

TRC/PRE-DESIGN MEETING

AGENDA

Meeting – Tuesday, July 8, 2025

at 10:00 AM

This meeting will be held at 1911 Boundary Street (City Hall) in the Planning Conference Room, on the 1st floor.

Please click the link below to join the Zoom webinar:

<https://us02web.zoom.us/j/83589085470?pwd=u9QrYhqUu3dio14GpaExZsunCNv3C7.1>

Password: 153985 Meeting ID: 835 8908 5470 Call in Phone # +1 929 205 6099

Agenda items:

I. Projects

- a. **Airport Junction Site Infrastructure Package (Larger Common Plan) // New ALDI Store (Outparcel “C”) (240 & 260 Sea Island Parkway; PIN: R123 018 000 054D 0000, R123 018 000 0799 0000, R123 018 000 0215 0000)** – Discussion on a.) Overall site engineering & infrastructure plans, and b.) Discussion on proposed new ALDI store (outparcel “C”); Submitted by Madelyn Moser / Larry Barthelemy with ADC Engineering (Engineers), Vanessa Banks with APD (Architect), et al..

II. Construction Pre-Con Meeting

- a. **Georgia Skin & Cancer (1261 Ribaut Road; PIN: R120 007 000 0095 0000);**
Submitted by Tonya Varney and Matt West with West Construction

III. Adjournment

If you have any questions, please call (843) 525-7014.

Thank you.

cc: Madelyn Moser, Larry Barthelemy (ADC Engineering); Vanessa Banks (APD Architecture); Kevin Rogers (Owner); Al Keeler (ALDI Inc.)

Tonya Varney / Matt West (General Contractors)

240/260 SEA ISLAND PARKWAY

Airport Junction Overall Site Plan (Larger Common Plan) & New ALDI Store Location (Lady's Island)



MAJOR SUBDIVISION PROCESS
PRELIMINARY PLAT APPLICATION

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
email: development@cityofbeaufort.org website: www.cityofbeaufort.org

Application Fee: \$4060.⁰⁰
Receipt # 18966

PAID
6/3
encl

OFFICE USE ONLY: Date Received: 5/28/25 Application #: 28876 Zoning District: RMV

Applicability for Major Subdivision (As defined in the Beaufort Code Section 9.9.3)

- Any division of land that does not meet all the requirements for Minor Subdivisions (Section 9.9.2.A).
- Subdivision of parcels over 10 acres
- New streets are created

Date: 04/25/2025 Total Acreage: +/- 14.93 Number of Lots: TBD

Applicant Name: Airport Retail Investment, LLC - Kevin Rogers Applicant Address: 410 Mill Street, Bldg 1, Ste 200, Mt. Pleasant, SC 29464

Applicant E-mail: krogers@wrsrealty.com Applicant Phone No: 843-654-7872

Applicant Title: Property Owner Tenant Architect Engineer Developer

Property Owner (if other than the Applicant): Airport Retail Investment, LLC - Kevin Rogers

Property Owner Address: 410 Mill Street, Bldg 1, Suite 200, Mt. Pleasant, SC 29464

Property Owner E-Mail: krogers@wrsrealty.com Property Owner Phone No: 843-654-7872

Property Address: 240 + 260 Sea Island Parkway

Property Identification Number (Tax Map & Parcel Number): R123-018-000-054D-0000 / R123-018-000-0215-0000 / R123-018-000-0799-0000

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application?
 Yes No

The owner of the property is aware of and has authorized the proposed work as described in this application.
 Yes No

Applicant's Signature: *Kevin P. Rogers*

Date: 04/25/2025

NOTE: See page 2 for Major Subdivision Process and Preliminary Plat Checklist. An application will not be accepted for review without the required submittals.



MAJOR SUBDIVISION PROCESS/PRELIMINARY PLAT CHECKLIST

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
email: development@cityofbeaufort.org website: www.cityofbeaufort.org

MAJOR SUBDIVISION PROCESS

- ✓ Schedule a Pre-Application conference with a City of Beaufort Planner
- ✓ Submit Preliminary Plat Application
- ✓ Submit Preliminary Plat Application with items on checklist (may need to be submitted to Metropolitan Planning Commission (MPC) for approval)

STEP 3 (Preliminary Plat Approval):

- Submit 'Preliminary Plat' application along with items required on checklist (fee based on the number of lots)
- Letter from Beaufort-Jasper Water & Sewer Authority (BJWSA) certifying availability of service
- Preliminary and TIA (as required) approvals from SC Dept. of Transportation (843) 524-7255
- Topographical Survey
- Preliminary plat approval prior to site work/infrastructure construction plans being submitted (or bonded)

- ✓ Submit 'Project Permit' for site work/infrastructure along with items required on checklist - complete work (can be bonded)

- ✓ Complete 'Final Plat' application along with items on checklist once site work/infrastructure has been completed/approved
- ✓ Submit five (5) copies of final plat labeled "Subdivision Plat"
- ✓ Final plat will be reviewed, approved, and stamped for recording.

PRELIMINARY PLAT CHECKLIST

- Plat needs to be labeled 'Preliminary Plat'
- A location map
- The state, county and/or city in which the property is located
- The name of the owner, company or agent of the property who requested the survey document.
- The date the field survey was completed
- A graphic scale, a numeric scale, and a north arrow
- The name, registration number, address and phone number of the land surveyor
- The area of the parcel of tract surveyed
- All property lines shall be defined by bearings and horizontal distances
- All visible items across the property line shall be indicated
- Existing easements and rights-of-way widths (i.e., power lines, etc.)
- Cemeteries and burial grounds
- Lot and block numbers and/or the full names of adjoining landowners
- Names and/or numbers of principal highways, roads, streets or railroads with their rights-of-way
- The plat book and page number of the subdivision as recorded
- Boundaries formed by water courses
- Flood hazard areas and critical areas
- Structures shall be shown in relation to the boundary
- Sidewalks, landscaping/tree plantings
- Streets with curb type
- Location of utilities (to include stormwater, etc.)
- Phases delineated.
- Open spaces shown and contour lines (subdued)



**DEVELOPMENT DESIGN REVIEW
SITE PLANS (COMMERCIAL AND MULTI-FAMILY)
MAJOR CHANGE OF USE, MAJOR RENOVATION**

PAID
6/3/12
10/12/12

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org / Website: www.cityofbeaufort.org

Application Fee:
see attached schedule

OFFICE USE ONLY: Date Filed: 5-29-25 Application #: 28864
Zoning District: UPUD

• HAS PROJECT ATTENDED TRC MEETING? (REQUIRED) YES NO

TYPE OF APPLICATION (Check all that apply):

- Site Plan Commercial Multi-family
 Major Change of Use
 Vehicle Related Use
 Improvements to existing non-residential or multi-family structures that do not exceed 50% of the assessed value of the existing improvement

SUBMITTAL REQUIREMENTS: Please provide Site Plan which includes: survey, utility plans, tree survey, landscape plan, building elevations and materials, lighting plan and details, parking plan, and stormwater plan.

All forms and information shall be submitted one digitally + 3 hardcopies for Staff Review and 5 hardcopies for Board Review of all documents. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

APPLICANT, PROPERTY, AND PROJECT INFORMATION:

APPLICANT NAME: ADC Engineering, Inc. - Larry Barthelemy, P.E.

APPLICANT ADDRESS: 25 Woods Lake Rd, Suite 210, Greenville, SC 29607

APPLICANT E-MAIL: larryb@adcengineering.com APPLICANT PHONE NUMBER: 864-751-9122

APPLICANT TITLE: Homeowner Tenant Architect Engineer Developer

OWNER (IF OTHER THAN THE APPLICANT): Airport Retail Investment, LLC

OWNER ADDRESS: 410 Mill Street, Building 1, Suite 200, Mt. Pleasant, SC 29464

PROPERTY ADDRESS: Sea Island Parkway - Airport Junction Retail

PROPERTY IDENTIFICATION NUMBER (TAX MAP & PARCEL NUMBER): R123-018-000-0215-0000



**DEVELOPMENT DESIGN REVIEW
SITE PLANS (COMMERCIAL AND MULTI-FAMILY)
MAJOR CHANGE OF USE, MAJOR RENOVATION**

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org / Website: www.cityofbeaufort.org

Application Fee:
see attached schedule

REQUIRED PROJECT INFORMATION:

PROJECT NAME: ALDI Store #179 - Lady's Island

PROPERTY SIZE IN ACRES: +/- 3.64 PROPOSED BUILDING USE: retail (grocery store)

BUILDING SQUARE FOOTAGE (if multiple buildings, please list each one and their square footage by floor): 19,432

OF PARKING SPACES REQUIRED: 74 # OF PARKING SPACES PROVIDED: 100

IS THIS PROJECT A REDEVELOPMENT PROJECT: YES NO PROPERTY VALUATION: _____

ARE THERE EXISTING BUILDINGS ON THE SITE? YES NO IF YES, WILL THEY REMAIN? YES NO

DEVELOPED UNDER: PUD DISTRICT/ZONE (FOR COMMERCIAL ONLY) _____

PROVIDE A BRIEF PROJECT NARRATIVE: (Attach any necessary documentation, spec sheets, pictures, paint swatches, etc.):

This project will include a new grocery store within the Airport Junction PUD and development. The site improvements will include parking, storm drainage, utilities, and landscaping.

CERTIFICATION OF CORRECTNESS: I/we certify that the information in this application is correct.

APPLICANT'S SIGNATURE: *[Signature]* DATE: 5/28/2025

OWNER'S SIGNATURE: *Al Keeler* DATE: 5/29/2025

(The owner's signature is required if the applicant is not the owner.)

SCHEDULE:

The Planning Commission (PC) typically meets the 3rd Monday of each month at 5:00 pm. Staff will schedule PC meeting after TRC and review of application submittal for completeness and compliance with the City of Beaufort Development Code, Comprehensive Plan and Civic Master Plan.

