation, enhancement, or preservation, since streams are difficult-to-replace resources (see 33 CFR 332.3(e)(3)).

(e) Compensatory mitigation plans for NWP activities in or near streams or other open waters will normally include a requirement for the restoration or enhancement, maintenance, and legal protection (e.g., conservation easements) of riparian areas next to open waters. In some cases, the restoration or maintenance/protection of riparian areas may be the only compensatory mitigation required. If restoring riparian areas involves planting vegetation, only native species should be planted. The width of the

required riparian area will address documented water quality or aquatic habitat loss concerns. Normally, the riparian area will be 25 to 50 feet wide on each side of the stream, but the district engineer may require slightly wider riparian areas to address documented water quality or habitat loss concerns. If it is not possible to restore or maintain/protect a riparian area on both sides of a stream, or if the waterbody is a lake or coastal waters, then restoring or maintaining/protecting a riparian area along a single bank or shoreline may be sufficient. Where both wetlands and open waters exist on the project site, the district engineer will determine the appropriate compensatory mitigation (e.g., riparian areas and/or wetlands compensation) based on what is best for the aquatic environment on a watershed basis. In cases where riparian areas are determined to be the most appropriate form of minimization or compensatory mitigation, the district engineer may waive or reduce the requirement to provide wetland compensatory mitigation for wetland losses.

(f) Compensatory mitigation projects provided to offset losses of aquatic resources must comply with the applicable provisions of 33 CFR part 332.

(1) The prospective permittee is responsible for proposing an appropriate compensatory mitigation option if compensatory mitigation is necessary to ensure that the activity results in no more than minimal adverse environmental effects. For the NWP, the preferred mechanism for providing compensatory mitigation is mitigation bank credits or in-lieu fee program credits (see 33 CFR 332.3(b)(2) and (3)). However, if an appropriate number and type of mitigation bank or in-lieu credits are not available at the time the PCN is submitted to the district engineer, the district engineer may approve the use of permittee-responsible mitigation.

(2) The amount of compensatory mitigation required by the district engineer must be sufficient to ensure that the authorized activity results in no more than minimal individual and cumulative adverse environmental effects (see 33 CFR 330.1(e)(3)). (See also 33 CFR 332.3(f).)

(3) Since the likelihood of success is greater and the impacts to potentially valuable uplands are reduced, aquatic resource restoration should be the first compensatory mitigation option considered for permittee-responsible mitigation.

(4) If permittee-responsible mitigation is the proposed option, the prospective permittee is responsible for submitting a mitigation plan. A conceptual or detailed mitigation plan may be used by the district engineer to make the decision on the NWP verification request, but a final mitigation plan that addresses the applicable requirements of 33 CFR 332.4(c)(2) through (14) must be approved by the district engineer before the permittee begins work in waters of the United States, unless the district engineer determines that prior approval of the final mitigation plan is not practicable or not necessary to ensure timely completion of the required compensatory mitigation (see 33 CFR 332.3(k)(3)). If permittee-responsible mitigation is the proposed option, and the proposed compensatory mitigation site is located on land in which another federal agency holds an easement, the district engineer will coordinate with that federal agency

to determine if proposed compensatory mitigation project is compatible with the terms of the easement.

(5) If mitigation bank or in-lieu fee program credits are the proposed option, the mitigation plan needs to address only the baseline conditions at the impact site and the number of credits to be provided (see 33 CFR 332.4(c)(1)(ii)).

(6) Compensatory mitigation requirements (e.g., resource type and amount to be provided as compensatory mitigation, site protection, ecological performance standards, monitoring requirements) may be addressed through conditions added to the NWP authorization, instead of components of a compensatory mitigation plan (see 33 CFR 332.4(c)(1)(ii)).

(g) Compensatory mitigation will not be used to increase the acreage losses allowed by the acreage limits of the NWPs. For example, if an NWP has an acreage limit of 1/2-acre, it cannot be used to authorize any NWP activity resulting in the loss of greater than 1/2-acre of waters of the United States, even if compensatory mitigation is provided that replaces or restores some of the lost waters. However, compensatory mitigation can and should be used, as necessary, to ensure that an NWP activity already meeting the established acreage limits also satisfies the no more than minimal impact requirement for the NWPs.

(h) Permittees may propose the use of mitigation banks, in-lieu fee programs, or permittee-responsible mitigation. When developing a compensatory mitigation proposal, the permittee must consider appropriate and practicable options consistent with the framework at 33 CFR 332.3(b). For activities resulting in the loss of marine or estuarine resources, permittee-responsible mitigation may be environmentally preferable if there are no mitigation banks or in-lieu fee programs in the area that have marine or estuarine credits available for sale or transfer to the permittee. For permittee-responsible mitigation, the special conditions of the NWP verification must clearly indicate the party or parties responsible for the implementation and performance of the compensatory mitigation project, and, if required, its long-term management.

(i) Where certain functions and services of waters of the United States are permanently adversely affected by a regulated activity, such as discharges of dredged or fill material into waters of the United States that will convert a forested or scrub-shrub wetland to a herbaceous wetland in a permanently maintained utility line right-of-way, mitigation may be required to reduce the adverse environmental effects of the activity to the no more than minimal level.

24. Safety of Impoundment Structures. To ensure that all impoundment structures are safely designed, the district engineer may require non-Federal applicants to demonstrate that the structures comply with established state or federal, dam safety criteria or have been designed by qualified persons. The district engineer may also require documentation that the design has been independently reviewed by similarly qualified persons, and appropriate modifications made to ensure safety.

25. Water Quality. (a) Where the certifying authority (state, authorized tribe, or EPA, as appropriate) has not previously certified compliance of an NWP with CWA section 401, a CWA section 401 water quality certification for the proposed discharge must be obtained or waived (see 33 CFR 330.4(c)). If the permittee cannot comply with all of the conditions of a water quality certification previously issued by certifying authority for the issuance of the NWP, then the permittee must obtain a water quality certification or waiver for the proposed discharge in order for the activity to be authorized by an NWP.

(b) If the NWP activity requires pre-construction notification and the certifying authority has not previously certified compliance of an NWP with CWA section 401, the proposed discharge is not authorized by an NWP until water quality certification is obtained or waived. If the certifying authority issues a water quality certification for the proposed discharge, the permittee must submit a copy of the certification to the district engineer. The discharge is not authorized by an NWP until the district engineer has notified the permittee that the water quality certification requirement has been satisfied by the issuance of a water quality certification or a waiver.

(c) The district engineer or certifying authority may require additional water quality management measures to ensure that the authorized activity does not result in more than minimal degradation of water quality.

26. Coastal Zone Management. In coastal states where an NWP has not previously received a state coastal zone management consistency concurrence, an individual state coastal zone management consistency concurrence must be obtained, or a presumption of concurrence must occur (see 33 CFR 330.4(d)). If the permittee cannot comply with all of the conditions of a coastal zone management consistency concurrence previously issued by the state, then the permittee must obtain an individual coastal zone management consistency concurrence or presumption of concurrence in order for the activity to be authorized by an NWP. The district engineer or a state may require additional measures to ensure that the authorized activity is consistent with state coastal zone management requirements.

27. Regional and Case-By-Case Conditions. The activity must comply with any regional conditions that may have been added by the Division Engineer (see 33 CFR 330.4(e)) and with any case specific conditions added by the Corps or by the state, Indian Tribe, or U.S. EPA in its CWA section 401 Water Quality Certification, or by the state in its Coastal Zone Management Act consistency determination.

28. Use of Multiple Nationwide Permits. The use of more than one NWP for a single and complete project is authorized, subject to the following restrictions:

(a) If only one of the NWPs used to authorize the single and complete project has a specified acreage limit, the acreage loss of waters of the United States cannot exceed the acreage limit of the NWP with the highest specified acreage limit. For example, if a road crossing over tidal waters is constructed under NWP 14, with associated bank

stabilization authorized by NWP 13, the maximum acreage loss of waters of the United States for the total project cannot exceed 1/3-acre.

(b) If one or more of the NWPs used to authorize the single and complete project has specified acreage limits, the acreage loss of waters of the United States authorized by those NWPs cannot exceed their respective specified acreage limits. For example, if a commercial development is constructed under NWP 39, and the single and complete project includes the filling of an upland ditch authorized by NWP 46, the maximum acreage loss of waters of the United States for the commercial development under NWP 39 cannot exceed 1/2-acre, and the total acreage loss of waters of United States due to the NWP 39 and 46 activities cannot exceed 1 acre.

29. Transfer of Nationwide Permit Verifications. If the permittee sells the property associated with a nationwide permit verification, the permittee may transfer the nationwide permit verification to the new owner by submitting a letter to the appropriate Corps district office to validate the transfer. A copy of the nationwide permit verification must be attached to the letter, and the letter must contain the following statement and signature:

“When the structures or work authorized by this nationwide permit are still in existence at the time the property is transferred, the terms and conditions of this nationwide permit, including any special conditions, will continue to be binding on the new owner(s) of the property. To validate the transfer of this nationwide permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date below.”

(Transferee)

(Date)

30. Compliance Certification. Each permittee who receives an NWP verification letter from the Corps must provide a signed certification documenting completion of the authorized activity and implementation of any required compensatory mitigation. The success of any required permittee-responsible mitigation, including the achievement of ecological performance standards, will be addressed separately by the district engineer. The Corps will provide the permittee the certification document with the NWP verification letter. The certification document will include:

(a) A statement that the authorized activity was done in accordance with the NWP authorization, including any general, regional, or activity-specific conditions;

(b) A statement that the implementation of any required compensatory mitigation was completed in accordance with the permit conditions. If credits from a mitigation bank or in-lieu fee program are used to satisfy the compensatory mitigation requirements, the certification must include the documentation required by 33 CFR 332.3(l)(3) to confirm that the permittee secured the appropriate number and resource type of credits; and

(c) The signature of the permittee certifying the completion of the activity and mitigation.

The completed certification document must be submitted to the district engineer within 30 days of completion of the authorized activity or the implementation of any required compensatory mitigation, whichever occurs later.

31. Activities Affecting Structures or Works Built by the United States. If an NWP activity also requires review by, or permission from, the Corps pursuant to 33 U.S.C. 408 because it will alter or temporarily or permanently occupy or use a U.S. Army Corps of Engineers (USACE) federally authorized Civil Works project (a "USACE project"), the prospective permittee must submit a pre-construction notification. See paragraph (b)(10) of general condition 32. An activity that requires section 408 permission and/or review is not authorized by an NWP until the appropriate Corps office issues the section 408 permission or completes its review to alter, occupy, or use the USACE project, and the district engineer issues a written NWP verification.

32. Pre-Construction Notification. (a) *Timing*. Where required by the terms of the NWP, the prospective permittee must notify the district engineer by submitting a pre-construction notification (PCN) as early as possible. The district engineer must determine if the PCN is complete within 30 calendar days of the date of receipt and, if the PCN is determined to be incomplete, notify the prospective permittee within that 30 day period to request the additional information necessary to make the PCN complete. The request must specify the information needed to make the PCN complete. As a general rule, district engineers will request additional information necessary to make the PCN complete only once. However, if the prospective permittee does not provide all of the requested information, then the district engineer will notify the prospective permittee that the PCN is still incomplete and the PCN review process will not commence until all of the requested information has been received by the district engineer. The prospective permittee shall not begin the activity until either:

(1) He or she is notified in writing by the district engineer that the activity may proceed under the NWP with any special conditions imposed by the district or division engineer; or

(2) 45 calendar days have passed from the district engineer's receipt of the complete PCN and the prospective permittee has not received written notice from the district or division engineer. However, if the permittee was required to notify the Corps pursuant to general condition 18 that listed species or critical habitat might be affected or are in the vicinity of the activity, or to notify the Corps pursuant to general condition 20 that the activity might have the potential to cause effects to historic properties, the permittee

cannot begin the activity until receiving written notification from the Corps that there is “no effect” on listed species or “no potential to cause effects” on historic properties, or that any consultation required under Section 7 of the Endangered Species Act (see 33 CFR 330.4(f)) and/or section 106 of the National Historic Preservation Act (see 33 CFR 330.4(g)) has been completed. If the proposed activity requires a written waiver to exceed specified limits of an NWP, the permittee may not begin the activity until the district engineer issues the waiver. If the district or division engineer notifies the permittee in writing that an individual permit is required within 45 calendar days of receipt of a complete PCN, the permittee cannot begin the activity until an individual permit has been obtained. Subsequently, the permittee’s right to proceed under the NWP may be modified, suspended, or revoked only in accordance with the procedure set forth in 33 CFR 330.5(d)(2).

(b) *Contents of Pre-Construction Notification:* The PCN must be in writing and include the following information:

(1) Name, address and telephone numbers of the prospective permittee;

(2) Location of the proposed activity;

(3) Identify the specific NWP or NWP(s) the prospective permittee wants to use to authorize the proposed activity;

(4) (i) A description of the proposed activity; the activity’s purpose; direct and indirect adverse environmental effects the activity would cause, including the anticipated amount of loss of wetlands, other special aquatic sites, and other waters expected to result from the NWP activity, in acres, linear feet, or other appropriate unit of measure; a description of any proposed mitigation measures intended to reduce the adverse environmental effects caused by the proposed activity; and any other NWP(s), regional general permit(s), or individual permit(s) used or intended to be used to authorize any part of the proposed project or any related activity, including other separate and distant crossings for linear projects that require Department of the Army authorization but do not require pre-construction notification. The description of the proposed activity and any proposed mitigation measures should be sufficiently detailed to allow the district engineer to determine that the adverse environmental effects of the activity will be no more than minimal and to determine the need for compensatory mitigation or other mitigation measures.

(ii) For linear projects where one or more single and complete crossings require pre-construction notification, the PCN must include the quantity of anticipated losses of wetlands, other special aquatic sites, and other waters for each single and complete crossing of those wetlands, other special aquatic sites, and other waters (including those single and complete crossings authorized by an NWP but do not require PCNs). This information will be used by the district engineer to evaluate the cumulative adverse environmental effects of the proposed linear project, and does not change those non-PCN NWP activities into NWP PCNs.

(iii) Sketches should be provided when necessary to show that the activity complies with the terms of the NWP. (Sketches usually clarify the activity and when provided results in a quicker decision. Sketches should contain sufficient detail to provide an illustrative description of the proposed activity (e.g., a conceptual plan), but do not need to be detailed engineering plans);

(5) The PCN must include a delineation of wetlands, other special aquatic sites, and other waters, such as lakes and ponds, and perennial and intermittent streams, on the project site. Wetland delineations must be prepared in accordance with the current method required by the Corps. The permittee may ask the Corps to delineate the special aquatic sites and other waters on the project site, but there may be a delay if the Corps does the delineation, especially if the project site is large or contains many wetlands, other special aquatic sites, and other waters. Furthermore, the 45-day period will not start until the delineation has been submitted to or completed by the Corps, as appropriate;

(6) If the proposed activity will result in the loss of greater than 1/10-acre of wetlands or 3/100-acre of stream bed and a PCN is required, the prospective permittee must submit a statement describing how the mitigation requirement will be satisfied, or explaining why the adverse environmental effects are no more than minimal and why compensatory mitigation should not be required. As an alternative, the prospective permittee may submit a conceptual or detailed mitigation plan.

(7) For non-federal permittees, if any listed species (or species proposed for listing) or designated critical habitat (or critical habitat proposed for such designation) might be affected or is in the vicinity of the activity, or if the activity is located in designated critical habitat (or critical habitat proposed for such designation), the PCN must include the name(s) of those endangered or threatened species (or species proposed for listing) that might be affected by the proposed activity or utilize the designated critical habitat (or critical habitat proposed for such designation) that might be affected by the proposed activity. For NWP activities that require pre-construction notification, Federal permittees must provide documentation demonstrating compliance with the Endangered Species Act;

(8) For non-federal permittees, if the NWP activity might have the potential to cause effects to a historic property listed on, determined to be eligible for listing on, or potentially eligible for listing on, the National Register of Historic Places, the PCN must state which historic property might have the potential to be affected by the proposed activity or include a vicinity map indicating the location of the historic property. For NWP activities that require pre-construction notification, Federal permittees must provide documentation demonstrating compliance with section 106 of the National Historic Preservation Act;

(9) For an activity that will occur in a component of the National Wild and Scenic River System, or in a river officially designated by Congress as a "study river" for possible

inclusion in the system while the river is in an official study status, the PCN must identify the Wild and Scenic River or the “study river” (see general condition 16); and

(10) For an NWP activity that requires permission from, or review by, the Corps pursuant to 33 U.S.C. 408 because it will alter or temporarily or permanently occupy or use a U.S. Army Corps of Engineers federally authorized civil works project, the pre-construction notification must include a statement confirming that the project proponent has submitted a written request for section 408 permission from, or review by, the Corps office having jurisdiction over that USACE project.