CONTACT INFORMATION:

City of Beaufort Community Development Department
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: development@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

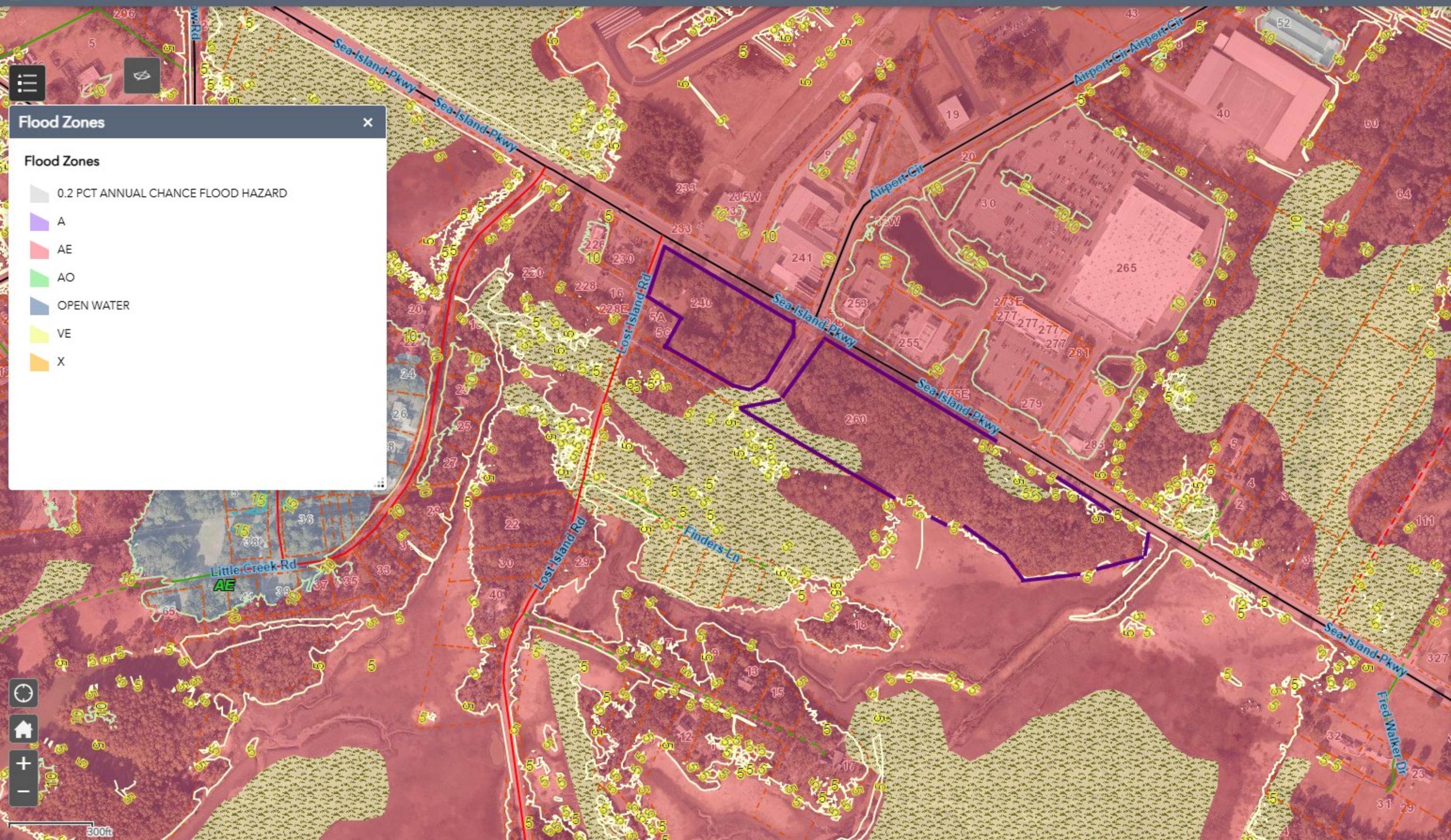


Zoning Classification

- CobData**
- HISTORIC DISTRICT-Preservation Heighborhood
 - HISTORIC DISTRICT-Conservation Neighborhood
 - Bladen Street Redevelopment District
 - Boundary Street Redevelopment District
 - Retail Overlay (Church & Green Street)
 - Retail Overlay
- Zoning Districts**
- LEGACY PUD (LPUD)
 - T1
 - T3-S
 - T3-N
 - T4-HN
 - T4-N
 - T4-NA
 - T5-DC
 - T5-UC
 - T5-UC / RMX
 - RMX
 - IC
 - MH
 - LI
 - MR



300ft



Flood Zones [Close]

Flood Zones

- 0.2 PCT ANNUAL CHANCE FLOOD HAZARD
- A
- AE
- AO
- OPEN WATER
- VE
- X

[Home]

[Zoom In]

[Zoom Out]

300ft

**AIRPORT JUNCTION
PLANNED UNIT DEVELOPMENT**

Airport Junction PUD

Created June 15, 2011

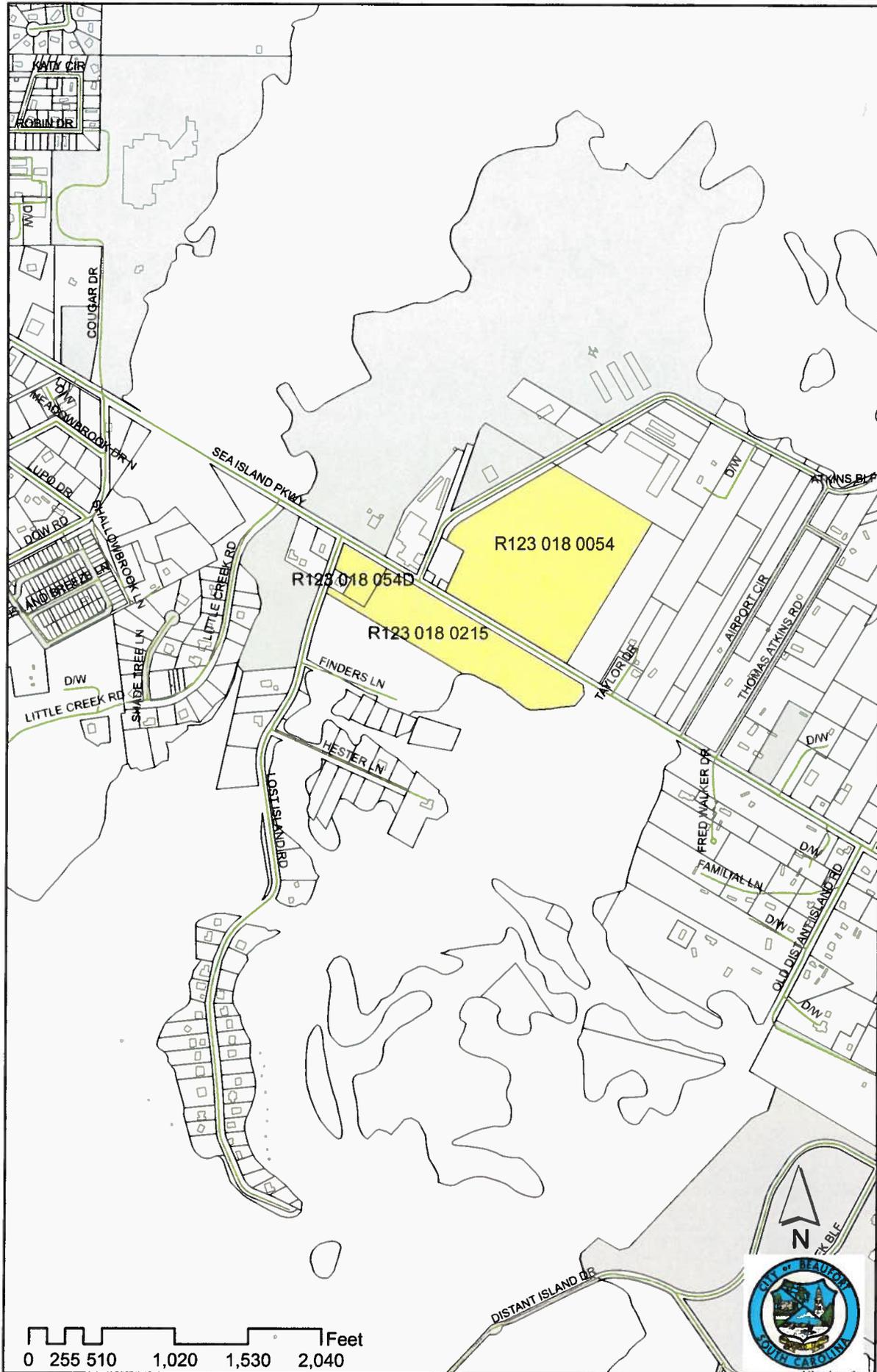


EXHIBIT C

AIRPORT JUNCTION TRACT

- C-1. Description of Airport Junction Tract**
- C-2. Development Schedule**
- C-3. Land Use Summary**
- C-4. Permitted Uses**
- C-5. Development Standards**
- C-6. Airport Junction Master Plan**
- C-6A. Airport Junction Illustrative Master Plan**
- C-7. Thoroughfare Standards**
- C-8. Roadway Plan for Airport Junction Tract**
- C-9. Parking and Loading Requirements**
- C-10. Lady's Island Airport Commercial Park PUD document**
- C-11. Airport Junction PUD Compared to Lady's Island Airport
Commercial Park PUD: County's PUD Compared to City's**
- C-12. Covenants and Restrictions**

EXHIBIT C-1

BOUNDARY SURVEY OF AIRPORT JUNCTION TRACT

The property is shown on the accompanying plat, entitled:

'Airport Junction PUD Boundary Survey, prepared for Airport Junction L.L.C.,' Lady's Island, Beaufort County, South Carolina, dated 12/9/96, revised 1/2/03, prepared by David E. Gasque, R.L.S., S. C. Registration Number 10506.

EXHIBIT C-2

DEVELOPMENT SCHEDULE

The estimated time to full build-out is in excess of fifteen (15) years from this date, justifying an extended term of this Agreement.

Flexibility must be allowed to the Developer as to the exact sequence, location, and timing of individual development phases in recognition of the fact that long term multiple-use developments respond to variable market conditions.

Subsequent phases would occur in increments determined by buyer preferences, market conditions, and direction of growth.

Although it is not possible to predict with accuracy the exact sequence and location of the phasing, the following development schedules reflect the expected commencement dates and the currently anticipated interim completion dates for the various phases:

Phase	Commencement date	Interim completion date
I	2005	2008
II	2006	2009
III	2007	2010
IV	2008	2012
V	2010	2017

The development to occur pursuant to the above schedules includes the development of the infrastructure, roads, subdivision of lots, facilities and other improvements. The exact order of development, as well as the development phase timing sequence and completion dates may change, at the Developer's discretion. The Property Owner anticipates, without being obligated to complete by said date, that the Project should be complete by December 31, 2017.

EXHIBIT C-3

LAND USE SUMMARY

For purposes of designating specific areas of land use, and for providing needed flexibility in planning, the Airport Junction Tract has been divided into Parcels. The Parcels are referred to in the Land Use Summary Chart below and in the PUD Master Plan (EXHIBIT C-6).

LAND USE SUMMARY CHART						
PARCEL	ACREAGE	HIGHWAY COMMERCIAL SQUARE FOOTAGE	LIMITED INDUSTRIAL/ GENERAL COMMERCIAL SQ. FT.	DENSITY Dwelling Units		USE
				per parcel	per acre	
A-1	3.43	150,000		18	1.4	Highway Commercial
A-2	3.76					
A-3	5.40					
B-1	1.82	100,000		2	.32	Highway Commercial
B-2	4.47					
C-1	3.84		340,000	4	.20	Limited-Industrial/ General Commercial
C-2	14.32					
Open Space	8.17		Note: One Dwelling Unit is equivalent to 1000 square feet of commercial/industrial space.			
R/W	1.75					
Gross	40.83			24	.59	
Net	30.91	250,000	340,000	24	.78	

The figures presented in the above chart represent maximum dwelling units for the Airport Junction Tract according to current planning, as well as maximum square footage computations for Highway Commercial, General Commercial, and Limited Industrial space. The Tract has 40.83 acres. The number of dwelling units shall not exceed 24. The total square footage of Limited Industrial, General Commercial, and Highway Commercial building space shall not exceed 590,000 square feet.

EXHIBIT C-4

PERMITTED USES

Land use categories are shown on the Land Use Summary Chart (EXHIBIT C-3) and PUD Master Plan (EXHIBIT C-6).

1. All Parcels within the Tract will be permitted the following uses:

- i. *Agricultural uses and silvicultural uses.*
- ii. *Open Space uses* including, but not limited to: all community recreational, agricultural and silvicultural uses listed above; activities and facilities in all areas permitted by the U.S. Army Corps of Engineers and SCDHEC/OCRM; disposal of reclaimed water as permitted by SCDHEC; outdoor recreation and scenic and natural preservation; erosion control structures; lagoons, ditches, retention/detention areas for drainage systems; stormwater control; easements.
- iii. *Rights-of-way uses* including the following: accessways such as roads, streets, lanes, and alleys; utilities and related facilities including, but not limited to, power, telephone, water, sewer, drainage, telecommunications; landscaping, signage, irrigation, bike trails, paths.

2. Parcels A-1, A-2, A-3, B-1, and B-2 will be permitted the following uses:

- a. all uses allowed in Section 5-6051 (HC highway commercial district)

3. Parcels C-1 and C-2 will be permitted the following uses:

- a. all uses allowed in Section 5-6052 (LI limited industrial district)
- b. all uses allowed in Section 5-6048 (GC general commercial district)

All residential uses shall include accessory uses as outlined in Exhibit B-5. All uses shall be governed by the Developer and the Community Association through the use of Covenants and the Architectural Control Committee.

EXHIBIT C-5

DESIGN STANDARDS AND DEVELOPMENT STANDARDS

Lot Specifications

a) minimum lot size:

- 1. single family dwelling units: 800 square feet.**
- 2. multifamily dwelling units: 800 square feet.**

b) lot width:

- 1. No Lot shall be less than 20 feet wide at the right of way.**

c) lot depth:

- 1. No Lot shall be less than 40 feet in depth.**

d) lot coverage: [Note: "Lot coverage" means enclosed space covered on a lot. Sidewalks, paved areas, decks, patios, pools, etc. do not count in lot coverage calculations.]

- 1. Coverage of lots may be 100%, provided all applicable requirements are met.**

e) floor area:

- 1. minimum: 400 square feet.**
- 2. maximum: there shall be no maximum floor area, provided all applicable requirements are met.**

f) maximum site coverage:

- 1. Pervious 35%**
- 2. Impervious 65%. [Note: Impervious site coverage requirements will be based on the area of the entire PUD, not calculated specifically for any one site.]**

g) maximum square footage per use: no maximum.

h) distance between uses: 0 feet, provided all building and fire codes are adhered to.

Lot Layout

The above lot specifications show the minimum lot subdivision requirements. These lot areas are the total area that may be developed for the building site. Subdivision of these areas will allow for smaller lots to be sold or leased as required. In the event that such subdivided lots front open spaces instead of rights of ways or streets, legal right of way access for these properties will be provided from the side or rear of the buildings. Every lot shall have frontage on a public or private street.

Building Height

Building height for all structures will be measured from Finished Grade to Mean Roof Height. The maximum building height for all structures shall not exceed 50 feet.

Setbacks

All buildings shall be required to set back a minimum of 20 feet from the PUD perimeter line.

No internal setbacks are required.

Porches, awnings, and similar architectural projections shall be encouraged and permitted to extend past the lot lines into street or open space areas, provided easements are granted by the property owner encroached upon.

Setbacks from the SCDHEC-OCRM critical line shall be a minimum of 50 feet, except in Parcel A-3, where setbacks from the OCRM critical line shall be an average of 50 feet, with a minimum of 35 feet. [Average setback shall be determined by quantifying the setback for each 10 linear foot increment of impervious surface, pervious paved surface, or structure, summing these, and dividing by the number of increments measured. Quantification of each increment of setback shall be approved by the Zoning Administrator.]

County 50'

Setbacks from U. S. Highway 21 shall be a minimum of 20 feet.

Setbacks from neighboring properties and roads shall be a minimum of 20 feet.

Setbacks are shown on the PUD Master Plan, Exhibit C-6.

C-5.2

Buffers

There shall be a buffer within the entire perimeter of the PUD property, as follows:

1. a 20 foot buffer bordering Highway 21.
2. a 24 foot buffer bordering property owned now or formerly by Atkins.
3. a 20 foot buffer bordering SCDHEC-OCRM critical lines. The following structures/activities shall be permitted in the tidal area buffer: paths, decks, steps, gazebos, yard sculpture and furniture, docks, erosion control devices (excluding stormwater ponds), and any other elements linked to the critical area which are permitted by OCRM. Indigenous vegetation removal in the tidal area buffer shall be limited to that necessary to provide for a structure/activity permitted in this paragraph and to provide for reasonable sight lines. *same in County*
4. a 20 foot buffer bordering freshwater wetlands. *none, but are any present?*
5. a 10 foot buffer bordering Airport Road and Lost Island Road.
6. a 10 foot buffer bordering property owned now or formerly by Six L's packinghouse.
7. a 10 foot buffer bordering property owned now or formerly by Fleming Anderson.
8. a 10 buffer bordering property owned now or formerly by Gay Enterprises.

There shall be no requirement in this Agreement for internal buffering or screening between different portions of the Real Property, nor shall there be any requirement as to the necessity of, composition of, layout of, and location of any other buffers, bufferyards and screening within the Real Property.

When buffers contain existing vegetation sufficient to produce a desirable degree of screening effect, additional plant material including overstory and understory trees shall not be required.

Open space

Airport Junction will provide many types of open space, from landscaped buffer areas to natural marsh preserves. Open space will be calculated within the overall boundary of the PUD and not specifically for each phase of development or for any individual site. Open space shall include buffer areas, grassed areas, bike paths, fresh and saltwater wetlands, retention and detention ponds, drainage easements, utility easements, as well as grassed shoulders for streets, alleyways, parking areas, and roads.

There shall be a minimum of 8.17 acres of open space, totaling a minimum of 20 % of the entire tract.

Landscaping

It is understood that Airport Junction may be subdivided into various parcels and that flexibility pertaining to internal landscaping and setbacks will be necessary for a successful and functional project.

The project will have strict landscape covenants and design standards tailored to meet the specific needs of the project. Examples of such covenants and design standards are included in EXHIBIT C-12. The covenants will be administered and enforced by the Developer and the Architectural Control Committee of the Airport Junction Community Association.

The current City of Beaufort Landscape Ordinance shall apply to the Airport Junction project.

Trees

Airport Junction will have stringent tree covenants and design standards administered and enforced by the Developer and the Architectural Control Committee (ACC). The tree covenants will meet or exceed the existing City of Beaufort Tree Preservation Ordinance. See EXHIBIT C-12 for examples of such covenants and design standards.

Covenants

The Developer will record in the Beaufort County RMC a Declaration(s) of Covenants. The Declaration of Covenants will address, as necessary, all applicable restriction issues, establish an Architectural Control Committee, and provide for long-term ownership of Common Property by a Community Association. Covenants may be recorded for any phase or portion of the Development. They may function as the basic rules of the Parcels as they relate to the continuity of community interaction. They will be tailored to respond to the different needs and special characteristics of

the various Parcels. The Covenants may provide that Design Standards shall be in accordance with the rules, regulations and guidelines as promulgated by the ACC applicable to such Parcel, phase or portion. For an example of such Covenants, see Exhibit C-12.

Site Parameters for Commercial, Residential, and Industrial Uses

The location of commercial, residential, and industrial uses are indicated on the PUD Master Plan. See EXHIBIT C-6.

The maximum allowable residential density is .59 Dwelling Units per gross acre or 24 Dwelling Units for the total Tract. Dwelling Units may be transferred from one Parcel to another without limitation, provided all applicable provisions are met.

The types of residential units envisioned are single family town house units, multi-family condominium units, and/or "loft" or "live-work" units (residences located above office, shop, warehouse, or retail space).