(c) *Form of Pre-Construction Notification:* The nationwide permit pre-construction notification form (Form ENG 6082) should be used for NWP PCNs. A letter containing the required information may also be used. Applicants may provide electronic files of PCNs and supporting materials if the district engineer has established tools and procedures for electronic submittals.

(d) *Agency Coordination:* (1) The district engineer will consider any comments from Federal and state agencies concerning the proposed activity’s compliance with the terms and conditions of the NWPs and the need for mitigation to reduce the activity’s adverse environmental effects so that they are no more than minimal.

(2) Agency coordination is required for: (i) all NWP activities that require pre-construction notification and result in the loss of greater than 1/2-acre of waters of the United States; (ii) NWP 13 activities in excess of 500 linear feet, fills greater than one cubic yard per running foot, or involve discharges of dredged or fill material into special aquatic sites; and (iii) NWP 54 activities in excess of 500 linear feet, or that extend into the waterbody more than 30 feet from the mean low water line in tidal waters or the ordinary high water mark in the Great Lakes.

(3) When agency coordination is required, the district engineer will immediately provide (e.g., via e-mail, facsimile transmission, overnight mail, or other expeditious manner) a copy of the complete PCN to the appropriate Federal or state offices (FWS, state natural resource or water quality agency, EPA, and, if appropriate, the NMFS). With the exception of NWP 37, these agencies will have 10 calendar days from the date the material is transmitted to notify the district engineer via telephone, facsimile transmission, or e-mail that they intend to provide substantive, site-specific comments. The comments must explain why the agency believes the adverse environmental effects will be more than minimal. If so contacted by an agency, the district engineer will wait an additional 15 calendar days before making a decision on the pre-construction notification. The district engineer will fully consider agency comments received within the specified time frame concerning the proposed activity’s compliance with the terms and conditions of the NWPs, including the need for mitigation to ensure that the net adverse environmental effects of the proposed activity are no more than minimal. The district engineer will provide no response to the resource agency, except as provided below. The district engineer will indicate in the administrative record associated with each pre-construction notification that the resource agencies’ concerns were

considered. For NWP 37, the emergency watershed protection and rehabilitation activity may proceed immediately in cases where there is an unacceptable hazard to life or a significant loss of property or economic hardship will occur. The district engineer will consider any comments received to decide whether the NWP 37 authorization should be modified, suspended, or revoked in accordance with the procedures at 33 CFR 330.5.

(4) In cases of where the prospective permittee is not a Federal agency, the district engineer will provide a response to NMFS within 30 calendar days of receipt of any Essential Fish Habitat conservation recommendations, as required by section 305(b)(4)(B) of the Magnuson-Stevens Fishery Conservation and Management Act.

(5) Applicants are encouraged to provide the Corps with either electronic files or multiple copies of pre-construction notifications to expedite agency coordination.

District Engineer's Decision

1. In reviewing the PCN for the proposed activity, the district engineer will determine whether the activity authorized by the NWP will result in more than minimal individual or cumulative adverse environmental effects or may be contrary to the public interest. If a project proponent requests authorization by a specific NWP, the district engineer should issue the NWP verification for that activity if it meets the terms and conditions of that NWP, unless he or she determines, after considering mitigation, that the proposed activity will result in more than minimal individual and cumulative adverse effects on the aquatic environment and other aspects of the public interest and exercises discretionary authority to require an individual permit for the proposed activity. For a linear project, this determination will include an evaluation of the single and complete crossings of waters of the United States that require PCNs to determine whether they individually satisfy the terms and conditions of the NWP(s), as well as the cumulative effects caused by all of the crossings of waters of the United States authorized by an NWP. If an applicant requests a waiver of an applicable limit, as provided for in NWPs 13, 36, or 54, the district engineer will only grant the waiver upon a written determination that the NWP activity will result in only minimal individual and cumulative adverse environmental effects.

2. When making minimal adverse environmental effects determinations the district engineer will consider the direct and indirect effects caused by the NWP activity. He or she will also consider the cumulative adverse environmental effects caused by activities authorized by an NWP and whether those cumulative adverse environmental effects are no more than minimal. The district engineer will also consider site specific factors, such as the environmental setting in the vicinity of the NWP activity, the type of resource that will be affected by the NWP activity, the functions provided by the aquatic resources that will be affected by the NWP activity, the degree or magnitude to which the aquatic resources perform those functions, the extent that aquatic resource functions will be lost as a result of the NWP activity (e.g., partial or complete loss), the duration of the adverse effects (temporary or permanent), the importance of the aquatic resource

functions to the region (e.g., watershed or ecoregion), and mitigation required by the district engineer. If an appropriate functional or condition assessment method is available and practicable to use, that assessment method may be used by the district engineer to assist in the minimal adverse environmental effects determination. The district engineer may add case-specific special conditions to the NWP authorization to address site-specific environmental concerns.

3. If the proposed activity requires a PCN and will result in a loss of greater than 1/10-acre of wetlands or 3/100-acre of stream bed, the prospective permittee should submit a mitigation proposal with the PCN. Applicants may also propose compensatory mitigation for NWP activities with smaller impacts, or for impacts to other types of waters. The district engineer will consider any proposed compensatory mitigation or other mitigation measures the applicant has included in the proposal in determining whether the net adverse environmental effects of the proposed activity are no more than minimal. The compensatory mitigation proposal may be either conceptual or detailed. If the district engineer determines that the activity complies with the terms and conditions of the NWP and that the adverse environmental effects are no more than minimal, after considering mitigation, the district engineer will notify the permittee and include any activity-specific conditions in the NWP verification the district engineer deems necessary. Conditions for compensatory mitigation requirements must comply with the appropriate provisions at 33 CFR 332.3(k). The district engineer must approve the final mitigation plan before the permittee commences work in waters of the United States, unless the district engineer determines that prior approval of the final mitigation plan is not practicable or not necessary to ensure timely completion of the required compensatory mitigation. If the prospective permittee elects to submit a compensatory mitigation plan with the PCN, the district engineer will expeditiously review the proposed compensatory mitigation plan. The district engineer must review the proposed compensatory mitigation plan within 45 calendar days of receiving a complete PCN and determine whether the proposed mitigation would ensure that the NWP activity results in no more than minimal adverse environmental effects. If the net adverse environmental effects of the NWP activity (after consideration of the mitigation proposal) are determined by the district engineer to be no more than minimal, the district engineer will provide a timely written response to the applicant. The response will state that the NWP activity can proceed under the terms and conditions of the NWP, including any activity-specific conditions added to the NWP authorization by the district engineer.

4. If the district engineer determines that the adverse environmental effects of the proposed activity are more than minimal, then the district engineer will notify the applicant either: (a) that the activity does not qualify for authorization under the NWP and instruct the applicant on the procedures to seek authorization under an individual permit; (b) that the activity is authorized under the NWP subject to the applicant's submission of a mitigation plan that would reduce the adverse environmental effects so that they are no more than minimal; or (c) that the activity is authorized under the NWP with specific modifications or conditions. Where the district engineer determines that mitigation is required to ensure no more than minimal adverse environmental effects, the activity will be authorized within the 45-day PCN period (unless additional time is

required to comply with general conditions 18, 20, and/or 31), with activity-specific conditions that state the mitigation requirements. The authorization will include the necessary conceptual or detailed mitigation plan or a requirement that the applicant submit a mitigation plan that would reduce the adverse environmental effects so that they are no more than minimal. When compensatory mitigation is required, no work in waters of the United States may occur until the district engineer has approved a specific mitigation plan or has determined that prior approval of a final mitigation plan is not practicable or not necessary to ensure timely completion of the required compensatory mitigation.

Further Information

1. District engineers have authority to determine if an activity complies with the terms and conditions of an NWP.
2. NWPs do not obviate the need to obtain other federal, state, or local permits, approvals, or authorizations required by law.
3. NWPs do not grant any property rights or exclusive privileges.
4. NWPs do not authorize any injury to the property or rights of others.
5. NWPs do not authorize interference with any existing or proposed Federal project (see general condition 31).

Nationwide Permit Definitions

Best management practices (BMPs): Policies, practices, procedures, or structures implemented to mitigate the adverse environmental effects on surface water quality resulting from development. BMPs are categorized as structural or non-structural.

Compensatory mitigation: The restoration (re-establishment or rehabilitation), establishment (creation), enhancement, and/or in certain circumstances preservation of aquatic resources for the purposes of offsetting unavoidable adverse impacts which remain after all appropriate and practicable avoidance and minimization has been achieved.

Currently serviceable: Useable as is or with some maintenance, but not so degraded as to essentially require reconstruction.

Direct effects: Effects that are caused by the activity and occur at the same time and place.

Discharge: The term "discharge" means any discharge of dredged or fill material into waters of the United States.

Ecological reference: A model used to plan and design an aquatic habitat and riparian area restoration, enhancement, or establishment activity under NWP 27. An ecological reference may be based on the structure, functions, and dynamics of an aquatic habitat type or a riparian area type that currently exists in the region where the proposed NWP 27 activity is located. Alternatively, an ecological reference may be based on a conceptual model for the aquatic habitat type or riparian area type to be restored, enhanced, or established as a result of the proposed NWP 27 activity. An ecological reference takes into account the range of variation of the aquatic habitat type or riparian area type in the region.

Enhancement: The manipulation of the physical, chemical, or biological characteristics of an aquatic resource to heighten, intensify, or improve a specific aquatic resource function(s). Enhancement results in the gain of selected aquatic resource function(s), but may also lead to a decline in other aquatic resource function(s). Enhancement does not result in a gain in aquatic resource area.

Establishment (creation): The manipulation of the physical, chemical, or biological characteristics present to develop an aquatic resource that did not previously exist at an upland site. Establishment results in a gain in aquatic resource area.

High Tide Line: The line of intersection of the land with the water's surface at the maximum height reached by a rising tide. The high tide line may be determined, in the absence of actual data, by a line of oil or scum along shore objects, a more or less continuous deposit of fine shell or debris on the foreshore or berm, other physical markings or characteristics, vegetation lines, tidal gages, or other suitable means that delineate the general height reached by a rising tide. The line encompasses spring high tides and other high tides that occur with periodic frequency but does not include storm surges in which there is a departure from the normal or predicted reach of the tide due to the piling up of water against a coast by strong winds such as those accompanying a hurricane or other intense storm.

Historic Property: Any prehistoric or historic district, site (including archaeological site), building, structure, or other object included in, or eligible for inclusion in, the National Register of Historic Places maintained by the Secretary of the Interior. This term includes artifacts, records, and remains that are related to and located within such properties. The term includes properties of traditional religious and cultural importance to an Indian tribe or Native Hawaiian organization and that meet the National Register criteria (36 CFR part 60).

Independent utility: A test to determine what constitutes a single and complete non-linear project in the Corps Regulatory Program. A project is considered to have independent utility if it would be constructed absent the construction of other projects in the project area. Portions of a multi-phase project that depend upon other phases of the project do not have independent utility. Phases of a project that would be constructed even if the other phases were not built can be considered as separate single and complete projects with independent utility.

Indirect effects: Effects that are caused by the activity and are later in time or farther removed in distance, but are still reasonably foreseeable.

Loss of waters of the United States: Waters of the United States that are permanently adversely affected by filling, flooding, excavation, or drainage because of the regulated activity. The loss of stream bed includes the acres of stream bed that are permanently adversely affected by filling or excavation because of the regulated activity. Permanent adverse effects include permanent discharges of dredged or fill material that change an aquatic area to dry land, increase the bottom elevation of a waterbody, or change the use of a waterbody. The acreage of loss of waters of the United States is a threshold measurement of the impact to jurisdictional waters or wetlands for determining whether a project may qualify for an NWP; it is not a net threshold that is calculated after considering compensatory mitigation that may be used to offset losses of aquatic functions and services. Waters of the United States temporarily filled, flooded, excavated, or drained, but restored to pre-construction contours and elevations after construction, are not included in the measurement of loss of waters of the United States. Impacts resulting from activities that do not require Department of the Army authorization, such as activities eligible for exemptions under section 404(f) of the Clean Water Act, are not considered when calculating the loss of waters of the United States.

Navigable waters: Waters subject to section 10 of the Rivers and Harbors Act of 1899. These waters are defined at 33 CFR part 329.

Non-tidal wetland: A non-tidal wetland is a wetland that is not subject to the ebb and flow of tidal waters. Non-tidal wetlands contiguous to tidal waters are located landward of the high tide line (i.e., spring high tide line).

Open water: For purposes of the NWPs, an open water is any area that in a year with normal patterns of precipitation has water flowing or standing above ground to the extent that an ordinary high water mark can be determined. Aquatic vegetation within the area of flowing or standing water is either non-emergent, sparse, or absent. Vegetated shallows are considered to be open waters. Examples of “open waters” include rivers, streams, lakes, and ponds.

Ordinary High Water Mark: The term ordinary high water mark means that line on the shore established by the fluctuations of water and indicated by physical characteristics such as a clear, natural line impressed on the bank, shelving, changes in the character of soil, destruction of terrestrial vegetation, the presence of litter and debris, or other appropriate means that consider the characteristics of the surrounding areas.

Perennial stream: A perennial stream has surface water flowing continuously year-round during a typical year.

Practicable: Available and capable of being done after taking into consideration cost, existing technology, and logistics in light of overall project purposes.

Pre-construction notification: A request submitted by the project proponent to the Corps for confirmation that a particular activity is authorized by nationwide permit. The request may be a permit application, letter, or similar document that includes information about the proposed work and its anticipated environmental effects. Pre-construction notification may be required by the terms and conditions of a nationwide permit, or by regional conditions. A pre-construction notification may be voluntarily submitted in cases where pre-construction notification is not required and the project proponent wants confirmation that the activity is authorized by nationwide permit.

Preservation: The removal of a threat to, or preventing the decline of, aquatic resources by an action in or near those aquatic resources. This term includes activities commonly associated with the protection and maintenance of aquatic resources through the implementation of appropriate legal and physical mechanisms. Preservation does not result in a gain of aquatic resource area or functions.

Re-establishment: The manipulation of the physical, chemical, or biological characteristics of a site with the goal of returning natural/historic functions to a former aquatic resource. Re-establishment results in rebuilding a former aquatic resource and results in a gain in aquatic resource area and functions.

Rehabilitation: The manipulation of the physical, chemical, or biological characteristics of a site with the goal of repairing natural/historic functions to a degraded aquatic resource. Rehabilitation results in a gain in aquatic resource function, but does not result in a gain in aquatic resource area.

Restoration: The manipulation of the physical, chemical, or biological characteristics of a site with the goal of returning natural/historic functions to a former or degraded aquatic resource. For the purpose of tracking net gains in aquatic resource area, restoration is divided into two categories: re-establishment and rehabilitation.

Riffle and pool complex: Riffle and pool complexes are special aquatic sites under the 404(b)(1) Guidelines. Riffle and pool complexes sometimes characterize steep gradient sections of streams. Such stream sections are recognizable by their hydraulic characteristics. The rapid movement of water over a coarse substrate in riffles results in a rough flow, a turbulent surface, and high dissolved oxygen levels in the water. Pools are deeper areas associated with riffles. A slower stream velocity, a streaming flow, a smooth surface, and a finer substrate characterize pools.

Riparian areas: Riparian areas are lands next to streams, lakes, and estuarine-marine shorelines. Riparian areas are transitional between terrestrial and aquatic ecosystems, through which surface and subsurface hydrology connects riverine, lacustrine, estuarine, and marine waters with their adjacent wetlands, non-wetland waters, or uplands. Riparian areas provide a variety of ecological functions and services and help improve or maintain local water quality. (See general condition 23.)

Shellfish seeding: The placement of shellfish seed and/or suitable substrate to increase shellfish production. Shellfish seed consists of immature individual shellfish or individual shellfish attached to shells or shell fragments (i.e., spat on shell). Suitable substrate may consist of shellfish shells, shell fragments, or other appropriate materials placed into waters for shellfish habitat.

Single and complete linear project: A linear project is a project constructed for the purpose of getting people, goods, or services from a point of origin to a terminal point, which often involves multiple crossings of one or more waterbodies at separate and distant locations. The term “single and complete project” is defined as that portion of the total linear project proposed or accomplished by one owner/developer or partnership or other association of owners/developers that includes all crossings of a single water of the United States (i.e., a single waterbody) at a specific location. For linear projects crossing a single or multiple waterbodies several times at separate and distant locations, each crossing is considered a single and complete project for purposes of NWP authorization. However, individual channels in a braided stream or river, or individual arms of a large, irregularly shaped wetland or lake, etc., are not separate waterbodies, and crossings of such features cannot be considered separately.

Single and complete non-linear project: For non-linear projects, the term “single and complete project” is defined at 33 CFR 330.2(i) as the total project proposed or accomplished by one owner/developer or partnership or other association of owners/developers. A single and complete non-linear project must have independent utility (see definition of “independent utility”). Single and complete non-linear projects may not be “piecemealed” to avoid the limits in an NWP authorization.