The maximum allowable square footage for Highway Commercial use in Parcels A-1, 2, 3 and B-1, 2 shall be 250,000 square feet. The maximum allowable square footage for Limited Industrial and General Commercial use (combined) in Parcels C-1 and C-2 shall be 340,000 square feet. Total allowable commercial and industrial square footage for the entire Tract is 590,000 square feet.

Dwelling Unit Equivalency

Residential units may be exchanged for commercial/industrial square footage as follows: 1000 square feet of commercial space equals one residential Dwelling Unit. For example, if 24 Dwelling Units are constructed on the Tract, 24,000 square feet of commercial and/or industrial square footage (at the developer's discretion) shall be subtracted from the maximum commercial/industrial square footage allowable for the entire Tract.

Dwelling unit equivalency will be calculated within the overall boundary of the PUD and not specifically for each phase of development or for any individual site.

Acreage Adjustments

Net acreage is defined as that acreage which remains after the deduction from total acreage of open space and of easements for existing utilities, roads, and ditches. All remaining uplands, wetlands, and marshes are included in the net acreage for density calculations.

The acreages depicted on the PUD Master Plans are approximate. In order to maintain the necessary development flexibility, the acreage for the various Parcels, open spaces, roads and other areas depicted on the Master Plan may be increased or decreased. This flexibility shall include boundary adjustments and final road locations.

In order to allow flexibility in design density, such as opportunities to cluster buildings and consolidate open space, the following shall apply to individual Parcels:

- 1) In the event the number of dwelling units built on any Parcel is less than projected density, the developer may assign the number of units not constructed to any other Parcel.
- 2) Unused commercial square footage may be transferred from Parcel to Parcel.
- 3) Limited industrial square footage shall be restricted to Parcels C-1 and C-2 only.

[See Article 24 of the Development Agreement.]

Site Lighting

Site lighting will be subject to review by the Beaufort County Aviation Board and the City of Beaufort Corridor Development Board. Lighting will be shielded so as not to pose a hazard to aviation. Lighting restrictions will be expressed as a covenant in the deeds conveying portions of the subject property.

Signage

All signs on the Project shall be governed by the Covenants, the ACC, and the Corridor Development Board.

Aesthetics and Architectural Design

In accordance with Article K, Section 5-6201, the architecture at Airport Junction shall be "harmonious with the natural and man-made assets of the Lowcountry." Materials such as metal, stucco, and wood may be employed to blend with existing neighboring agricultural and industrial structures.

See also § 22
of Development
Agreement

Amenities

The types of amenities considered appropriate and which may be developed on the Tract include, but are not limited to, the following: civic

buildings and structures, pedestrian paths, recreational support facilities such as maintenance sheds and shade structures, areas for outdoor recreation and scenic and nature preservation, and all other active and passive recreation compatible with uses in the Development.

Amenities to serve the Development may be developed as the growth of the project dictates. The Developer makes no commitment to provide any amenity. The Developer, however, reserves the right to provide amenities and to convey them to a Community Association, or other suitable entity, which shall become responsible for the upkeep and maintenance of the conveyed amenities. The Developer may choose to absorb the full cost of a given amenity or to share the cost with a Community Association or other suitable entity. The Developer may also elect to donate land to the Community Association for an amenity site, which the Community Association may then develop and maintain.

Utility access

Water and sewer is available to this property in accordance with BJWSA.

Fire Access

New buildings will comply with the Current City of Beaufort Building and Life Safety Codes. Final street design will incorporate design turning radii of current (12-01-00) City Fire equipment.

Drainage Requirements

The SCDHEC/OCRM requires that the first half inch of runoff over the entire site or the first one inch of runoff over the built upon portion of the site, whichever is greater, be stored and released over a twenty four hour period. Airport Junction will be engineered to retain the greater amount required. Storm water runoff for this site will be collected into OCRM approved retention and filtration systems.

The Owners and Developers shall abide by all provisions of federal and state laws and regulations, including those established by the South Carolina Department of Health and Environmental Control, the South Carolina Office of Ocean and Coastal Resource Management, and their successors, for the handling of storm water. In order to protect water quality of the rivers and creeks, the Owners shall construct storm water

drainage systems in accordance with plans approved by DHEC and OCRM, and maintain the systems allowing for proper operation and function. In order to meet the water quality and anti-degradation goals which are impacted by impervious surfaces, Owners commit to design storm water management systems in such a way that the storm water quality delivered to the receiving waters is appropriately mitigated through Storm Water Best Management Practices, as determined by engineering design calculations.

Phasing

Airport Junction is planned as a phased development. The Developer proposes to phase-in infrastructure and community facilities in an orderly progression over a period of approximately fifteen years, or as growth patterns and economic activity will allow, however, utilities must be planned, designed, and sized for build-out of the entire PUD.

Flexibility is an essential element in the issue of phasing; therefore, the order and configuration of the various phases is subject to change at the discretion of the Developer.

A phase may consist of any Parcel, any part of a Parcel or any combination of Parcels, as shown on the PUD Master Plan.

Landscaping, utilities, roads, drainage, retention ponds, and other infrastructure may be installed on a phase by phase basis, and not for the project as a whole, at the developer's discretion.

Default Regulations:

For items not noted in this document, the City of Beaufort Zoning Ordinance in effect at the date of adoption of this submittal shall govern.

EXHIBIT C-6

THE AIRPORT JUNCTION PUD MASTER PLAN

The purpose of the Airport Junction Planned Unit Development (PUD) Master Plan is the Regulating Plan. It is intended to allow for the development of a high quality, mixed-use development on the Airport Junction Tract.

Envisioned as a multi-purpose business center buffered by open spaces and restricted by architectural controls and binding covenants, the development will provide a mixture of highway commercial (HC), general commercial (GC), limited industrial (LI), and residential uses.

Current conceptual design for Parcels A-1,2,3 (15.22 acres) and Parcels B-1,2 (6.29 acres) calls for multistory structures encompassing different uses on separate levels, retail and commercial on first floor areas with office and residential uses on upper levels. A variety of uses – including, but not limited to, factory outlet stores, professional offices, retail shops, food establishments, artists' studios, hotel/motel, and “live-work” residential lofts -- will share open spaces and vehicular and pedestrian access ways that will be interwoven into an overall cohesive plan.

The northernmost portion of the property (Parcels C-1 and C-2) encompasses 18.57 acres and is planned as a limited industrial/commercial park, providing light industrial building space, office warehouses, warehouse storage facilities, as well as commercial uses.

NOTE: The Airport Junction PUD Master Plan is a conceptual, schematic design intended to depict current planning in respect to roads, water, sewer, drainage systems, buffers, setbacks, building types, and land uses. The developer reserves the right to modify this plan in response to the future needs of tenants and purchasers, innovations in the techniques of development, changing financial conditions, or the safety, health, and welfare of the public. Any depicted property lines, tract dimensions, acreages, right of way locations, or narrative descriptions are approximate and subject to adjustment. For specific commitments, refer to recorded plans, covenants, and restrictions in the office of Beaufort County RMC. [See Section 24 of the Development Agreement.]

NOTE:
 THIS MASTER PLAN HAS BEEN PREPARED FOR AIRPORT JUNCTION L.L.C. AND IS SUBJECT TO CHANGE. ANY PROPERTY LINES, TRACT DIMENSIONS, ACREAGES, RIGHT OF WAY LOCATIONS, OR NARRATIVE DESCRIPTIONS ARE APPROXIMATE AND SUBJECT TO ADJUSTMENTS FOR FINAL RECORDABLE PLANS. FOR SPECIFIC COMMITMENTS, PLEASE REFER TO RECORDED PLANS, COVENANTS, AND RESTRICTIONS IN THE OFFICE OF BEAUFORT RMC.

NOTE:
 THIS PLAN IS THE PROPERTY OF AIRPORT JUNCTION L.L.C. AND MAY NOT BE REPRODUCED IN WHOLE OR PART WITHOUT PERMISSION OF AIRPORT JUNCTION L.L.C.



REGULATING PLAN

LAND TYPE COLOR CHART

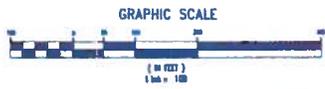
- BUILDING AREA
- BUILDING SETBACKS
- BUFFERS
- PRIVATE RIGHT OF WAY
- PUBLIC RIGHT OF WAY
- SALT WATER WETLANDS
- FRESH WATER WETLANDS

LAND USE SUMMARY CHART						
PARCEL	ACREAGE	HIGHWAY COMMERCIAL sq. footage	LIMITED INDUSTRIAL/GENERAL COMMERCIAL sq. footage	DENSITY DWELLING UNITS PER PARCEL PER ACRE		USE
A-1	3.43 ACRES	150,000		18	1.4	HIGHWAY COMMERCIAL
A-2	3.76 ACRES					
A-3	5.40 ACRES					
B-1	1.82 ACRES	100,000		2	.32	HIGHWAY COMMERCIAL
B-2	4.47 ACRES					
C-1	3.84 ACRES		340,000	4	.20	LIMITED-INDUSTRIAL/GENERAL COMMERCIAL
C-2	14.32 ACRES					
OPEN SPACE	8.17 ACRES			NOTE: ONE DWELLING UNIT IS EQUIVALENT TO 1,500 SQUARE FEET OF COMMERCIAL, INDUSTRIAL, BRICK.		
R/W	1.75 ACRES			24	.59	
GROSS	40.83 ACRES			24	.78	
NET	30.91 ACRES	250,000	340,000			

AIRPORT JUNCTION PUD MASTER PLAN PREPARED FOR AIRPORT JUNCTION L.L.C.

LOCATED AT EUSTIS PLANTATION LADYS ISLAND BEAUFORT COUNTY-----SOUTH CAROLINA

GASQUE & ASSOCIATES INC.
 LAND SURVEYORS PLANNERS
 28 PROFESSIONAL VILLAGE CIRCLE, BEAUFORT, S.C.
 P.O. BOX 1363, BEAUFORT, S.C.
 (843) 522-1786



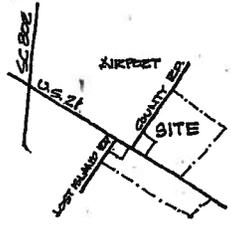
DATE 09/04/01
 SCALE 1" = 100'

EXHIBIT C-6A

THE AIRPORT JUNCTION ILLUSTRATIVE MASTER PLAN

The Airport Junction PUD Illustrative Master Plan is a schematic design based on current planning. It is intended to depict one of several logical scenarios for development of the Airport Junction Tract. It is conceptual only. The developer reserves the right to modify this plan. [See Section 24 of the Development Agreement.]