Stormwater management: Stormwater management is the mechanism for controlling stormwater runoff for the purposes of reducing downstream erosion, water quality degradation, and flooding and mitigating the adverse effects of changes in land use on the aquatic environment.

Stormwater management facilities: Stormwater management facilities are those facilities, including but not limited to, stormwater retention and detention ponds and best management practices, which retain water for a period of time to control runoff and/or improve the quality (i.e., by reducing the concentration of nutrients, sediments, hazardous substances and other pollutants) of stormwater runoff.

Stream bed: The substrate of the stream channel between the ordinary high water marks. The substrate may be bedrock or inorganic particles that range in size from clay to boulders. Wetlands contiguous to the stream bed, but outside of the ordinary high water marks, are not considered part of the stream bed.

Stream channelization: The manipulation of a stream’s course, condition, capacity, or location that causes more than minimal interruption of normal stream processes. A channelized jurisdictional stream remains a water of the United States.

Structure: An object that is arranged in a definite pattern of organization. Examples of structures include, without limitation, any pier, boat dock, boat ramp, wharf, dolphin, weir, boom, breakwater, bulkhead, revetment, riprap, jetty, artificial island, artificial reef, permanent mooring structure, power transmission line, permanently moored floating vessel, piling, aid to navigation, or any other manmade obstacle or obstruction.

Tidal wetland: A tidal wetland is a jurisdictional wetland that is inundated by tidal waters. Tidal waters rise and fall in a predictable and measurable rhythm or cycle due to the gravitational pulls of the moon and sun. Tidal waters end where the rise and fall of the water surface can no longer be practically measured in a predictable rhythm due to masking by other waters, wind, or other effects. Tidal wetlands are located channelward of the high tide line.

Tribal lands: Any lands title to which is either: 1) held in trust by the United States for the benefit of any Indian tribe or individual; or 2) held by any Indian tribe or individual subject to restrictions by the United States against alienation.

Tribal rights: Those rights legally accruing to a tribe or tribes by virtue of inherent sovereign authority, unextinguished aboriginal title, treaty, statute, judicial decisions, executive order or agreement, and that give rise to legally enforceable remedies.

Vegetated shallows: Vegetated shallows are special aquatic sites under the 404(b)(1) Guidelines. They are areas that are permanently inundated and under normal circumstances have rooted aquatic vegetation, such as seagrasses in marine and estuarine systems and a variety of vascular rooted plants in freshwater systems.

Waterbody: For purposes of the NWP, a waterbody is a "water of the United States." If a wetland is adjacent to a waterbody determined to be a water of the United States, that waterbody and any adjacent wetlands are considered together as a single aquatic unit (see 33 CFR 328.4(c)(2)).



DEPARTMENT OF THE ARMY
CORPS OF ENGINEERS, CHARLESTON DISTRICT
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FINAL REGIONAL CONDITIONS FOR THE 2021 NATIONWIDE PERMITS IN CHARLESTON DISTRICT (SAC)

Effective Date for Modified Regional Conditions for 16 NWP: January 19, 2022
Effective Date for Regional Conditions for 41 NWP: February 25, 2022
Expiration Date for Regional Conditions for All NWP: March 14, 2026

This Regional Condition document supersedes all prior Regional Condition documents for the Charleston District.

A. BACKGROUND/APPLICABILITY

1. The following regional conditions have been approved by the Division Engineer for the South Atlantic Division (SAD) for use in the Charleston District (SAC) for the following Nationwide Permits (NWP):
 - a. The NWP published in the January 13, 2021 Federal Register (86 FR 2744) announcing the reissuance of twelve (12) existing NWP (that is, NWP 12, 21, 29, 39, 40, 42, 43, 44, 48, 50, 51, and 52) and issuance of four (4) new NWP (that is, NWP 55, 56, 57, and 58), as well as the reissuance of NWP general conditions and definitions with some modifications. These 16 NWP were effective on March 15, 2021 and will expire on March 14, 2026; and
 - b. The NWP published in the December 27, 2021 Federal Register (86 FR 73522) announcing the reissuance of the remaining unmodified forty (40) existing NWP (that is, NWP 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 13, 14, 15, 16, 17, 18, 19, 20, 22, 23, 24, 25, 27, 28, 30, 31, 32, 33, 34, 35, 36, 37, 38, 41, 45, 46, 49, 53, and 54) and issuance of one (1) new NWP (that is, NWP 59). At this time, NWP 26 and 47 are reserved. These 41 NWP will be effective as of February 25, 2022 and will expire on March 14, 2026.
2. Status of Activities Under Prior NWP and/or Regional Conditions.
 - i. 16 NWP: The modified regional conditions that were issued on January 19, 2022 and are incorporated in this document **supersede** the previous regional conditions that were approved for the 16 NWP that went into effect on March 15, 2021, **except** for the following scenarios:
 1. NWP verification letters for one or more of the 16 NWP that were issued **prior** to January 19, 2022; or

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2. NWP activities that do not require a pre-construction notification (PCN)¹, are covered by one or more of the 16 NWPs, and have either commenced, are under contract to commence, or have been completed **prior** to January 19, 2022.
 - ii. 40 NWPs: For information about whether an activity can continue under the 2017 versions of the 40 existing NWPs (for example, the status of prior permit verifications and pre-construction notifications) and, accordingly, the 2017 Regional Conditions, see the discussion in the Reissuance and Modification of Nationwide Permits at 86 FR 73522 in Section I.D. on page 73525 or contact the Charleston District Regulatory Office directly.
3. The following regional conditions will provide additional protection for the aquatic environment that is necessary to ensure that the NWPs authorize only those activities with no more than minimal adverse environmental effects.
4. As specified, under NWP General Condition 27, Regional and Case-By-Case Conditions: The activity must comply with any regional conditions that may have been added by the Division Engineer (see 33 CFR 330.4(e)) and with any case-specific conditions added by the Corps or by the state, Indian Tribe, or U.S. EPA in its Section 401 Water Quality Certification, or by the state in its Coastal Zone Management Act consistency determination.

B. EXCLUDED WATERS AND/OR AREAS

Not applicable.

C. REGIONAL CONDITIONS APPLICABLE TO ALL NWPs

1. Use of nationwide permits does not preclude requirements to obtain all other applicable Federal, State, county, and local government authorizations.
2. NWP activities are not authorized in areas known or suspected to have sediment contamination, with the exception of the following: (1) activities authorized by NWP 38; (2) activities authorized by NWP 53 when used in combination with NWP 38; (3) sediment sampling for dredging projects authorized by NWP 6; and (4) activities authorized by NWP 20.
3. For all proposed activities, both temporary and permanent, that would be located within a FEMA designated floodway, the prospective permittee must submit a PCN to the District Engineer in accordance with General Condition 32.

¹ The acronym "PCN" used throughout this document refers to *Pre-Construction Notification*, as defined in NWP General Condition 32.

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4. For all NWPs, the prospective permittee must submit a PCN to the District Engineer in accordance with General Conditions 31 and 32, for any activity that would be located in or adjacent to an authorized USACE Civil Works project, including Federal Navigation projects:
 - a. **USACE Civil Works projects:** Buck Creek in Horry County, Eagle Creek in Dorchester County, Kingstree Branch in Williamsburg County, Sawmill Branch in Berkeley and Dorchester Counties, Scotts Creek in Newberry County, Socastee Creek in Horry County and Turkey Creek in Sumter County, Wilson Branch in Chesterfield County, Edisto River in Orangeburg and Dorchester Counties, North Edisto River in Aitken and Orangeburg Counties, Folly Beach in Charleston County, Hunting Island Beach, waste water treatment plant and water line in Beaufort County, Myrtle Beach in Georgetown and Horry County, Pawleys Island Beach in Georgetown County, Edisto Island Beach in Charleston County, Crab Bank in Charleston County, Morris Island Lighthouse in Charleston County, Miller Corner Disposal area Phragmites Control in Georgetown County, Cape Marsh Management area (Santee Coastal Reserve) in Charleston County, Murphy Island in Charleston County, Pocotaligo River and Swamp in Clarendon and Sumter Counties, Pinopolis Dam in Berkeley County, Battery Pringle in Charleston County, Castle Pinckney in Charleston County, Pompion Hill Chapel along the Cooper River in Berkeley County, Drayton Hall in Charleston County, Indian Bluff in Orangeburg County, Singleton Swash at Shore Drive in Horry County, Turkey Creek Bridge at Pineview Drive in Lancaster, Big Dutchman Creek Bridge at West Oak Drive in Rock Hill, SC, Calabash Branch Bridge at Tom Joye Road in Clover, Blue Branch Bridge at Fortanberry Road in Gaffney, Glenn Creek Bridge at Sulphur Springs Road in Spartanburg County, Cow Castle Creek (Bowman) in Orangeburg County, Cowpen Swamp at Simpson Creek in Horry County, Crabtree Swamp in Horry County, Saluda River (North, South, and Middle Fork) in Greenville County, Shot Pouch Creek in Sumter County, Simpson Creek in Horry County, and Todd Swamp in Horry County.
 - b. **Defined Federal Navigation projects:** Ashley River (0.5 miles east of Hwy 7 bridge downstream to the Atlantic Intracoastal Waterway (AIWW)), Atlantic Intracoastal Waterway ((AIWW) GA/SC line to SC/NC line), Brookgreen Garden Canal, Calabash Creek, Charleston Harbor (including the Cooper River, Town Creek, Shem Creek to Coleman Blvd and Mount Pleasant Channel), Folly River, Georgetown Harbor (Winyah Bay, Sampit River and Bypass Channel), Jeremy Creek, Little River Inlet, Murrells Inlet (Main Creek), Port Royal Harbor, Shipyard River, Savannah River (Below Augusta) and Town Creek McClellanville (i.e., Five Fathoms Creek, AIWW to Bulls Bay).
 - c. **Undefined Federal Navigation projects:** Adams Creek, Archers Creek (From intersection with Beaufort River for 2 miles), Edisto River (River mile 0.00 to 175.0), Great Pee Dee River (Waccamaw River via Bull Creek then to

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Smith Mills, then to Cheraw), Lynches River/Clark Creek (Clark Creek to Lynches River, River Mile 0.0 to 56.0), Mingo Creek (to Hemmingway Bridge), Salkehatchie River (5 miles above Toby's Bluff to Hickory Hill, River mile 20.4 to 62.3), Santee River (Closed to navigation at mile 87 (Santee Dam)), Waccamaw River (river mile 0.0 to 90 (state line)), Wateree River (Mouth to Camden), and Village Creek (Morgan River to Porpoise Fish Co., 2.2 miles).

5. For all proposed activities that would be located in or adjacent to an authorized Federal Navigation project, as referenced in Regional Condition C.4.b, the project drawings must include the following information: (1) State Plane Coordinates (NAD 1983) for a minimum of two corners of each structure or fill where it is closest to the Federal channel; (2) the distance from the watermost edge of the proposed structure or fill to the nearest edge of the Federal channel; and (3) Mean Low Water line and the Mean High Water line.
6. For all NWPs requiring a PCN and when the activity involves the discharge of dredged or fill material into waters of the U.S. associated with mechanized land clearing that results in the permanent conversion of forested or scrub-shrub wetlands to herbaceous wetlands, the PCN should include the following information: (1) a written description and/or drawings of the proposed conversion activity and (2) acreage of the permanent conversion.

D. REGIONAL CONDITIONS APPLICABLE TO SPECIFIC NWPs

1. For NWP 3, paragraph (a) activities, the prospective permittee must submit a PCN to the District Engineer in accordance with General Condition #32 for the repair, rehabilitation or replacement of existing utility lines, which include electric lines and/or telecommunication lines, constructed over navigable waters of the United States (i.e., Section 10 waters), and existing utility lines, electric lines, telecommunication lines and/or pipelines routed in or under navigable waters of the United States (i.e., Section 10 waters), even if no discharge of dredged or fill material occurs.
2. For NWP 3, the prospective permittee must submit a PCN to the District Engineer in accordance with General Condition 32, for maintenance activities related to stormwater management that would occur in tidal waters, including tidal wetlands.
3. For NWPs 3, 11, 12, 13, 14, 15, 20, 22, 33, 57, 58, and 59, temporary structures, fills, and/or work, including the use of temporary mats, are authorized for the minimum amount of time necessary to accomplish the work, which shall not exceed a period of 180 days without additional Corps approval. **However, temporary sidecast material authorized by NWPs 12, 57, or 58 cannot ever exceed a period of 180 days.** The temporary structures, fills, and/or work, including the use of temporary mats, shall be removed as soon as the work is

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complete and the disturbed areas be restored to pre-construction contours and conditions. The temporary mats include timber mats, metal, synthetic and/or artificial mats, or other materials that may serve the purpose of mats.

4. For NWPs 3, 11, 12, 13, 14, 15, 20, 22, 33, 57, 58 and 59 that require PCNs and when the activity involves temporary structures, fills, and/or work, including the use of temporary mats, the PCN should include the following information: (1) a written description and/or drawings of the proposed temporary activities that will be used during project construction; (2) the timeframe that the proposed temporary activities will be in place; and (3) specifications of how pre-construction contours will be re-established and verified after construction. Temporary mats include timber mats, metal, synthetic and/or artificial mats, or other materials that may serve the purpose of mats.
5. For NWPs 7, 12, 14, 16, 17, 21, 29, 31, 35, 39, 40, 42, 43, 44, 49, 50, 51, 52, 57 and 58 in accordance with General Condition 22(a) and for NWPs 3, 8, 10, 13, 15, 18, 19, 22, 23, 25, 27, 28, 30, 33, 34, 36, 37, 38 and 54, in accordance with General Condition 22(b), the ACE Basin National Estuarine Research Reserve and the North Inlet Winyah Bay National Estuarine Research Reserve are Designated Critical Resource Waters. Activities described in the NWPs listed herein are subject to the limitations and/or PCN requirements listed in General Condition 22 (a) and (b).
6. For NWPs 7 and 58 activities that involve intake structures, the associated intake structure must be screened to prevent entrainment of juvenile and larval organisms, and the inflow velocity of the associated intake structures cannot exceed 0.5 feet/second.
7. For NWPs 12, 57 and 58 activities that involve horizontal directional drilling beneath navigable waters of the United States (i.e., Section 10 waters), the PCN should include a proposed remediation plan (i.e., frac-out plan).
8. For NWPs 12, 14, 29, 39, 46, 51, 52, 57 and 58 activities that involve crossings, all culverts must be adequately sized to maintain flow. For these activities that require submittal of a PCN, the PCN should include the minimum size of and number of culvert/pipes that are proposed.
9. For NWPs 12, 14, 18, 43, 51, 57 and 58, the prospective permittee must submit a PCN to the District Engineer in accordance with General Condition #32, for activities that involve the loss of greater than 0.005 acre of stream bed.
10. For NWPs 12, 14, 18, 21, 29, 39, 40, 42, 43, 44, 50, 51, 52, 57, 58 and 59, activities that involve the loss of greater than 0.005 acre of stream bed, compensatory mitigation will be required and the PCN should include a compensatory mitigation plan.

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11. For NWPs 12, 14, 18, 21, 27, 29, 39, 40, 42, 43, 44, 50, 51, 52, 57, 58, and 59, the discharge cannot cause the loss of greater than 0.05 acre of stream bed.
12. For NWPs 29 and 39, the discharges of dredged or fill material for the construction of stormwater management facilities in perennial streams are not authorized.
13. For NWP 33, the prospective permittee must submit a PCN to the District Engineer, in accordance with General Condition #32, for temporary construction, access, and dewatering activities that impact greater than 0.1 acre of non-tidal waters of the United States, including wetlands. In addition, the PCN should include a restoration plan.
14. For existing NWP 48 activities that involve changing from bottom culture to floating or suspended culture OR proposed NWP 48 activities that involve floating or suspended culture, the prospective permittee must submit a PCN to the District Engineer in accordance with General Condition #32.
15. For proposed NWP 48 activities involving floating or suspended culture and/or proposed NWPs 55 and 56 activities that will occur adjacent to property that is not owned by the prospective permittee, the PCN should include the following information:
 - a. A map or depiction that shows the adjacent property(ies) and adjacent property owners' contact information. Note: This information may be obtained online from the applicable county's tax information pages.
 - b. A signed letter(s) of "no objection" to the proposed mariculture activity from each of the adjacent property owner(s). Each letter shall include the name, mailing address, property address, property Tax Map Parcel (TMS) number, and signature of the property owner. Or, if the prospective permittee is unable to obtain a letter(s) of "no objection", the Corps will notify the adjacent property owner(s) of the proposed project by letter wherein the adjacent property owner will be given 15 days to provide comments.
16. For NWP 53, the PCN should include a Tier I evaluation, in accordance with the Inland Testing Manual, for the project area immediately upstream of the low-head dam. If the Tier I evaluation indicates contaminated sediments are present, a Tier II evaluation may be required.
17. The prospective permittee is advised of the following for activities under any NWP for which (1) the 401 Water Quality Certifications (WQC) were denied (see F.1.a), and/or (2) activities under the NWP were found to be inconsistent with the S.C. Coastal Zone Management Program and, therefore, concurrence with the Coastal Zone Consistency determination was denied (see F.2.a), and/or (3) the

2021-2022 NWP REGIONAL CONDITIONS FOR CHARLESTON DISTRICT (SAC)

proposed activity is located in one of the “Critical Areas” of the Coastal Zone (see F.3):

- a. For NWPs 12, 14, 16, 17, 21, 23, 29, 34, 39, 44, 46, 49, 50, 54, 57, 58 and 59 where WQC was denied, the prospective permittee should provide to the Corps a copy of the Individual WQC or evidence demonstrating a waiver was granted.
- b. For NWPs 12, 14, 16, 17, 21, 23, 24, 29, 34, 35, 39, 42, 44, 46, 49, 50, 51, 55, 56, 57, 58 and 59 where concurrence with the Coastal Zone Consistency was denied, the prospective permittee should provide to the Corps a copy of the Individual CZC Concurrence or presumed concurrence for the proposed activity.
- c. For all NWPs in any of the “Critical Areas” of the Coastal Zone, an Individual Critical Area permit is required (see F.3). Therefore, the prospective permittee should provide a copy of the Individual Critical Area permit to the Corps for the proposed activity.

Note: For WQC conditions on activities under NWPs 43, 51, and 52, see F.1.b. For Coastal Zone Consistency conditions on activities under NWPs 43 and 52, see F.2.b.

18. For NWPs 12, 57 and 58, the prospective permittee must submit a PCN to the District Engineer in accordance with General Condition 32 if the activity involves the discharge of dredged or fill material into waters of the U.S. associated with mechanized land clearing that results in the permanent conversion of forested or scrub-shrub wetlands to herbaceous wetlands for a maintained right-of-way.

E. ACTIVITY SPECIFIC REGIONAL CONDITIONS

Not applicable.

F. SECTION 401 WATER QUALITY CERTIFICATION (WQC) AND/OR COASTAL ZONE MANAGEMENT ACT (CZMA) CONSISTENCY DETERMINATION SUMMARY AND APPLICABLE CONDITIONS

1. Water Quality Certification (WQC)

a. WQC Denied

The Water Quality Certifications (WQC) for the following NWPs are denied; therefore, an Individual WQC, or evidence demonstrating a waiver was granted, from the South Carolina Department of Health and Environmental Control (SCDHEC) will be required for authorization under these NWPs:

2021-2022 NWP REGIONAL CONDITIONS FOR CHARLESTON DISTRICT (SAC)

NWPs 12, 14, 16, 17, 21, 23, 29, 34, 39, 44, 46, 49, 50, 54, 57, 58 and 59.

b. **WQC Granted With Conditions**

The following WQC Conditions, as stated in the SCDHEC's Notice of Department Decision dated November 25, 2020, are also considered 2021 NWP Regional Conditions:

- i. For NWP 43, "Activities authorized by this certification are limited to maintenance of existing facilities, such as stormwater ponds, detention and retention basins, water control structures, outfall structures, emergency spillways, and existing ponds, that are proposed for use as water quantity or volume control. This NWP cannot be used for existing ponds that are proposed to be converted into water quality treatment facilities, such as sediment basins, sediment traps, or other similar structures."
- ii. For NWP 51, "This NWP is not certified for activities that cause the loss of more than 300 linear feet of stream bed."
- iii. For NWP 52, "This NWP is not certified for activities that cause the loss of more than 300 linear feet of stream bed."

c. **WQC Granted Without Conditions**

The WQCs for NWPs 3, 4, 5, 6, 7, 13, 15, 18, 19, 20, 22, 25, 27, 30, 31, 32, 33, 36, 37, 38, 40, 41, 42, 45, 48 and 53 were granted without conditions.

d. **No WQC Required**

NWPs 1, 2, 8, 9, 10, 11, 24, 28, 35, 55 and 56 do not require WQCs.

2. **Coastal Zone Consistency (CZC)**

a. **CZC Concurrence Denied**

The following NWPs were found to be inconsistent with the S.C. Coastal Zone Management Program; thus, the CZC concurrence is denied and an Individual CZC concurrence, or presumed concurrence for the proposed activity, will be required for these NWPs:

NWPs 12, 14, 16, 17, 21, 23, 24, 29, 34, 35, 39, 42, 44, 46, 49, 50, 51, 54, 55, 56, 57, 58 and 59.

b. **CZC Concurrence Granted With Conditions**

2021-2022 NWP REGIONAL CONDITIONS FOR CHARLESTON DISTRICT (SAC)

The following CZC Conditions, as stated in the SCDHEC's Notice of Department Decision dated November 25, 2020, are also considered 2021 NWP Regional Conditions:

- i. For NWP 43, "Activities authorized by this certification are limited to maintenance of existing facilities, such as stormwater ponds, detention and retention basins, water control structures, outfall structures, emergency spillways, and existing ponds that are proposed for use as water quantity or volume control. This NWP cannot be used for existing ponds that are proposed to be converted into water quality treatment facilities such as sediment basins, sediment traps, or other similar structures."
- ii. For NWP 52, "This NWP is not certified for activities that cause the loss of more than 300 linear feet of stream bed."

c. **CZC Concurrence Granted Without Conditions**

The CZCs for NWPs 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 13, 15, 18, 19, 20, 22, 25, 27, 28, 30, 31, 32, 33, 36, 37, 38, 40, 41, 45, 48 and 53 were granted without conditions.

d. **No CZC required**

Not applicable.

3. **Coastal Zone Consistency (CZC) General Condition**

The following CZC General Condition, as stated in the SCDHEC 401/CZC Letter dated December 14, 2020, is considered a 2021 NWP Regional Condition:

For all NWPs, "Activities in the Critical Areas (as defined in 48-39-10, R 30.1(D) and R 30.10) require a direct permit from SCDHEC OCRM. SCDHEC OCRM's action on direct critical areas permits will serve as the consistency determination for the critical area activity."

G. **DISTRICT POINT OF CONTACT**

Tracy D. Sanders
USACE- Charleston District
69A Hagood Avenue
Charleston, South Carolina 29403
843-329-8044
Tracy.d.sanders@usace.army.mil
SAC.RD.Charleston@usace.army.mil



SC DEPARTMENT of
**ENVIRONMENTAL
SERVICES**

September 30, 2024

Distant Island Community Association
311 Carteret Street
Beaufort, SC 29902

9489 0090 0027 6188 0386 02

Re: OCRM05450

Dear Distant Island Community Association:

The Bureau of Coastal Management (the Department) has reviewed your application to construct a community bulkhead on Distant Island, Beaufort, Beaufort County, South Carolina and has issued a permit for this work. You should carefully read the description of the authorized project and special conditions that have been placed on the permit, as these conditions may modify the permitted activity. In addition, there are a series of general conditions that should be reviewed. The original and one photocopy of the permit, as issued, are enclosed. After carefully reading the permit, if you wish to accept the permit as issued, sign and date in the signature block entitled "PERMITTEE" on the original version of the permit and **return it to this Department. Keep the photocopy for your records.**

PLEASE READ CAREFULLY: You are required to sign and return the original version of your permit to this Department within thirty (30) days. S.C. Code Ann. § 48-6-30(D)(2) provides, "Within thirty calendar days after the mailing of a decision [pursuant to S.C. Code Ann. § 48-6-30(D)(1)], an applicant, permittee, licensee, certificate holder, or affected person desiring to contest the department decision may request a contested case hearing before the Administrative Law Court, in accordance with the Administrative Procedures Act."

In order to request a construction placard, please submit a critical area placard request through ePermitting. You must send in this request before the time you wish to start construction. At that time a construction placard will be sent to you to post at the construction site.

PLEASE NOTE: You are not authorized to commence work under the permit until we have received the original version of the entire permit signed and accepted by you, and a construction placard has been issued and posted at the construction site. The receipt of this permit does not relieve you of the responsibility of acquiring any other federal, state, or local permits that may be required. Please return the signed permit to the following address:

Bureau of Coastal Management
104 Parker Drive
Beaufort, SC 29906

Sincerely,

Sophia Valiulis
Project Manager
Critical Area Permitting Section

Enclosure

cc: Mr. Blair Williams, Critical Area Permitting Section Manager

SCANNED
CLIENT # 2114

**SOUTH CAROLINA DEPARTMENT OF ENVIRONMENTAL SERVICES
BUREAU OF COASTAL MANAGEMENT**

CRITICAL AREA PERMIT & COASTAL ZONE CONSISTENCY CERTIFICATION

Permittee(s): Distant Island Community Association

Permit Number(s): OCRM05450

Date of Issuance: September 30, 2024

Expiration Date: September 30, 2029

**SEE SPECIAL
CONDITION(S)**

Location: On and adjacent to Distant Island Creek on lots 82, 84, 86, 88, 90, 92, 94, 98, 100, 102, 106, and 6 community owned easement lots on Distant Island, Beaufort Beaufort County, South Carolina ((TMS#: R123 018 000 076B 0000 (5 community easements); R123 018 000 0666 0000 (community boat landing easement); R123 018 000 0650 0000 (lot 82); R123 018 000 0563 0000 (lot 84); R123 018 000 0637 0000 (lot 86); R123 018 000 0581 0000 (lot 88); R123 018 000 0638 0000 (lot 90); R123 018 000 0651 0000 (lot 92); R123 018 000 0639 0000 (lot 94); R123 018 000 0653 0000 (lot 98); R123 018 000 0592 0000 (lot 100); R123 018 000 0640 0000 (lot 102); R123 018 000 0533 0000 (lot 106))

This permit is issued under the provisions of S. C. Code Ann. Section 48-39-10, et seq., and 23A S.C. Code Ann. Regs. 30-1 through 30-18, *as amended*. **Please carefully read the project description and special conditions that appear on this permit/certification as they will affect the work that is allowed and may modify the work from that shown on the submitted plans. All special conditions attached to the permit will take precedent over submitted plans.** The general conditions are also a part of this permit/certification and should be read in their entirety. The S. C. Contractor's Licensing Act of 1999, enacted as S.C. Code Ann. Section 40-11-5 through 430, requires that all construction with a total cost of \$5,000 or more be performed by a licensed contractor with a valid contractor's license for marine class construction, except for construction performed by a private landowner for strictly private purposes. Your signature on and acceptance of this permit denotes your understanding of the stated law regarding use of licensed contractors. **All listed special and general conditions will remain in effect for the life of the permit. This applies to permittee, future property owners, or permit assignees.**

DESCRIPTION OF THE PROJECT

As Proposed: Install approximately 1565 LF bulkhead and seven (7) tree wells along Distant Island Creek for the purpose of shoreline Stabilization.

As Authorized: To replace the existing bulkhead and install a new bulkhead at the following properties on Distant Island: lots 82, 84, 86, 88, 90, 92, 94, 98, 100, 102, 106, and 6 community owned easement lots. Specifically, to install a total of 1565 linear feet of bulkhead, 8' - 15' high, no further than 18" from the critical area line verified on August 1st, 2024. 7 tree wells are authorized along the bulkhead with varying distances seaward from the critical area line, as shown in the attached drawings. The purpose of the project is for erosion control for the Distant Island Community.

SPECIAL CONDITIONS

1. The proposed bulkhead is no further than 18" from the critical area line verified on 08/01/2024, aside from the 7 proposed tree wells, as shown in the revised drawings submitted on 08/22/2024.
2. All scrap treated wood and other debris is removed from the area prior to filling, and only clean fill dirt or sand is used as backfill. The earthen banks adjacent to the bulkhead must be stabilized with a vegetative cover as soon as possible after construction to minimize erosion.

SEE SPECIAL CONDITION(S)

3. Any disturbed critical area adjacent to the construction site must be restored to original contours and conditions upon project completion.
4. Once the project is initiated, it must be carried to completion in an expeditious manner in order to minimize the period of disturbance to the environment.
5. The bulkhead should be located in a manner so as to minimize disturbance to shellfish resources or in an area void of shellfish resources. If this requires the relocation of this structure, notification to DES-BCM is required and written approval for the relocation must be received from DES-BCM prior to construction.
6. An as-built survey of the entire erosion control structure must be submitted to the Department within 90 days of the expiration date of the final construction placard. The survey must be performed by a registered land surveyor, must show all components of the structure, and must list the starting and ending coordinates of the structure in the SC State Plane Coordinate System, which can be obtained by survey-grade Global Positioning System equipment.
7. In the event that any historic or cultural resources and/or archaeological materials are found during the course of work, the applicant must notify the State Historic Preservation Office and the South Carolina Institute of Archaeology and Anthropology. Historic or cultural resources consist of those sites listed in the National Register of Historic Places and those sites that are eligible for the National Register. Archaeological materials consist of any items, fifty years old or older, which were made or used by man. These items include, but are not limited to, stone projectile points (arrowheads), ceramic sherds, bricks, worked wood, bone and stone, metal and glass objects, and human skeletal materials.

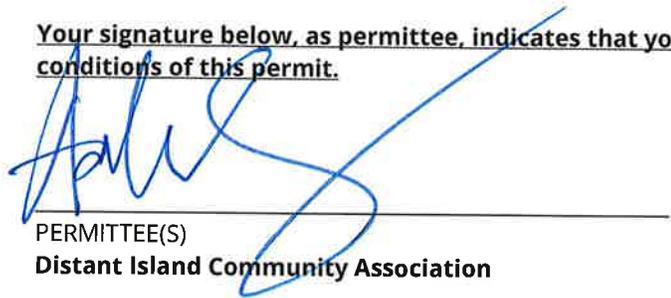
SEE SPECIAL CONDITION(S)

PERMITTEE'S ATTENTION IS DIRECTED TO GENERAL CONDITIONS NUMBERS FOUR (4) AND FIVE (5). BY ACCEPTANCE OF THIS PERMIT, PERMITTEE IS PLACED ON NOTICE THAT THE STATE OF SOUTH CAROLINA, BY ISSUING THIS PERMIT, DOES NOT WAIVE ITS RIGHTS TO REQUIRE PAYMENT OF A REASONABLE FEE FOR USE OF STATE LANDS AT A FUTURE DATE IF SO DIRECTED BY STATUTE.

THE PERMITTEE, BY ACCEPTANCE OF THIS PERMIT AGREES TO ABIDE BY THE TERMS AND CONDITIONS CONTAINED HEREIN AND TO PERFORM THE WORK IN STRICT ACCORDANCE WITH THE PLANS AND SPECIFICATIONS ATTACHED HERETO AND MADE A PART HEREOF. ANY DEVIATION FROM THESE CONDITIONS, TERMS, PLANS AND SPECIFICATIONS SHALL BE GROUNDS FOR REVOCATION, SUSPENSION OR MODIFICATION OF THIS PERMIT AND THE INSTITUTION OF SUCH LEGAL PROCEEDINGS AS THE DEPARTMENT MAY CONSIDER APPROPRIATE.

Permit Number: **OCRM05450**

Your signature below, as permittee, indicates that you accept and agree to comply with the terms and conditions of this permit.


PERMITTEE(S)
Distant Island Community Association

10-14-24
DATE

This permit becomes effective when the State official, designated to act for the Bureau of Coastal Management, has signed below.