NOTICE:
 This illustrative masterplan is conceptual only. It is a schematic design intended to depict current planning in respect to roads, water, sewer, drainage systems, buffers, setbacks, building types, and land uses. The developer reserves the right to modify this plan in response to the future needs of tenants and purchasers; innovations in the techniques of development; changing financial conditions; or the safety, health, and welfare of the public.



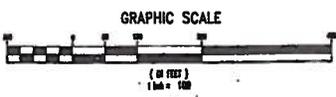
LOCATION MAP
 N.T.S.



LAND USE SUMMARY CHART					
PARCEL	ACREAGE	HIGHWAY COMMERCIAL SQUARE FOOTAGE	LIMITED INDUSTRIAL/ GENERAL COMMERCIAL SQ. FT.	DENSITY Dwelling Units per parcel per acre	USE
A-1	3.43	150,000		18	1.4
A-2	3.76				
A-3	5.40				
B-1	1.53	100,000		2	.33
B-2	4.47				
C-1	3.84		340,000	4	.20
C-2	14.33				
Open Space	8.17	Note: One Dwelling Unit is equivalent to 1000 square feet of commercial/industrial space.			
R/W	1.78				
Grass	48.83				
Net	30.91	250,000	340,000	24	.78

THIS PLAN IS THE PROPERTY OF AIRPORT JUNCTION LLC AND MAY NOT BE REPRODUCED IN WHOLE OR PART WITHOUT PERMISSION OF AIRPORT JUNCTION LLC

NOTE: THIS MASTER PLAT HAS BEEN PREPARED FOR AIRPORT JUNCTION LLC AND IS SUBJECT TO CHANGE. ANY PROPERTY LINES, TRACT DIMENSIONS, ACREAGES, RIGHT OF WAY LOCATIONS, OR NARRATIVE DESCRIPTIONS ARE APPROXIMATE AND SUBJECT TO ADJUSTMENTS FOR FINAL RECORDABLE PLANS. FOR SPECIFIC COMMITMENTS, PLEASE REFER TO RECORDED PLANS, COVENANTS, AND RESTRICTIONS IN THE OFFICE OF BEAUFORT RMC.



The figures presented in the above chart represent maximum dwelling units for the Airport Junction Tract according to current planning, as well as maximum square footage computations for Highway Commercial, General Commercial, and Limited Industrial space. The Tract has 48.83 acres. The number of dwelling units shall not exceed 24. The total square footage of Limited Industrial, General Commercial, and Highway Commercial building space shall not exceed 590,000 square feet.

N/F KUZZENS INC.

COUNTY ROAD 50 R/W

N/F BEAUFORT COUNTY

LOST ISLAND ROAD

N/F HANNA

US HWY 21 100' R/W

N/F REBERA ADAMS ET AL

ILLUSTRATIVE MASTER PLAN
AIRPORT JUNCTION
PUD

PREPARED FOR
AIRPORT JUNCTION LLC.

Don M. Guscio
Landscape Architect
 ROUTE 3 BOX 187
 HILTON HEAD ISLAND, S.C.
 29928
 (843) 787-2888 FAX (843) 787-5385

DATE 09/04/01
 SCALE 1" = 100'

C-7
EXHIBIT C-7

THOROUGHFARE STANDARDS

Private Roads. Right-of-Way and Pavement Widths

The Hanover Park street system will be constructed by the Developer to City of Beaufort standards. They may remain private or may be dedicated to the City of Beaufort or to Beaufort County. All streets will be designed by a Professional Engineer licensed in the State of South Carolina with experience in roadway design and will be engineered to meet the paving, safety, and drainage goals of the City. They shall have a surface designed for the soil conditions. Low speed limits and traffic mitigation devices may be employed.

There may be several types of streets, including, but not limited to, the following:

Type	Pavement Width	Right of Way Width
Road	22 feet	60 feet
Drive	20 feet	50 feet
Alley	10 feet	20 feet
Pedestrian Path	5 feet	12 feet

Street Sections

The street sections may include, subject to approval by the City, the following types:

- a) curb and gutter (rolled over type or header type)
- b) roadside swales
- c) cross slopes
- d) pervious paving (all weather surface)

The actual design will be based on use and site specific conditions.

EXHIBIT C-8

ROADWAY PLAN

Access and Streets

Extensive internal road circulation will be provided within the development.

Roadways will be commonly owned and maintained by a Community Association, unless dedicated to the City of Beaufort.

The PUD Master Plan has been reviewed by the South Carolina Department of Transportation (SCDOT).

- 1. The project is accessed from U. S. Highway 21; Airport Circle; and Lost Island Road.**
- 2. The project encompasses approximately 975' of frontage on the north side and approximately 1698' of frontage on the south side of U. S. Highway 21.**
- 3. The project borders both sides of Highway 21. Four SCDOT-permitted entrances have been installed on Highway 21. The project will have five main entrances on Highway 21, plus two on Lost Island Road and three on Airport Circle.**
- 4. The project will have approximately 1.0 miles of roads.**

[Proposed roads displayed on the PUD Master Plan are schematic and conceptual only.]

EXHIBIT C-9

PARKING AND LOADING REQUIREMENTS

Common parking areas will allow for the natural cycle of varying land uses in the mixed use project to work together and reduce the required parking spaces needed:

1) the peak parking demand for varying land uses occur at different times. Office spaces require more parking during the day while restaurants and hotels have a higher peak demand in the evening. The parking demands also vary by days of the week as well as months of the year. Because of this, the parking calculations must reflect the demand patterns of the mixed uses rather than adding the demand of individual uses together.

2) Mixed use developments encourage multipurpose trips. This allows for a single parking space to be shared by multiple uses. This allows uses in the development to share parking without conflict which results in a fewer number of required parking spaces.

Parking Analysis

Off-Street Parking:

Land Use:	Spaces required:
<u>Residential</u>	
Single family	1 per unit
Multi-family	1 per unit
<u>Institutional</u>	
Buildings	1 per 400 square feet

Office/Commercial

Offices	1 per 333 square feet
Retail	1 per 300 square feet
Motel, Inn	1 per accommodation
Other	1 per 333 square feet

Industrial

Warehouse	1 per 10,000 sq. ft., minimum
Office	1 per 333 square feet

Note: Two or more individual uses may utilize a joint or combined area in order to comply with off-street parking requirements, provided that the total number of spaces available in such combined area is not less than 20% less than the total sum of spaces otherwise required for the individual uses separately computed. Uses with different hours of operation not conflicting may share parking spaces.

Particular Parking Specifications: Excluding aisles, maneuvering space, turnaround space, and drives, each required off-street parking space shall be not less than 9 feet in width and 18 feet in length. No off-street parking or maneuvering area shall be located in any public right-of-way. All off-street parking is subject to review by the ACC. A scaled drawing or layout of all required parking areas will be part of the submittal package required by the ACC.

Parking spaces 90 degrees to the travel way aisle shall not be less than 9 feet in width and 18 feet in length. The paved length of a parking stall may be reduced to 17 feet providing that curbing or anchored concrete wheel stops are furnished at the edge of paving to allow the front of the vehicle to overhang the landscape area.

Angled parking spaces positioned at other than 90 degrees to the aisle travel way shall be dimensioned in accordance with recognized standard criteria.

Other Parking Design Considerations. Landscaping of parking areas will strive to achieve both physical comfort through shading and a pleasant

visual experience. A minimum of one shade tree for every sixteen parking spaces will be provided.

Lighting. Parking lots and vehicular use areas may be lighted; however, such shall not illuminate, nor cast glare into neighboring properties. Lighting fixtures shall be part of the overall project design and will require approval by the ACC and be subject to Beaufort County Aviation Board review and City of Beaufort Corridor Development Board (or its successor) standards.

Screening. All parking lots and vehicular use areas, and loading areas may be screened from all abutting properties at the discretion of the ACC and shall comply with current City of Beaufort parking lot standards.

Interior Landscaping. Interior areas of parking lots shall be governed by the ACC and shall comply with City of Beaufort landscaping standards for parking lots, with the understanding that Airport Junction could be subdivided into various parcels and that flexibility within the ordinance pertaining to internal landscape buffers and setbacks will be necessary for a successful and functional project.

Existing Vegetation. The natural landscape may be preserved at the discretion of the ACC.

Loading Requirements: The ACC shall determine the necessity, if any, and number of loading spaces. If the ACC determines that loading spaces are required, it shall have full authority to determine all design attributes related thereto, including size, number, location, screening, landscaping, lighting, surface and configuration.

Off Street Loading Restrictions:

Loading areas, where required by the ACC, shall be adequate so that no vehicle being loaded or unloaded in connection with normal operations shall stand in or project into a public or private street, alley or other way. There shall be one loading space per 25,000 square feet of building space.

EXHIBIT C-10

LADY'S ISLAND COMMERCIAL PARK PUD DOCUMENT

The following PUD document was approved by Beaufort County Council on April 13, 1994.

240/260 SEA ISLAND PARKWAY

Airport Junction Overall Site Plan – Project Narrative and Plan Set

Airport Junction Site Infrastructure Package

Beaufort, SC
Beaufort County

Design Narrative

April 25, 2025

25 WOODS LAKE ROAD
SUITE 210
GREENVILLE, SC 29607
864-751-9121
WWW.ADCENGINEERING.COM

Project Manager: Larry Barthelemy, P.E.
larryb@adcengineering.com
ADC Project No. 21470

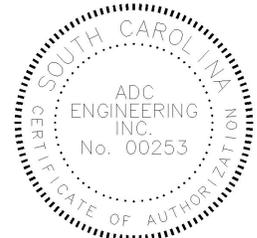


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The Design Narrative is comprised of the following elements:

Part I – Project Overview

Part II – Comprehensive SWPPP

Part III – Engineering Report

Part IV – Appendices

Appendix A – Site Maps

Appendix B – Drainage Maps / Watershed Maps / Wetlands Data

Appendix C – Calculations

PART I - PROJECT OVERVIEW

1.1 GENERAL

Project / Site Name:.....Airport Junction Site Infrastructure Package

Location:240 & 260 Sea Island Parkway, Lady’s Island, SC 29907, Beaufort County

The proposed location of this project is located within the Airport Junction PUD, on the south side of Sea Island Parkway across from the Beaufort Executive Airport. The proposed development is the base of the Larger Common Plan intending to improve the site within this development in the near future.

T.M.S. #:.....R12301800002150000

Latitude / Longitude:.....32°24’20.24” N / 80°38’06.81” W

This project is located in the USGS Quadrangle Map - Beaufort, SC.

1.2 PROPOSED SITE IMPROVEMENTS

This project is the first phase of a Larger Common Plan. This includes mass grading of the property, new drives and sidewalks, new storm drainage, and new utilities. The property will eventually be subdivided and further developed.

1.3 EXISTING SITE/PARCEL INFORMATION

Zoning and Land Use

The site is part of the Airport Junction Planned Use Development (PUD). The developer also has a Development Agreement with the City of Beaufort establishing development and land use criteria for the property. The PUD and Development Agreement allow for all uses within the City’s Highway Commercial (HC), General Commercial (GC) or Limited Industrial (LI) districts.

Setbacks / Buffers

Setback requirements are set forth in the PUD. All buildings shall be setback a minimum of 15’ from the Airport Junction perimeter. The PUD also establishes setbacks from existing wetlands. Freshwater wetlands shall have 20’ setbacks and saltwater wetlands shall have 30’ setbacks. There are no internal building setbacks. Buffer requirements are set forth in the PUD. There is a front buffer of 15’ and a side/rear buffer of 10’.

Wetlands:

There are wetlands on the project site and a portion of the wetlands will be impacted by this project. Refer to the associated Engineering Report, Section “Environmental” for further information.

Flood / FEMA Information:

From scaling the FEMA Flood Insurance Rate Map 45013C0169G & 45013C0167G, dated March 23, 2021. The site lies within Flood Zone AE, elevation 11, which is a special flood zone with a chance of flooding in the 1% chance annual storm.

Earthwork / Soils

Based on the USDA Natural Resources Conservation Services (NRCS) Soils Survey, the existing site is primarily comprised of loamy fine sand. A Geotechnical Investigation was previously completed for this site on April 29th, 2025.

Refer to ‘Appendix A – Site Maps’ for additional information.

Airport Junction Site Infrastructure Package

Beaufort, SC
Beaufort County

Comprehensive SWPPP

April 25, 2025

25 WOODS LAKE ROAD
SUITE 210
GREENVILLE, SC 29607
864-751-9121

WWW.ADCENGINEERING.COM

Project Manager: Larry Barthelemy, P.E.
larryb@adcengineering.com
ADC Project No. 21470



Comprehensive Stormwater Pollution Prevention Plan (C-SWPPP) For Construction Activities:

Project/Site Name:

Airport Junction Site Infrastructure Package

Primary Permittee:

Airport Retail Investment, LLC

Project Address/Location:

260 Sea Island Parkway
Lady's Island, SC 29907
Beaufort County

Permittee/Owner Contact:

410 Mill Street, Building 1, Suite 200
Mt. Pleasant, SC 29464
843-645-7872
Kevin Rogers
krogers@wrsrealty.com

SWPPP Preparer:

ADC Engineering, Inc.
Larry Barthelemy, P.E.
25 Woods Lake Road, Suite 210
Greenville, South Carolina 29607
Ph: (864) 751-9121 / Fax: (843) 566-0162
Larryb@adcengineering.com

Day-to-Day Operator:

C-SWPPP Preparation Date:

April 25th, 2025



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**C-SWPPP is acronym for Comprehensive Storm Water Pollution Prevention Plan*

***OS-SWPPP is acronym for On-Site Storm Water Pollution Prevention Plan*



Airport Junction Site Infrastructure Package

Beaufort, SC
Beaufort County

Engineering Report

April 25, 2025

25 WOODS LAKE ROAD
SUITE 210
GREENVILLE, SC 29607
864-751-9121

WWW.ADCENGINEERING.COM

Project Manager: Larry Barthelemy, P.E.
larryb@adcengineering.com
ADC Project No. 21470



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Appendix A – Site Maps



DETAILED VICINITY MAP
SCALE: 1"=1,000'



OVERALL VICINITY MAP
SCALE: 1"=1,600'



25 WOODS LAKE ROAD
SUITE 210
GREENVILLE, SC 29607
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VICINITY MAPS

AIRPORT JUNCTION OUTLOTS

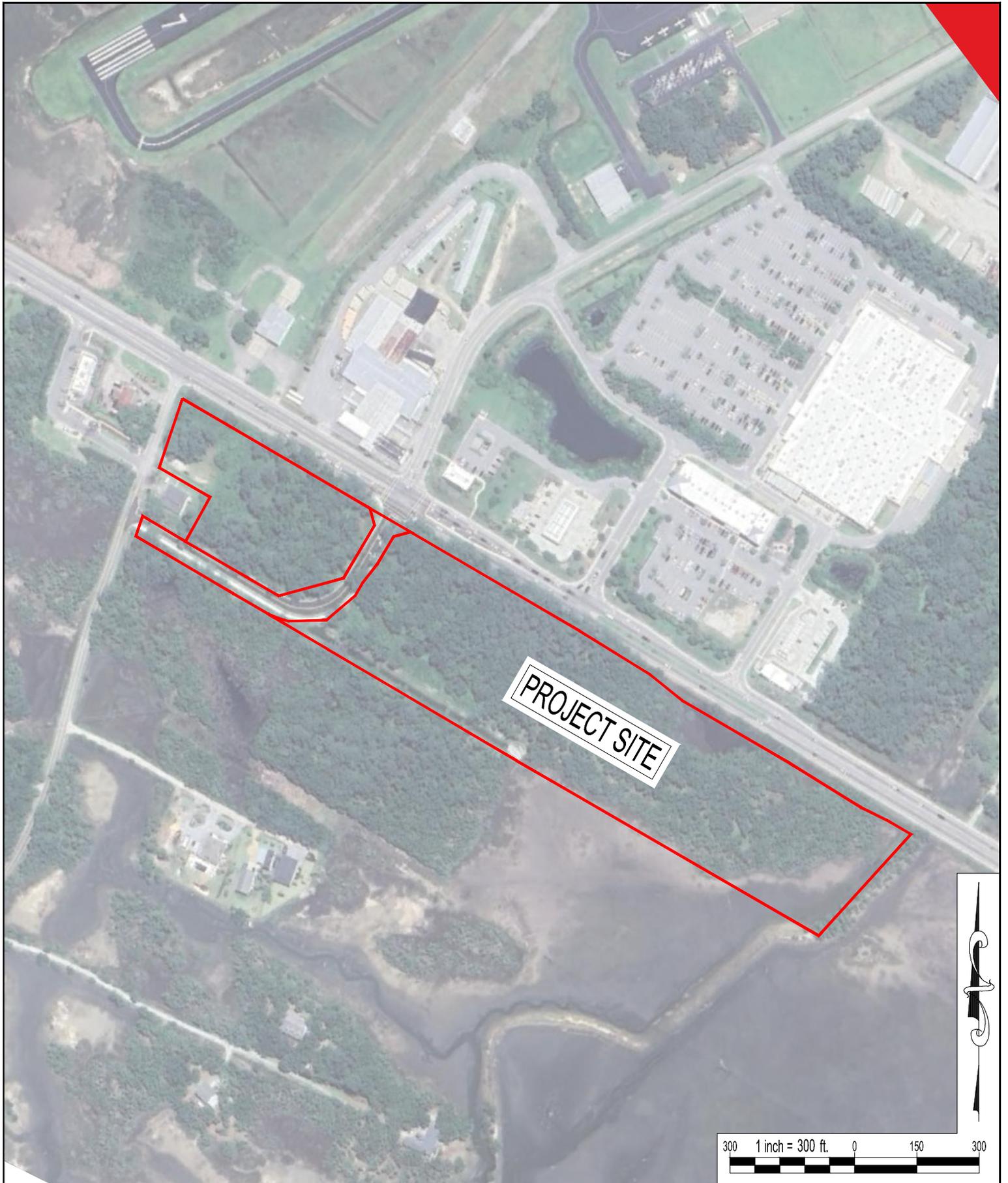
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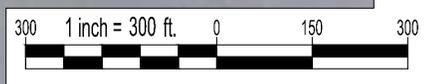
BEAUFORT COUNTY, SOUTH CAROLINA

REF:

ADC PROJECT#: 21470



PROJECT SITE



25 WOODS LAKE ROAD
SUITE 210
GREENVILLE, SC 29607
864-751-9121
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AERIAL PHOTOGRAPH