CRITICAL AREA PERMITTING PROJECT MANAGER
Sophia Valiulis
Or Other Authorized State Official

09/30/2024
DATE

SEE SPECIAL CONDITION(S)

GENERAL CONDITIONS:

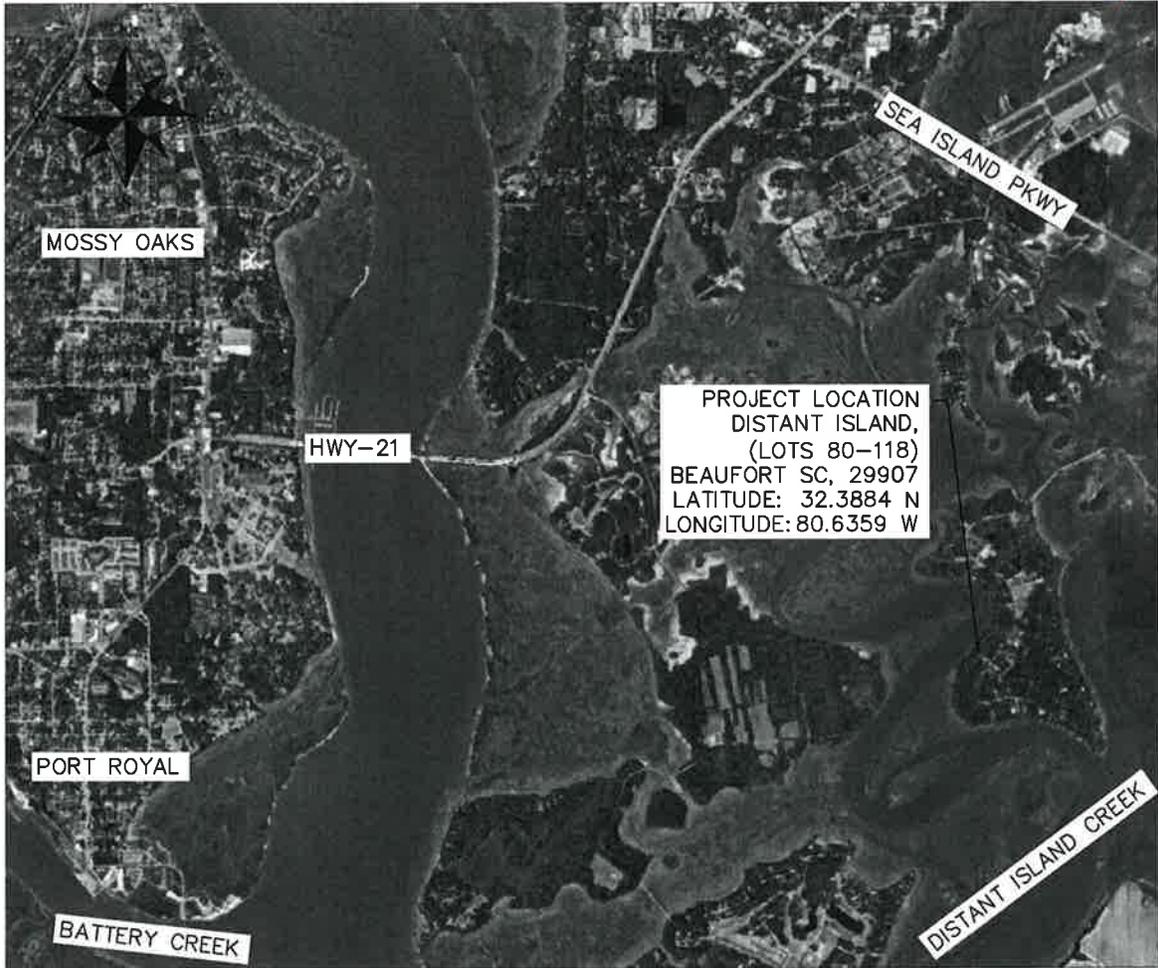
This construction and use permit is expressly contingent upon the following conditions which are binding on the permittee:

1. The permittee, in accepting this permit, covenants and agrees to comply with and abide by the provisions and conditions herein and assumes all responsibility and liability and agrees to save the Department and the State of South Carolina, its employees or representatives, harmless from all claims of damage arising out of operations conducted pursuant to this permit.
2. If the activity authorized herein is not constructed or completed within five years of the date of issuance, this permit shall automatically expire. A request, in writing, for an extension of time shall be made not less than thirty days prior to the expiration date.
3. All authorized work shall be conducted in a manner that minimizes any adverse impact on fish, wildlife and water quality.
4. This permit does not relieve the permittee from the requirements of obtaining a permit from the U. S. Army Corps of Engineers or any other applicable federal agency, nor from the necessity of complying with all applicable local laws, ordinances, and zoning regulations. This permit is granted subject to the rights of the State of South Carolina in the navigable waters and shall be subject, further, to all rights held by the State of South Carolina under the public trust doctrine as well as any other right the State may have in the waters and submerged lands of the coast.
5. This permit does not convey, expressly or impliedly, any property rights in real estate or material nor any exclusive privileges; nor does it authorize the permittee to alienate, diminish, infringe upon or otherwise restrict the property rights of any other person or the public; nor shall this permit be interpreted as appropriating public properties for private use.
6. The permittee shall permit the Department or its authorized agents or representatives to make periodic inspections at any time deemed necessary to ensure that the activity being performed is in accordance with the terms and conditions of this permit.
7. Any abandonment of the permitted activity will require restoration of the area to a satisfactory condition as determined by the Department
8. This permit may not be transferred to a third party without prior written notice to the Department, either by the transferee's written agreement to comply with all terms and conditions of this permit or by the transferee subscribing to this permit and thereby agreeing to comply.
9. If the display of lights and signals on any structure or work authorized herein is not otherwise provided for by law, such lights and special signals as may be prescribed by the United States Coast Guard shall be installed and maintained by and at the expense of the permittee.
10. The permit construction placard or a copy of the placard shall be posted in a conspicuous place at the project site during the entire period of work.
11. The structure or work authorized herein shall be in accordance with the permit, as issued, and shall be maintained in good condition. Failure to build in accordance with the permit, as issued, or failure to maintain the structure in good condition, shall result in the revocation of this permit.

SEE SPECIAL CONDITION(S)

12. The authorization for activities or structures herein constitutes a revocable license. The Department may require the permittee to modify activities or remove structures authorized herein if it is determined by the Department that such activity or structures violates the public's health, safety, or welfare, or if any activity is inconsistent with the public trust doctrine. Modification or removal under this condition shall be ordered only after reasonable notice stating the reasons therefore and provision to the permittee of the opportunity to respond in writing. When the Permittee is notified that the Department intends to revoke the permit, Permittee agrees to immediately stop work pending resolution of the revocation.
13. The Department shall have the right to revoke, suspend, or modify this permit in the event it is determined the permitted structure (1) significantly impacts the public health, safety and welfare, and/or is violation of Section 48-39-150, (2) adversely impacts public rights, (3) that the information and data which the permittee or any other agencies have provided in connection with the permit application is either false, incomplete or inaccurate, or (4) that the activity is in violation of the terms and/or conditions, including any special conditions of the permit. That the permittee, upon receipt of the Department's written intent to revoke, suspend, or modify the permit has the right to a hearing. Prior to revocation, suspension, or modification of this permit, the Department shall provide written notification of intent to revoke to the permittee, and permittee can respond with a written explanation to the Department. (South Carolina Code Section 1-23-370 shall govern the procedure for revocation, suspension or modification herein described).
14. Any modification, suspension or revocation of this permit shall not be the basis of any claim for damages against the Department or the State of South Carolina or any employee, agent, or representative of the Department or the State of South Carolina.
15. All activities authorized herein shall be, if they involve a discharge or deposit into navigable waters or ocean waters, at all times consistent with all applicable water quality standards, effluent limitations, and standards of performance, prohibitions, and pretreatment standards established pursuant to applicable federal, state and local laws.
16. Extreme care shall be exercised to prevent any adverse or undesirable effects from this work on the property of others. This permit authorizes no invasion of adjacent private property, and the Department assumes no responsibility or liability from any claims of damage arising out of any operations conducted by the permittee pursuant to this permit.

**SEE SPECIAL
CONDITION(S)**



- DIRECTIONS TO SITE FROM CHARLESTON:
- TAKE CALHOUN ST TO SC-30 W
 - TAKE SC-61 N TO HWY 17 S
 - CONTINUE ON HWY 17 S TO BEAUFORT COUNTY
 - TAKE EXIT TO HWY 21 S AND CONTINUE SOUTH
 - TAKE RIGHT ONTO CHOWAN CRK BLF
 - TAKE RIGHT ONTO DISTANT ISLAND DR



PROJECT VICINITY
SCALE: 1" = 6000'

<p>PURPOSE: SHORELINE STABILIZATION</p> <p>ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16</p>	<p>FIGURE 1 VICINITY MAP 1" = 6000'</p> <p>APPLICANT DISTANT ISLAND COMM. ASSOC., INC. AGENT McSWEENEY ENGINEERS, LLC</p>	<p>PROPOSED: BULKHEAD WATERWAY: DISTANT ISLAND CREEK</p> <p>IN: BEAUFORT COUNTY OF: BEAUFORT, SC REVISION NO: 2 SHEET: 1 OF 16 DATE: 8/22/2024</p>
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**SEE SPECIAL
CONDITION(S)**

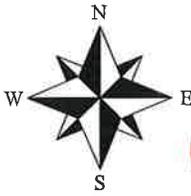


- DIRECTIONS TO SITE FROM CHARLESTON:
- TAKE CALHOUN ST TO SC-30 W
 - TAKE SC-61 N TO HWY 17 S
 - CONTINUE ON HWY 17 S TO BEAUFORT COUNTY
 - TAKE EXIT TO HWY 21 S AND CONTINUE SOUTH
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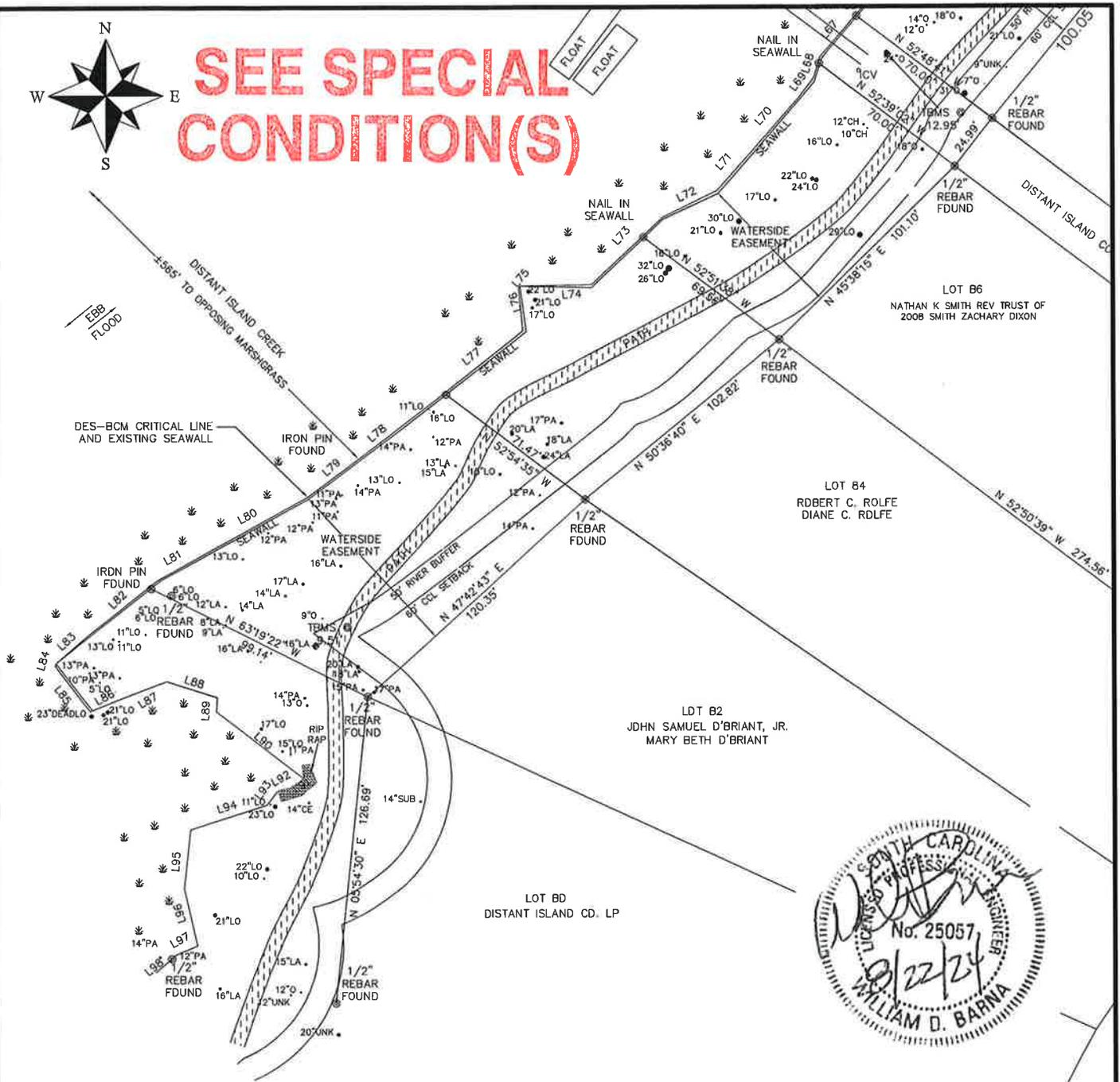


PROJECT LOCATION
SCALE: 1" = 4000'

<p>PURPOSE: SHORELINE STABILIZATION</p>	<p>FIGURE 2 LOCATION MAP 1"=4000'</p>  <p>APPLICANT DISTANT ISLAND COMM. ASSOC., INC. AGENT McSWEENEY ENGINEERS, LLC</p>	<p>PROPOSED: BULKHEAD WATERWAY: DISTANT ISLAND CREEK IN: BEAUFORT COUNTY OF: BEAUFORT, SC REVISION NO: 2 SHEET: 2 OF 16 DATE: 8/22/2024</p>
<p>ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16</p>		



**SEE SPECIAL
CONDITION(S)**



EXISTING SITE PLAN—LOTS 80–86
SCALE: 1:60

NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.

PURPOSE: SHORELINE STABILIZATION

ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16

FIGURE 3
EXISTING SITE PLAN LOTS 80–86



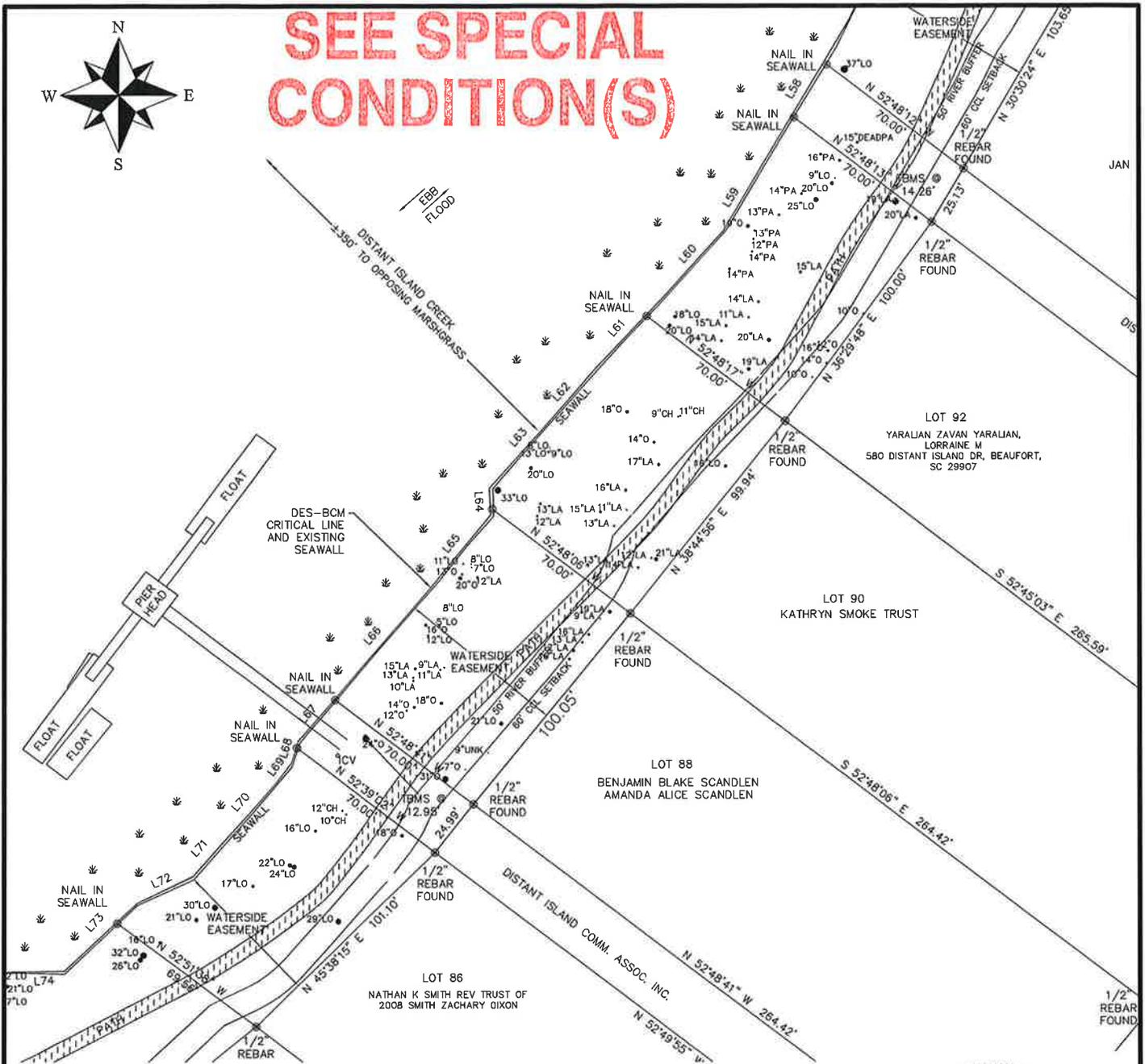
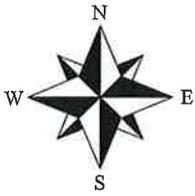
APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

REVISION NO: 2
SHEET: 3 OF 16 **DATE:** 8/22/2024

**SEE SPECIAL
CONDITION(S)**



**EXISTING SITE PLAN—LOTS 88–92
AND COMMUNITY ACCESS LOTS**

SCALE: 1:60



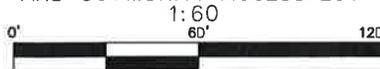
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ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.

PURPOSE: SHORELINE STABILIZATION

ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16

FIGURE 4
EXISTING SITE PLAN LOTS 88–92
AND COMMUNITY ACCESS LOT



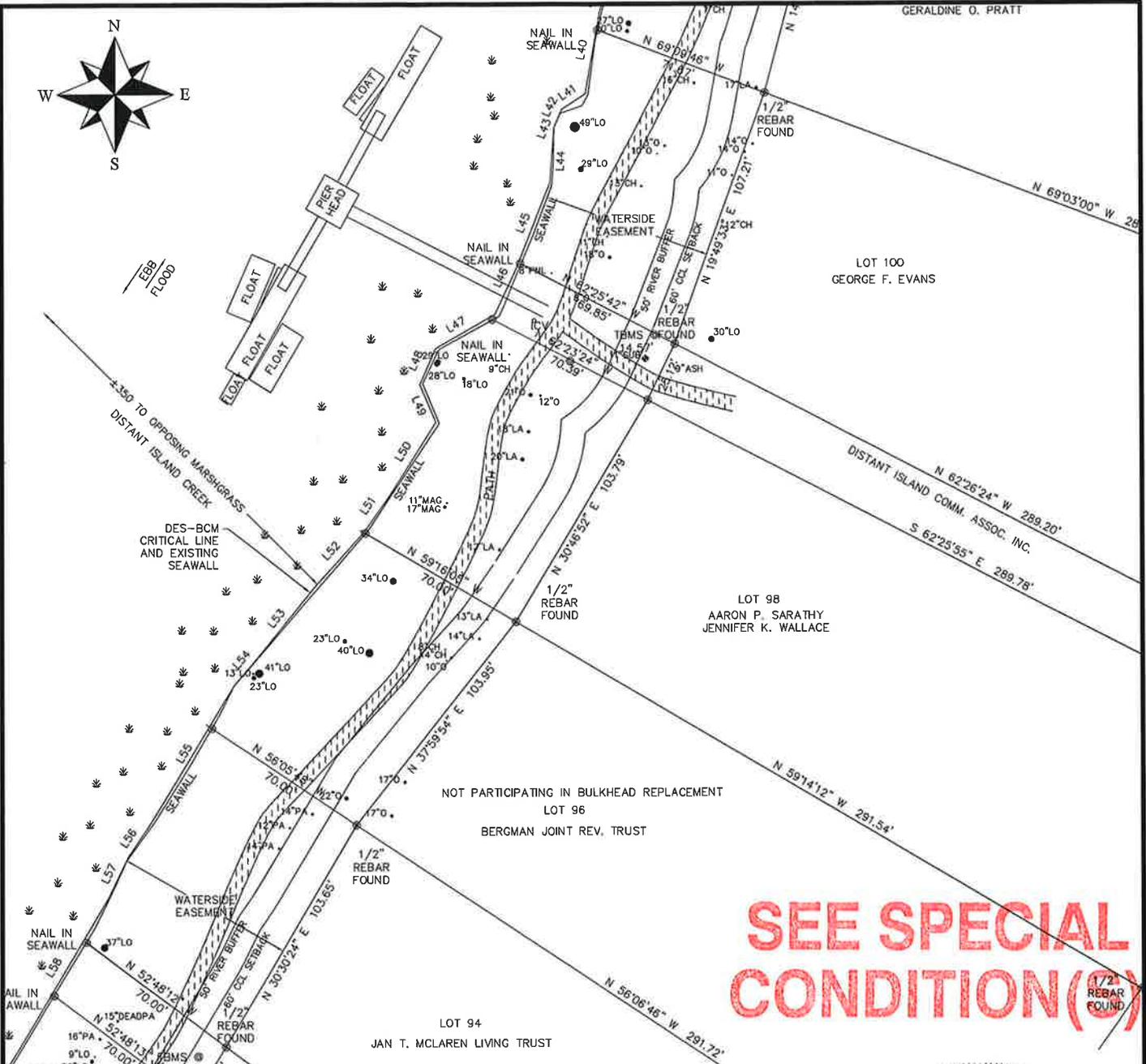
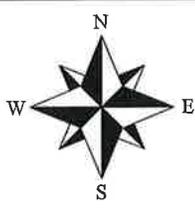
APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

REVISION NO: 2
SHEET: 4 OF 16 **DATE:** 8/22/2024

GERALDINE O. PRATT



SEE SPECIAL CONDITION (9)

EXISTING SITE PLAN—LOTS 94, 98 & 100 AND COMMUNITY ACCESS LOT

SCALE: 1:60



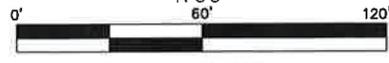
NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.

PURPOSE: SHORELINE STABILIZATION

ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16

FIGURE 5
EXISTING SITE PLAN LOTS 94, 98 & 100 AND COMMUNITY ACCESS LOT
1:60



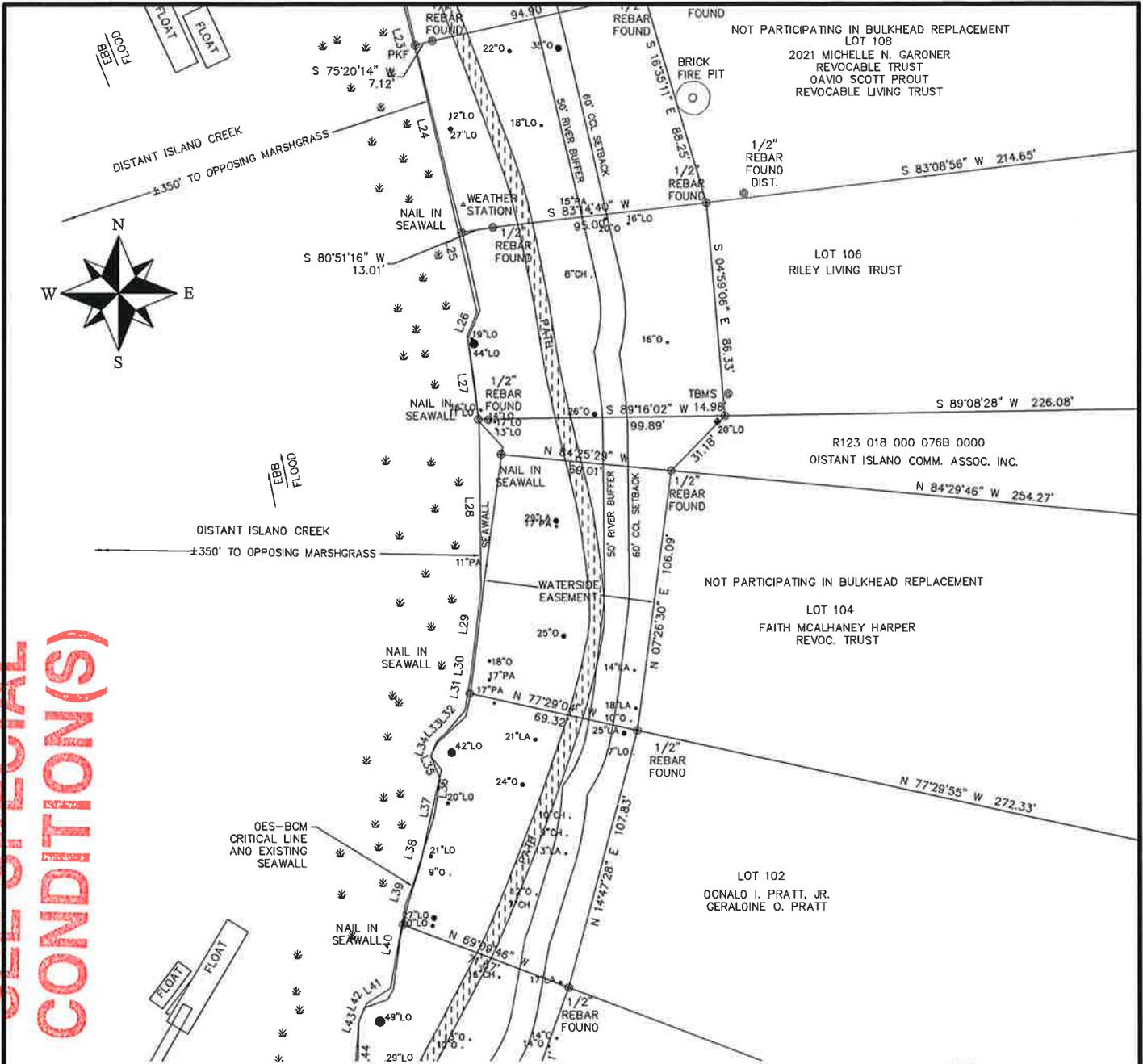
APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

REVISION NO: 2
SHEET: 5 OF 16 **DATE:** 8/22/2024

SEE SPECIAL
CONDITION(S)



EXISTING SITE PLAN—LOTS 102 & 106
AND COMMUNITY ACCESS LOT

SCALE: 1:60



NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.

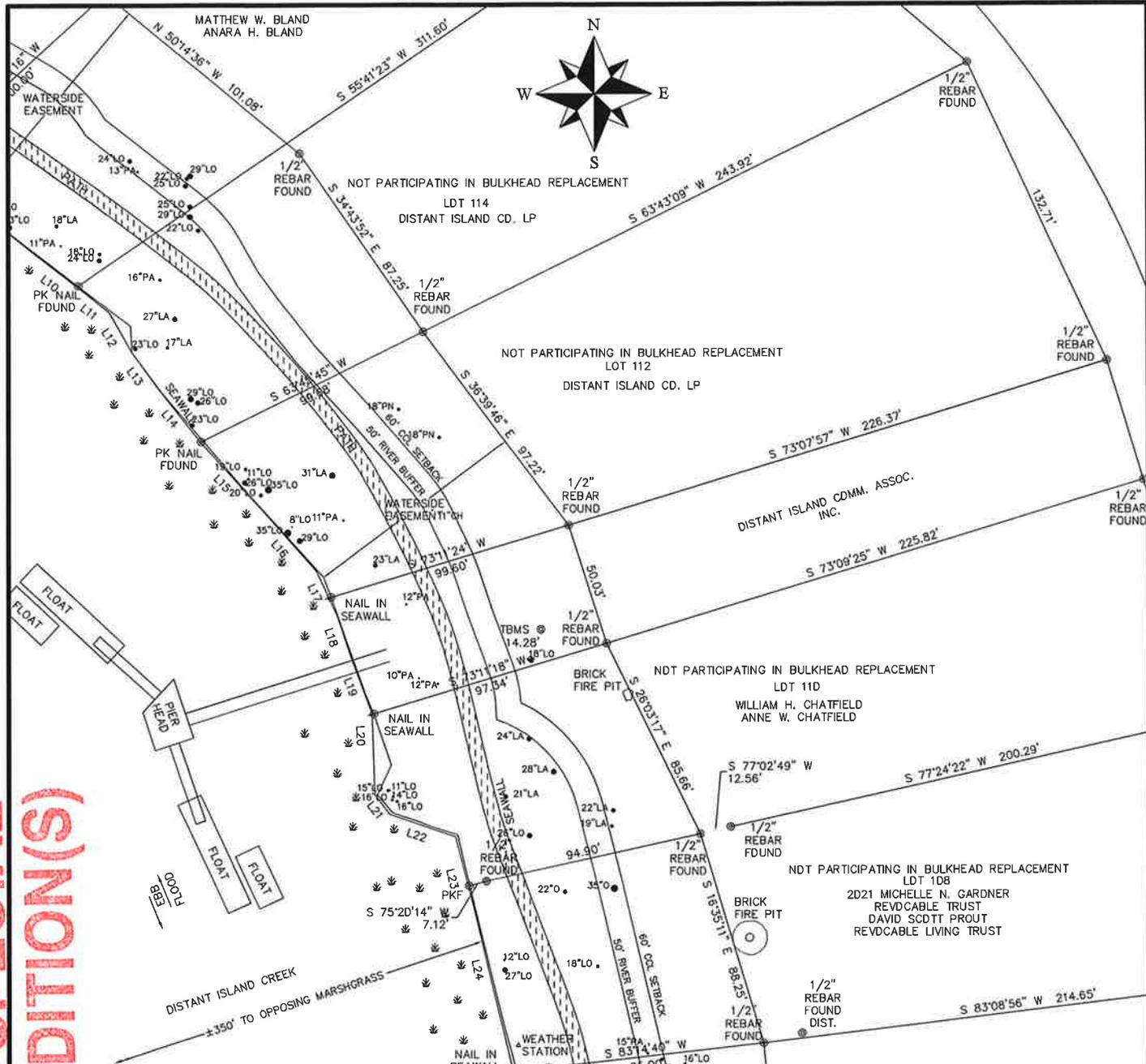
PURPOSE: SHORELINE STABILIZATION
ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16

FIGURE 6
EXISTING SITE PLAN LOTS 100 & 102 AND COMMUNITY ACCESS LOT
1:60

APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

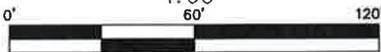
PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK
IN: BEAUFORT
COUNTY OF: BEAUFORT, SC
REVISION NO: 2
SHEET: 6 OF 16 **DATE:** 8/22/2024

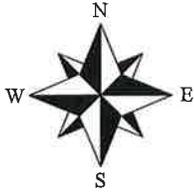
SEE SPECIAL CONDITIONS(S)



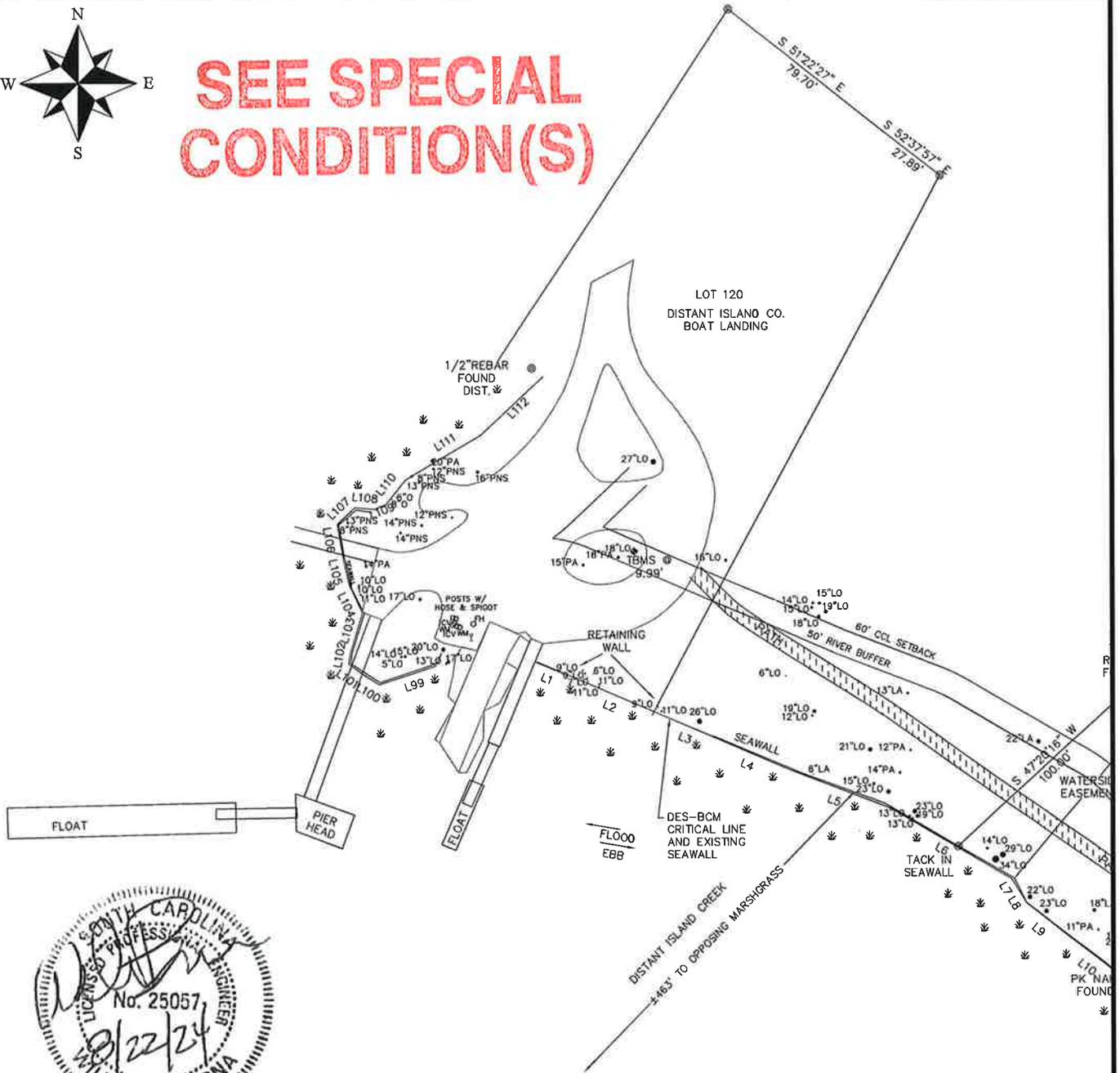
**EXISTING SITE PLAN
COMMUNITY ACCESS LOT**
SCALE: 1:60



<p>NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.</p>	<p>ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.</p>	
<p>PURPOSE: SHORELINE STABILIZATION</p> <p>ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16</p>	<p align="center">FIGURE 7 EXISTING SITE PLAN COMMUNITY ACCESS LOT 1:60</p>  <p align="center">APPLICANT DISTANT ISLAND COMM. ASSOC., INC. AGENT McSWEENEY ENGINEERS, LLC</p>	<p>PROPOSED: BULKHEAD WATERWAY: DISTANT ISLAND CREEK</p> <p>IN: BEAUFORT COUNTY OF: BEAUFORT, SC REVISION NO: 2 SHEET: 7 OF 16 DATE: 8/22/2024</p>



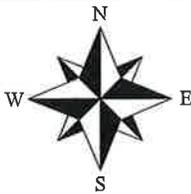
**SEE SPECIAL
CONDITION(S)**



**EXISTING SITE PLAN
BOAT LANDING**

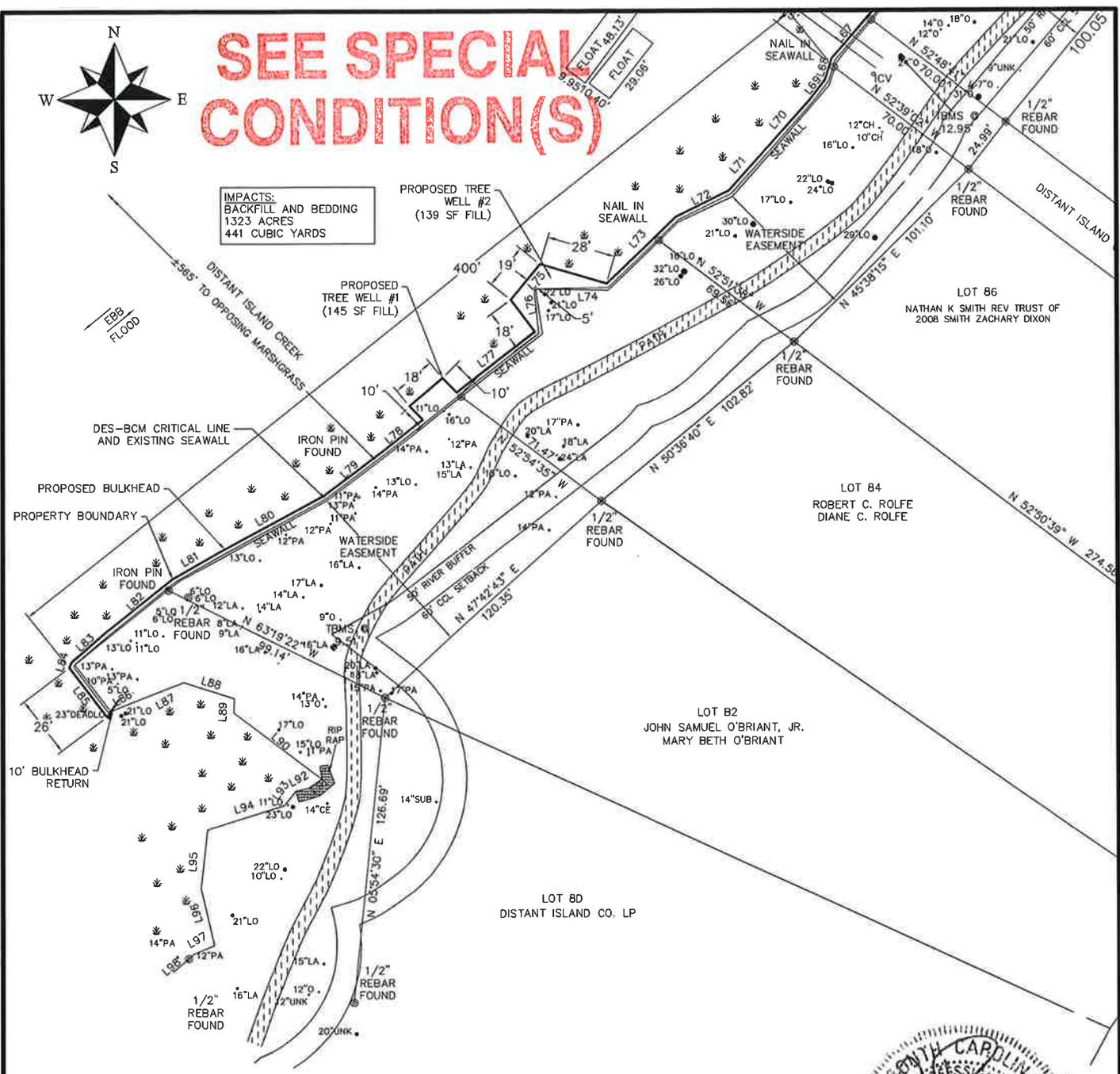
SCALE: 1:60

<p>NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.</p>	<p>ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.</p>	
<p>PURPOSE: SHORELINE STABILIZATION</p> <p>ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16</p>	<p>FIGURE 8 EXISTING SITE PLAN— BOAT LANDING</p> <p>1:60 0' 60' 120'</p> <p>APPLICANT DISTANT ISLAND COMM. ASSOC., INC.</p> <p>AGENT McSWEENEY ENGINEERS, LLC</p>	<p>PROPOSED: BULKHEAD WATERWAY: DISTANT ISLAND CREEK</p> <p>IN: BEAUFORT COUNTY OF: BEAUFORT, SC</p> <p>REVISION NO: 2 SHEET: 8 OF 16 DATE: 8/22/2024</p>



**SEE SPECIAL
CONDITION(S)**

IMPACTS:
BACKFILL AND BEDDING
1.323 ACRES
441 CUBIC YARDS



PROPOSED SITE PLAN—LOTS 80–86

SCALE: 1:60



NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

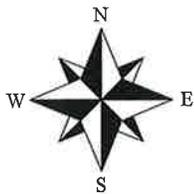
ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.

PURPOSE:
ADJACENT PROPERTY OWNERS:

FIGURE 9
PROPOSED SITE PLAN LOTS 80–86
1:60

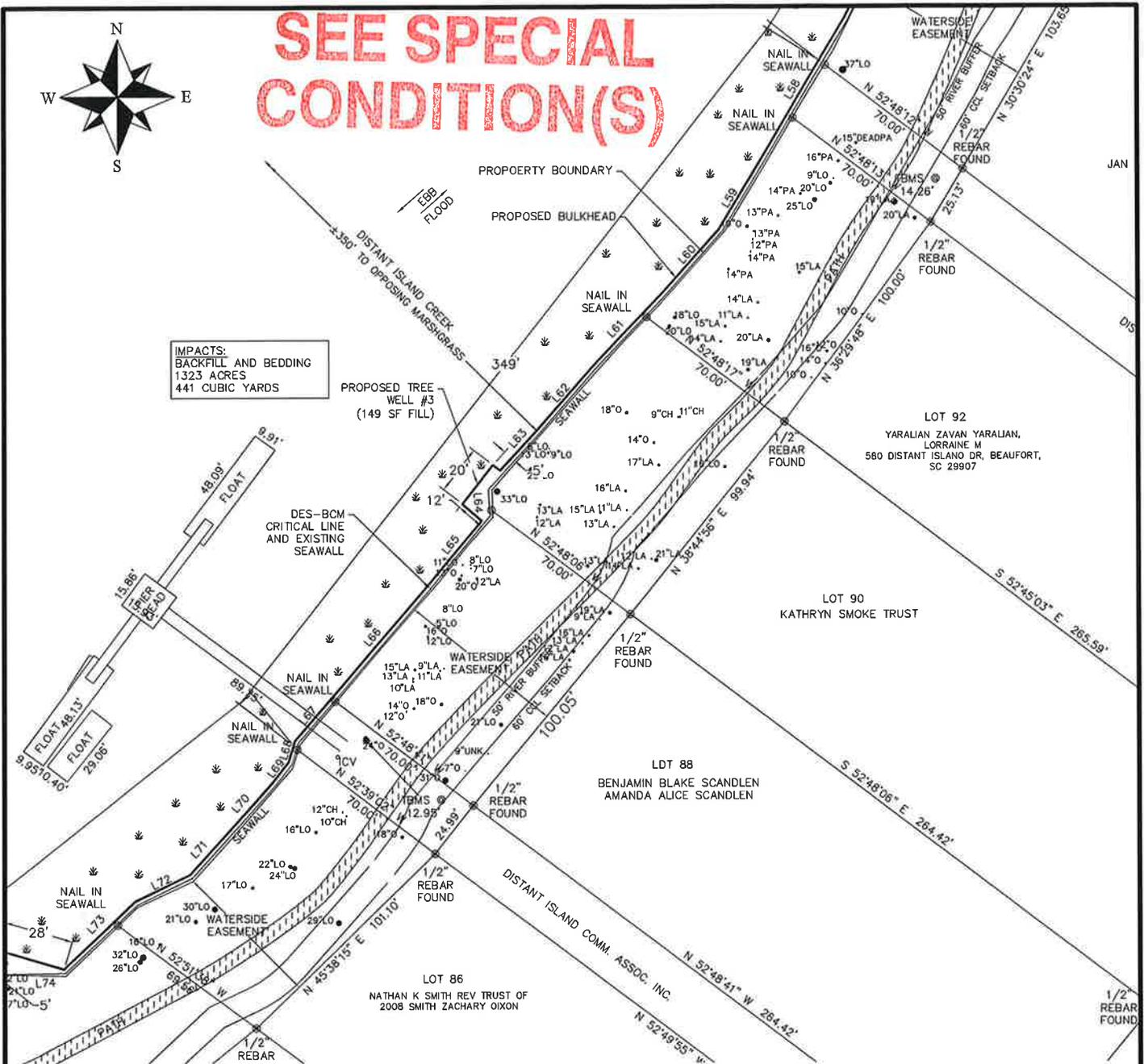
APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK
IN: BEAUFORT
COUNTY OF: BEAUFORT, SC
REVISION NO: 2
SHEET: 9 OF 16 **DATE:** 8/22/2024



**SEE SPECIAL
CONDITION(S)**

IMPACTS:
BACKFILL AND BEDDING
1323 ACRES
441 CUBIC YARDS



**PROPOSED SITE PLAN—LOTS 88–92
AND COMMUNITY ACCESS LOTS**

SCALE: 1:60



NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.

PURPOSE: SHORELINE STABILIZATION

ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16

FIGURE 10
PROPOSED SITE PLAN LOTS 88–92
AND COMMUNITY ACCESS LOT



APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

REVISION NO: 2
SHEET: 10 OF 16 **DATE:** 8/22/2024



IMPACTS:
BACKFILL AND BEDDING
1323 ACRES
441 CUBIC YARDS

LOT 102
DONALD I. PRATT, JR.
GERALDINE O. PRATT

LOT 100
GEORGE F. EVANS

LOT 98
AARON P. SARATHY
JENNIFER K. WALLACE

NOT PARTICIPATING IN BULKHEAD REPLACEMENT
LOT 96
BERGMAN JOINT REV. TRUST

LOT 94
JAN T. MCLAREN LIVING TRUST

**SEE SPECIAL
CONDITION(S)**



**PROPOSED SITE PLAN—LOTS 94, 98 & 100
AND COMMUNITY ACCESS LOT**

SCALE: 1:60

NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.

ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.

PURPOSE: SHORELINE STABILIZATION

FIGURE 11
PROPOSED SITE PLAN LOTS 94, 98 & 100 AND COMMUNITY ACCESS LOT

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

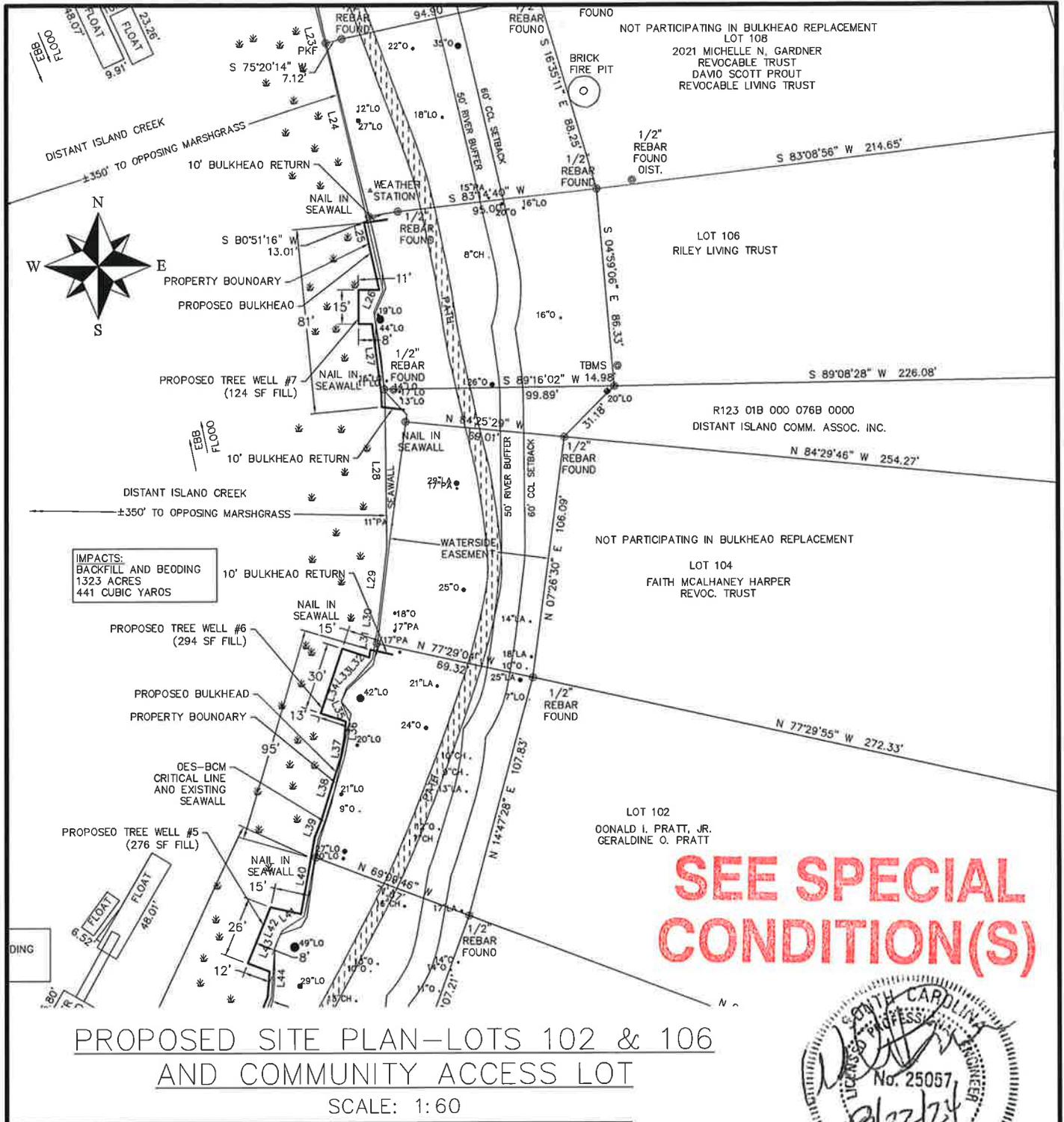
ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16



IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

REVISION NO: 2
SHEET: 11 OF 16 **DATE:** 8/22/2024

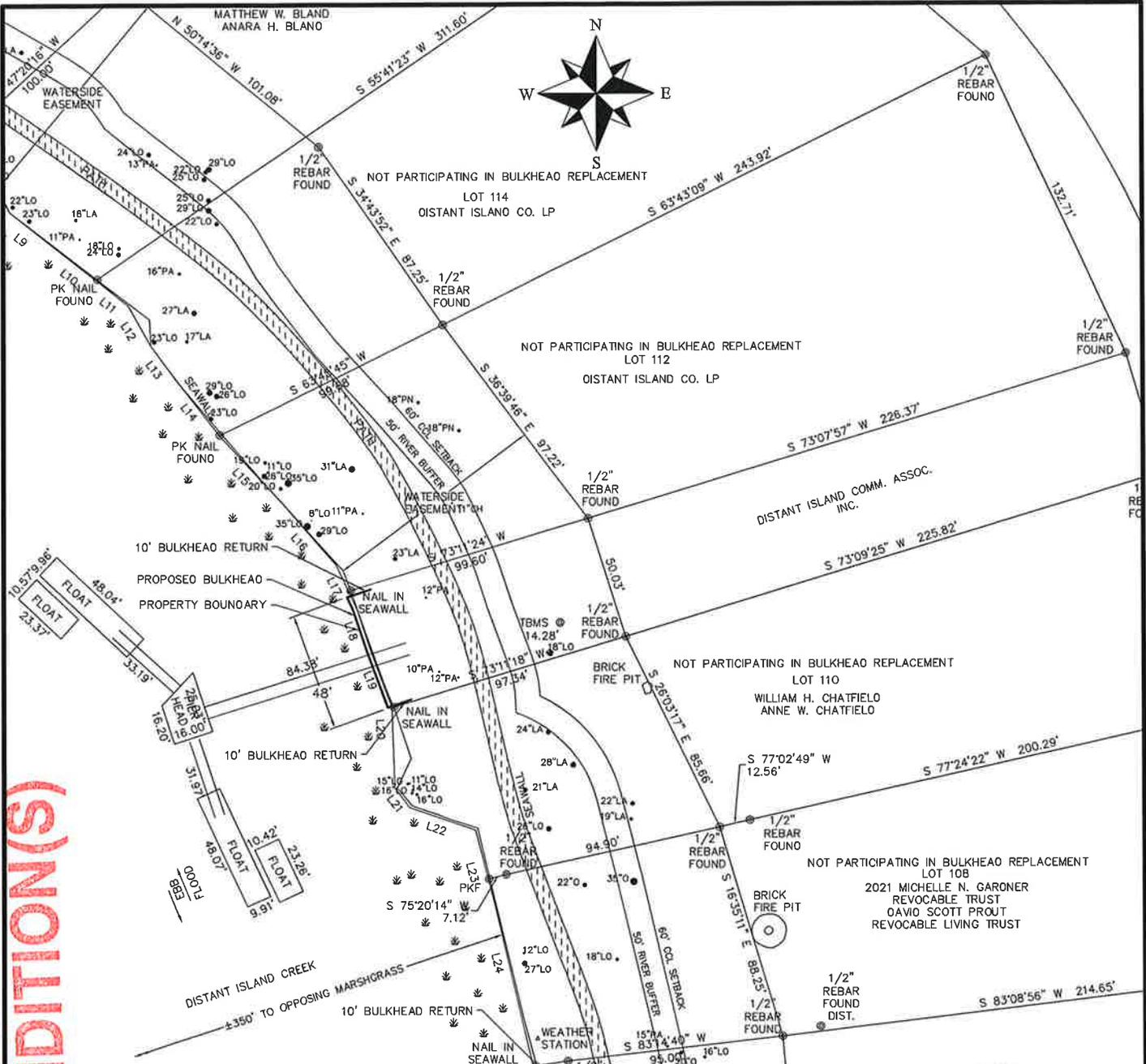


**PROPOSED SITE PLAN—LOTS 102 & 106
AND COMMUNITY ACCESS LOT**

SCALE: 1:60

<p>NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.</p>	<p>ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.</p>	<p align="center">SEE SPECIAL CONDITION(S)</p>
<p>PURPOSE: SHORELINE STABILIZATION</p> <p>ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16</p>	<p align="center">FIGURE 12 PROPOSED SITE PLAN LOTS 100 & 102 AND COMMUNITY ACCESS LOT 1:60</p> <p align="center">0' 60' 120'</p> <p align="center">APPLICANT DISTANT ISLAND COMM. ASSOC., INC. AGENT McSWEENEY ENGINEERS, LLC</p>	<p>PROPOSED: BULKHEAD</p> <p>WATERWAY: DISTANT ISLAND CREEK</p> <p>IN: BEAUFORT</p> <p>COUNTY OF: BEAUFORT, SC</p> <p>REVISION NO: 2</p> <p>SHEET: 12 OF 16 DATE: 8/22/2024</p>

SEE SPECIAL CONDITIONS

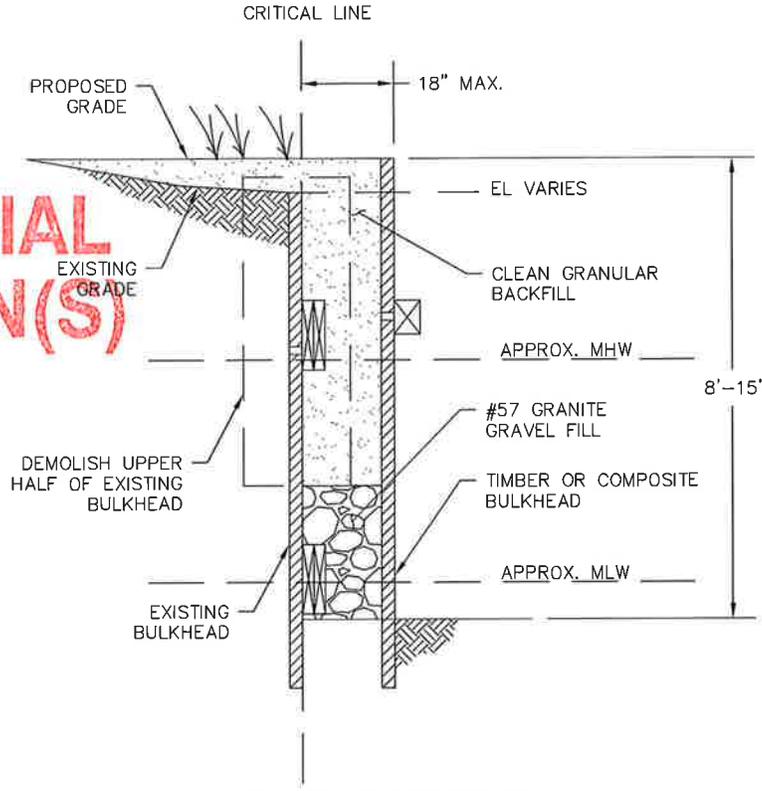


**PROPOSED SITE PLAN
COMMUNITY ACCESS LOT**
SCALE: 1:60



<p>NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND IS NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION.</p>	<p>ALL CRITICAL LINE INFORMATION IS OBTAINED FROM A PLAT PERFORMED BY GASQUE & ASSOCIATES INC. ON AUGUST 1, 2024.</p>		
<p>PURPOSE: SHORELINE STABILIZATION</p> <p>ADJACENT PROPERTY OWNERS: SEE SCHEDULE SHEET 16</p>	<p align="center">FIGURE 13 PROPOSED SITE PLAN COMMUNITY ACCESS LOT 1:60</p> <p align="center">APPLICANT DISTANT ISLAND COMM. ASSOC., INC. AGENT McSWEENEY ENGINEERS, LLC</p>	<p>PROPOSED: BULKHEAD</p> <p>WATERWAY: DISTANT ISLAND CREEK</p> <p>IN: BEAUFORT</p> <p>COUNTY OF: BEAUFORT, SC</p> <p>REVISION NO: 2</p> <p>SHEET: 13 OF 16</p>	<p>DATE: 8/22/2024</p>

**SEE SPECIAL
CONDITION(S)**



BULKHEAD SECTION
SCALE: 1:3



LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 66°53'39" E	11.53'	L41	S 56°36'47" W	11.34'	L81	S 60°20'36" W	20.79'
L2	S 66°48'57" E	43.28'	L42	S 25°51'39" W	1.89'	L82	S 51°23'02" W	34.85'
L3	S 67°08'24" E	23.00'	L43	S 22°21'24" W	6.30'	L83	S 49°01'13" W	18.57'
L4	S 66°25'50" E	31.96'	L44	S 04°06'19" W	21.98'	L84	S 20°13'41" W	1.08'
L5	S 68°51'04" E	42.64'	L45	S 21°36'13" W	37.46'	L85	S 37°08'28" E	23.46'
L6	S 59°44'03" E	56.71'	L46	S 25°08'53" W	19.92'	L86	N 68°11'59" E	15.57'
L7	S 30°52'24" E	7.16'	L47	S 59°52'34" W	27.53'	L87	N 68°45'50" E	17.80'
L8	S 31°07'16" E	3.92'	L48	S 23°30'36" W	15.82'	L88	S 72°09'01" E	21.72'
L9	S 51°16'39" E	23.32'	L49	S 23°01'53" E	16.40'	L89	S 02°50'56" W	5.94'
L10	S 51°53'44" E	26.12'	L50	S 32°16'55" W	34.50'	L90	S 52°37'30" E	45.20'
L11	S 50°47'52" E	11.47'	L51	S 34°35'55" W	18.30'	L91	S 55°25'33" W	6.46'
L12	S 29°25'51" E	18.46'	L52	S 42°18'02" W	28.96'	L92	S 76°27'01" W	5.39'
L13	S 36°02'05" E	17.25'	L53	S 39°08'03" W	40.86'	L93	S 38°20'09" W	7.51'
L14	S 37°55'16" E	28.27'	L54	S 39°54'37" W	11.46'	L94	S 72°12'51" W	33.03'
L15	S 42°18'27" E	36.64'	L55	S 31°00'06" W	67.01'	L95	S 06°17'31" W	24.35'
L16	S 41°01'07" E	33.09'	L56	S 33°56'07" W	13.41'	L96	S 12°53'54" E	24.17'
L17	S 24°46'01" E	19.65'	L57	S 25°43'44" W	18.41'	L97	S 67°00'26" W	9.13'
L18	S 18°17'11" E	17.00'	L58	S 30°39'53" W	72.05'	L98	S 48°44'09" W	11.13'
L19	S 20°12'28" E	24.80'	L59	S 30°45'19" W	27.49'	L99	S 72°06'50" W	24.10'
L20	S 01°55'23" E	32.77'	L60	S 41°56'44" W	33.02'	L100	N 58°27'35" W	6.58'
L21	S 37°03'03" E	9.80'	L61	S 43°37'17" W	43.19'	L101	N 54°24'53" W	8.14'
L22	S 70°55'55" E	28.15'	L62	S 41°04'38" W	34.11'	L102	N 09°52'43" E	4.89'
L23	S 14°11'38" E	31.65'	L63	S 42°11'59" W	30.41'	L103	N 16°43'49" E	16.27'
L24	S 13°11'09" E	47.63'	L64	S 03°13'18" E	10.75'	L104	N 24°54'55" W	12.85'
L25	S 13°00'05" E	51.98'	L65	S 39°21'58" W	38.10'	L105	N 12°23'39" W	10.71'
L26	S 22°16'19" W	10.39'	L66	S 40°35'32" W	60.29'	L106	N 09°46'56" W	13.64'
L27	S 07°40'39" E	36.11'	L67	S 40°46'01" W	21.82'	L107	N 47°09'25" E	9.72'
L28	S 00°35'01" E	67.10'	L68	S 16°32'26" W	8.99'	L108	S 84°18'12" E	7.42'
L29	S 06°42'21" W	28.69'	L69	S 37°19'01" W	10.77'	L109	N 69°17'57" E	5.22'
L30	S 06°25'06" W	4.78'	L70	S 41°29'27" W	28.26'	L110	N 38°51'22" E	12.71'
L31	S 09°16'20" W	15.76'	L71	S 41°37'14" W	22.08'	L111	N 59°20'16" E	34.63'
L32	S 40°05'20" W	11.91'	L72	S 63°52'36" W	24.61'	L112	N 46°36'38" E	34.21'
L33	S 48°17'21" W	4.95'	L73	S 46°34'54" W	40.22'			
L34	S 21°31'54" W	6.64'	L74	S 89°02'30" W	29.38'			
L35	S 22°32'26" E	9.13'	L75	S 30°31'11" W	0.99'			
L36	S 04°23'00" W	7.07'	L76	S 05°34'40" E	17.56'			
L37	S 10°12'44" W	9.14'	L77	S 51°58'14" W	64.53'			
L38	S 16°57'11" W	29.40'	L78	S 52°01'06" W	15.90'			
L39	S 21°12'44" W	7.74'	L79	S 53°06'00" W	30.82'			
L40	S 10°10'40" W	34.71'	L80	S 61°22'26" W	49.61'			

PURPOSE: SHORELINE STABILIZATION

ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16

FIGURE 15
BULKHEAD SECTION
1:3

APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

REVISION NO: 2
SHEET: 15 OF 16 **DATE:** 8/22/2024

ADJACENT PROPERTY TMS:

1. R123 01B 000 076B 0000
2. R123 01B 000 0650 0000
3. R123 01B 000 0563 0000
4. R123 01B 000 0637 0000
5. R123 01B 000 076B 0000
6. R123 01B 000 0581 0000
7. R123 01B 000 063B 0000
8. R123 01B 000 0651 0000
9. R123 01B 000 076B 0000
10. R123 01B 000 0639 0000
11. R123 01B 000 0653 0000
12. R123 01B 000 076B 0000
13. R123 01B 000 0592 0000
14. R123 01B 000 0640 0000
15. R123 01B 000 076B 0000
16. R123 01B 000 0533 0000
17. R123 01B 000 076B 0000
18. R123 01B 000 0666 0000

OWNER:

1. DISTANT ISLAND CO LP
2. O'BRIANT JOHN SAMUEL JR
3. ROLFE ROBERT C ROLFE DIANE C
4. NATHAN K SMITH REV TRUST OF 2008 SMITH ZACHARY DIXON
5. DISTANT ISLAND CO LP
6. SCANDLEN BENJAMIN BLAKE, SCANDLEN AMANDA ALICE
7. KATHRYN K SMOKE TRUST
8. YARALIAN ZAVAN YARALIAN, LORRAINE M
9. DISTANT ISLAND CO LP
10. JAN T MCLAREN LIVNG TRUST
11. SARATHY AARON P WALLACE, JENNIFER K
12. DISTANT ISLAND CO LP
13. EVANS GEORGE F
14. PRATT DONALD I JR PRATT, GERALDINE O
15. DISTANT ISLAND CO LP
16. RILEY LIVING TRUST
17. DISTANT ISLAND CO LP
18. DISTANT ISLAND COMMUNITY ASSOC INC

ADDRESS:

1. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
2. 530 DISTANT ISLAND DR, BEAUFORT, SC 29907
3. 540 DISTANT ISLAND DR, BEAUFORT, SC 29907
4. 550 DISTANT ISLAND DR, BEAUFORT, SC 29907
5. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
6. 560 DISTANT ISLAND DR, BEAUFORT, SC 29907
7. 570 DISTANT ISLAND DR, BEAUFORT, SC 29907
- B. 580 DISTANT ISLAND DR, BEAUFORT, SC 29907
9. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
10. 590 DISTANT ISLAND DR, BEAUFORT, SC 29907
11. 610 DISTANT ISLAND DR, BEAUFORT, SC 29907
12. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
13. 620 DISTANT ISLAND DR, BEAUFORT, SC 29907
14. 630 DISTANT ISLAND DR, BEAUFORT, SC 29907
15. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
16. 650 DISTANT ISLAND DR, BEAUFORT, SC 29907
17. 470 DISTANT ISLAND DR, BEAUFORT, SC 29907
18. 720 DISTANT ISLAND DR, BEAUFORT, SC 29907



**SEE SPECIAL
CONDITION(S)**

PURPOSE: SHORELINE STABILIZATION

ADJACENT PROPERTY OWNERS:
SEE SCHEDULE SHEET 16

FIGURE 16
ADJACENT PROPERTY OWNERS MAP
SCALE: NTS

APPLICANT
DISTANT ISLAND COMM. ASSOC., INC.
AGENT
McSWEENEY ENGINEERS, LLC

PROPOSED: BULKHEAD
WATERWAY: DISTANT ISLAND CREEK

IN: BEAUFORT
COUNTY OF: BEAUFORT, SC

REVISION NO: 2
SHEET: 16 OF 16 **DATE:** 8/22/2024

Permit Number: _____

Name of Permittee: _____

Date of Issuance: _____

Date of Completion: _____

Upon completion of the activity authorized by this permit and any mitigation required by the permit, sign this certification and return it to the following address:

SAC.RD.Charleston@usace.army.mil

OR mail to:

U.S. Army Corps of Engineers
Regulatory Division
69A Hagood Avenue
Charleston, South Carolina 29403-5107

Please note that your permitted activity is subject to a compliance inspection by an U.S. Army Corps of Engineers representative. If you fail to comply with this permit you are subject to permit suspension, modification, or revocation.

=====

I hereby certify that the work authorized by the above referenced permit has been completed in accordance with the terms and conditions of the said permit, and required mitigation was completed in accordance with the permit conditions.

Signature of Permittee

Date