AIRPORT JUNCTION OUTLOTS

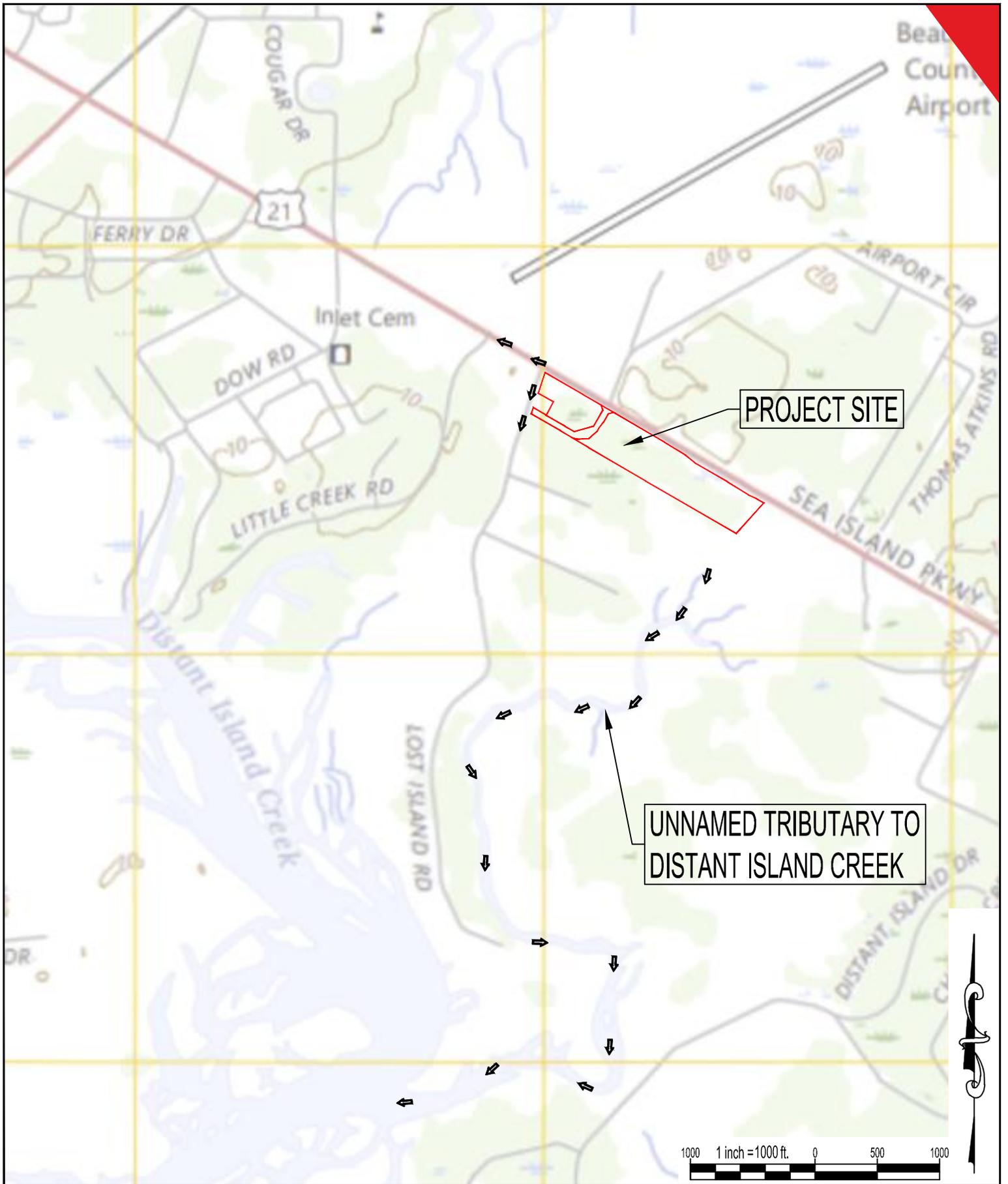
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DATE: 08/30/24

BEAUFORT COUNTY, SOUTH CAROLINA

REF:

ADC PROJECT#: 21470



25 WOODS LAKE ROAD
 SUITE 210
 GREENVILLE, SC 29607
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BEAUFORT QUADRANGLE

AIRPORT JUNCTION OUTLOTS

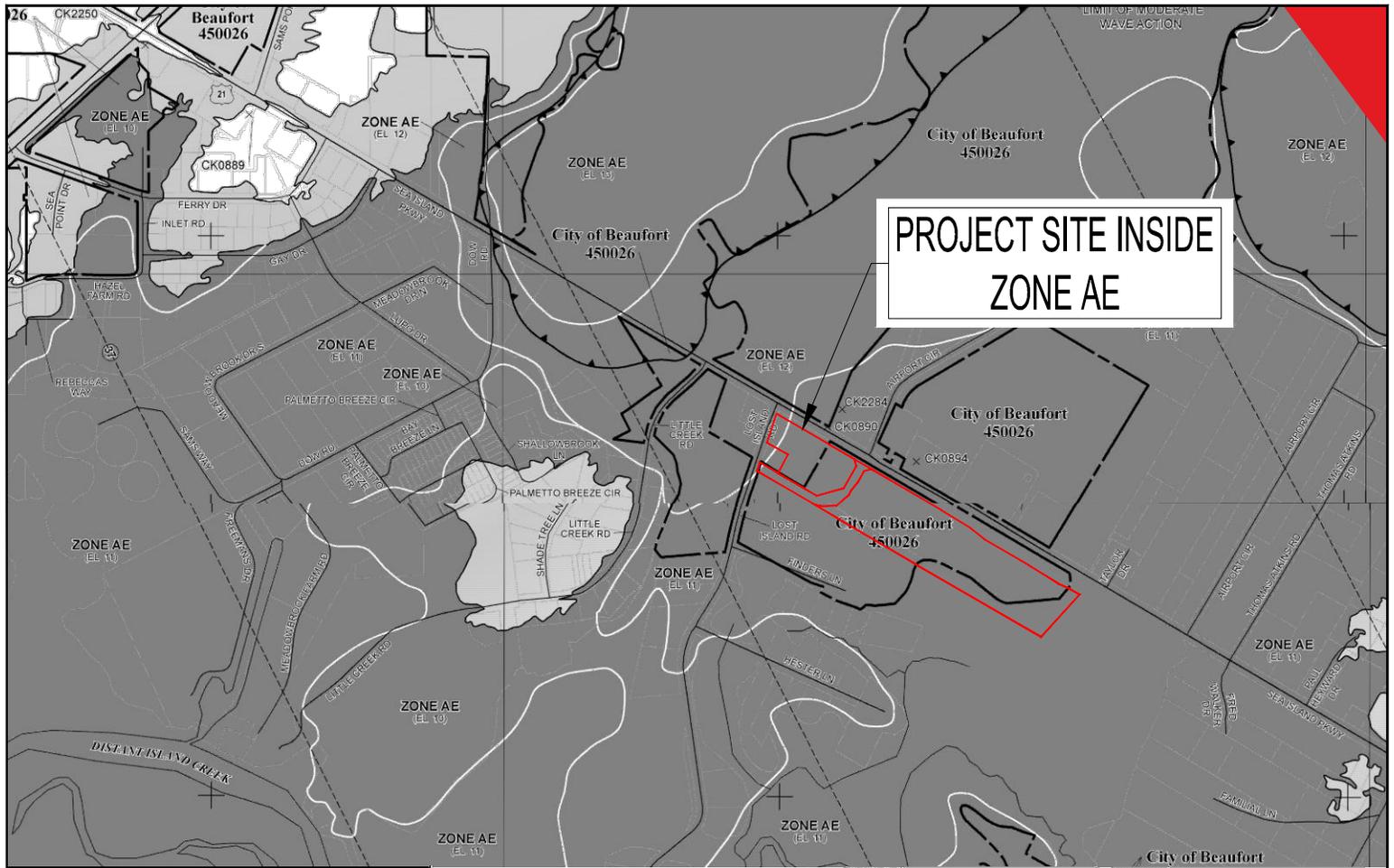
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DATE: 08/30/24

BEAUFORT COUNTY, SOUTH CAROLINA

REF:

ADC PROJECT#: 21470



**PROJECT SITE INSIDE
ZONE AE**

LEGEND

SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, AV, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

- ZONE A** No Base Flood Elevations determined.
 - ZONE AE** Base Flood Elevations determined.
 - ZONE AH** Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
 - ZONE AO** Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
 - ZONE AR** Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
 - ZONE AV9** Areas to be protected from 1% annual chance flood event by a Federal flood protection system under construction; no Base Flood Elevations determined.
 - ZONE V** Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
 - ZONE VE** Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.
- FLOODWAY AREAS IN ZONE AE**
- The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER AREAS

- ZONE X** Areas determined to be outside the 0.2% annual chance floodplain.
 - ZONE D** Areas in which flood hazards are undetermined, but possible.
- Floodplain boundary
 - Floodway boundary
 - Zone D boundary
 - Boundary dividing Special Flood Hazard Area Zones and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths, or flood velocities
 - Limit of Moderate Wave Action
 - Base Flood Elevation line and value; elevation in feet*
 - Base Flood Elevation value where uniform within zone; elevation in feet*
 - * Referenced to the North American Vertical Datum of 1988
 - Cross section line
 - Transect line
- Geographic coordinates referenced to the North American Datum of 1983 (NAD 83), Western Hemisphere
 1000-meter Universal Transverse Mercator grid ticks, zone 17
 5000-foot grid values: South Carolina State Plane coordinate system (FIPS20 = 3900), Lambert projection
 Bench mark (see explanation in Notes to Users section of this FIRM panel)
 River Mile

- OTHER FLOOD AREAS**
- ZONE X** Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

PANEL 0167G

FIRM
FLOOD INSURANCE RATE MAP
BEAUFORT COUNTY,
SOUTH CAROLINA
AND INCORPORATED AREAS

PANEL 167 OF 506
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

COMMUNITY NUMBER PANEL SUPERX
BEAUFORT COUNTY 45025 0167 G
BEAUFORT, CITY OF 45026 0167 G

MAP NUMBER
45013C0167G
EFFECTIVE DATE
MARCH 23, 2021

Federal Emergency Management Agency

PANEL 0169G

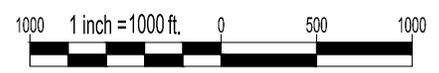
FIRM
FLOOD INSURANCE RATE MAP
BEAUFORT COUNTY,
SOUTH CAROLINA
AND INCORPORATED AREAS

PANEL 169 OF 506
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

COMMUNITY NUMBER PANEL SUPERX
BEAUFORT COUNTY 45025 0169 G
BEAUFORT, CITY OF 45026 0169 G

MAP NUMBER
45013C0169G
EFFECTIVE DATE
MARCH 23, 2021

Federal Emergency Management Agency



ADC ENGINEERING

25 WOODS LAKE ROAD
SUITE 210
GREENVILLE, SC 29607
864-751-9121
ADCENGINEERING.COM

FEMA FLOOD MAP

AIRPORT JUNCTION OUTLOTS

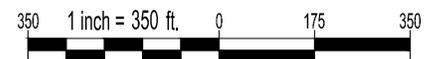
DATE: 08/30/24 BEAUFORT COUNTY, SOUTH CAROLINA REF:

A4

ADC PROJECT#: 21470



Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Bd	Bladen fine sandy loam	0.0	0.0%
CE	Capers association	14.6	41.1%
Rd	Ridgeland fine sand	0.6	1.7%
To	Tomotley loamy fine sand	3.6	10.3%
Wn	Williman loamy fine sand	16.7	46.9%
Totals for Area of Interest		35.5	100.0%



25 WOODS LAKE ROAD
SUITE 210
GREENVILLE, SC 29607
864-751-9121
ADCENGINEERING.COM

USDA SOILS DATA

AIRPORT JUNCTION OUTLOTS

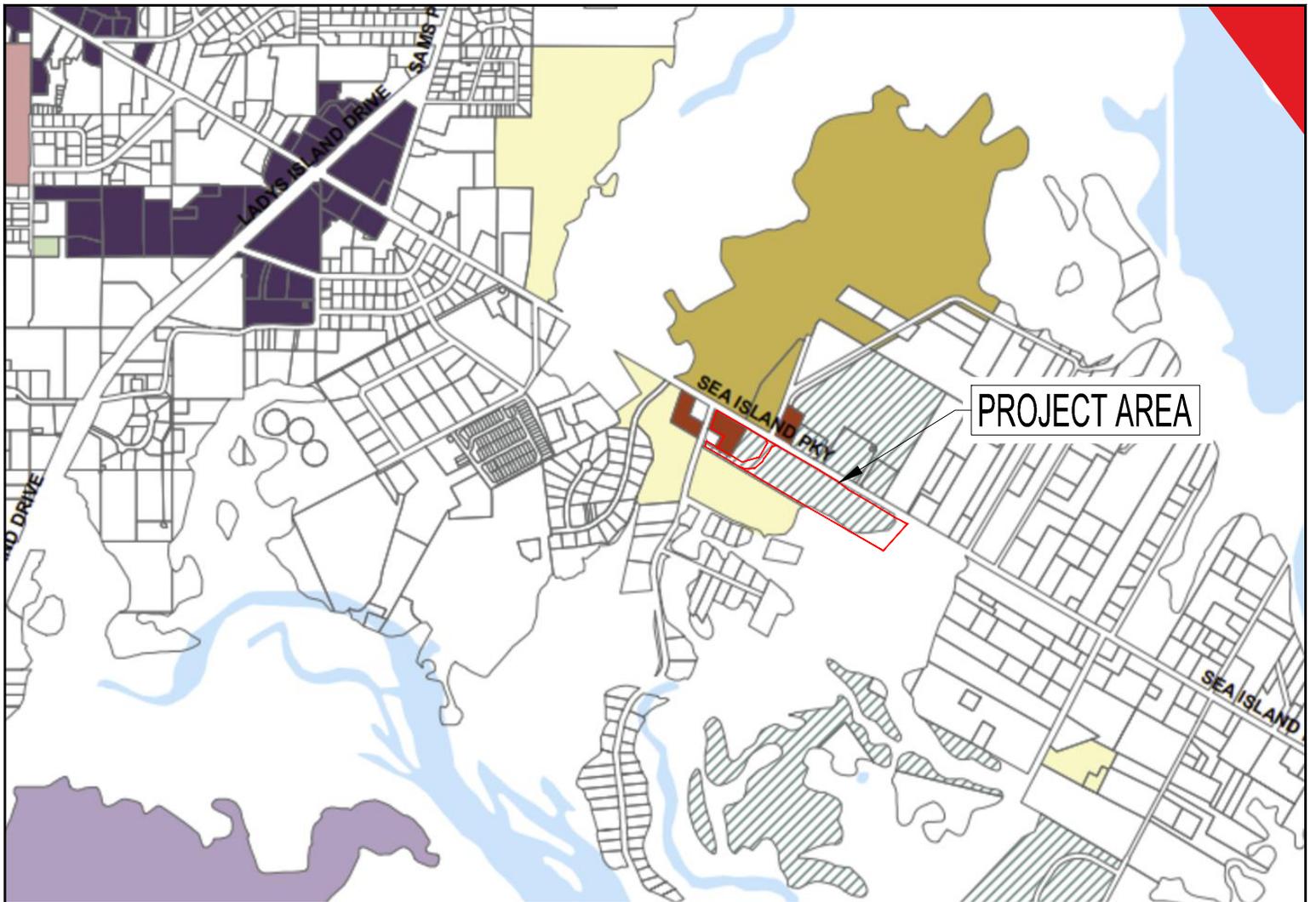
A5

DATE: 08/30/24

BEAUFORT COUNTY, SOUTH CAROLINA

REF:

ADC PROJECT#: 21470



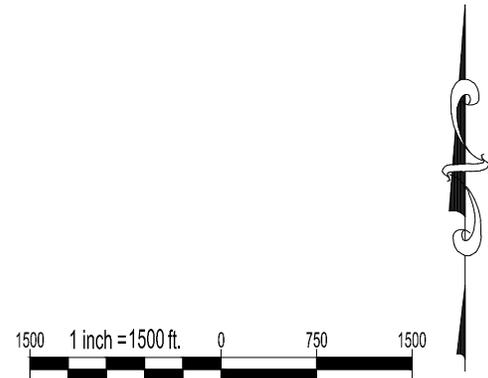
CITY OF BEAUFORT

- - - HISTORIC DISTRICT - Conservation Neighborhood
- HISTORIC DISTRICT-Preservation Neighborhood
- Boundary Street Redevelopment
- Bladen Street Redevelopment
- Retail Overlay

ZONING

- /// LEGACY PUD (LPUD)
- T1
- T3-S
- T3-N
- T4-HN
- T4-N
- T4-NA
- T5-DC
- T5-UC
- T5-UC / RMX
- RMX
- IC
- MH
- LI
- MR

PROJECT SITE IS IN ZONES:
 RMX - REGIONAL MIXED USE
 LEGACY PUD - LEGACY PLANNED UNIT
 DEVELOPMENT



ADC ENGINEERING

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 SUITE 210
 GREENVILLE, SC 29607
 864-751-9121
ADCENGINEERING.COM

ZONING MAP

AIRPORT JUNCTION OUTLOTS

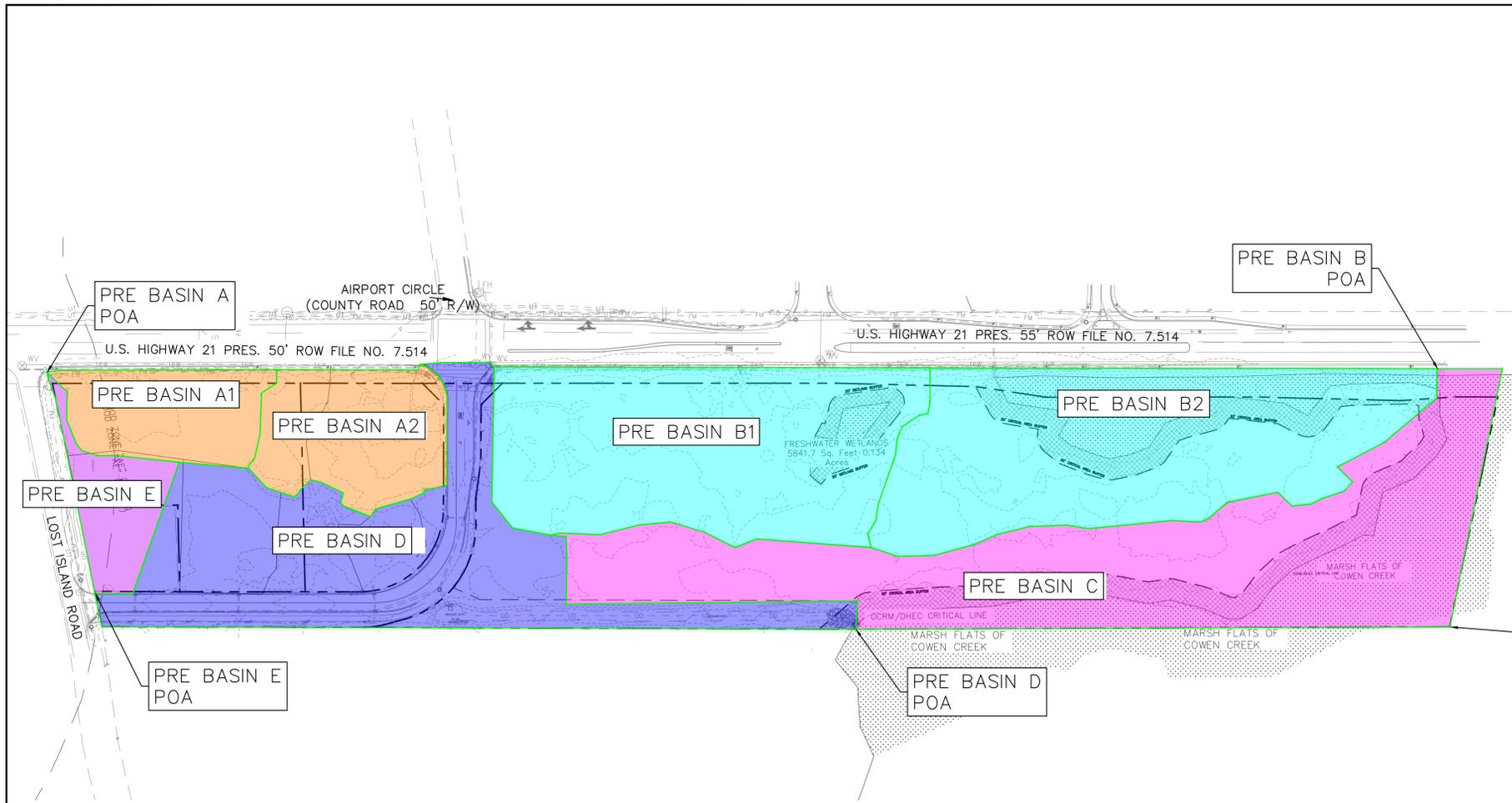
DATE: 08/30/24 BEAUFORT COUNTY, SOUTH CAROLINA REF:

A6

ADC PROJECT#: 21470



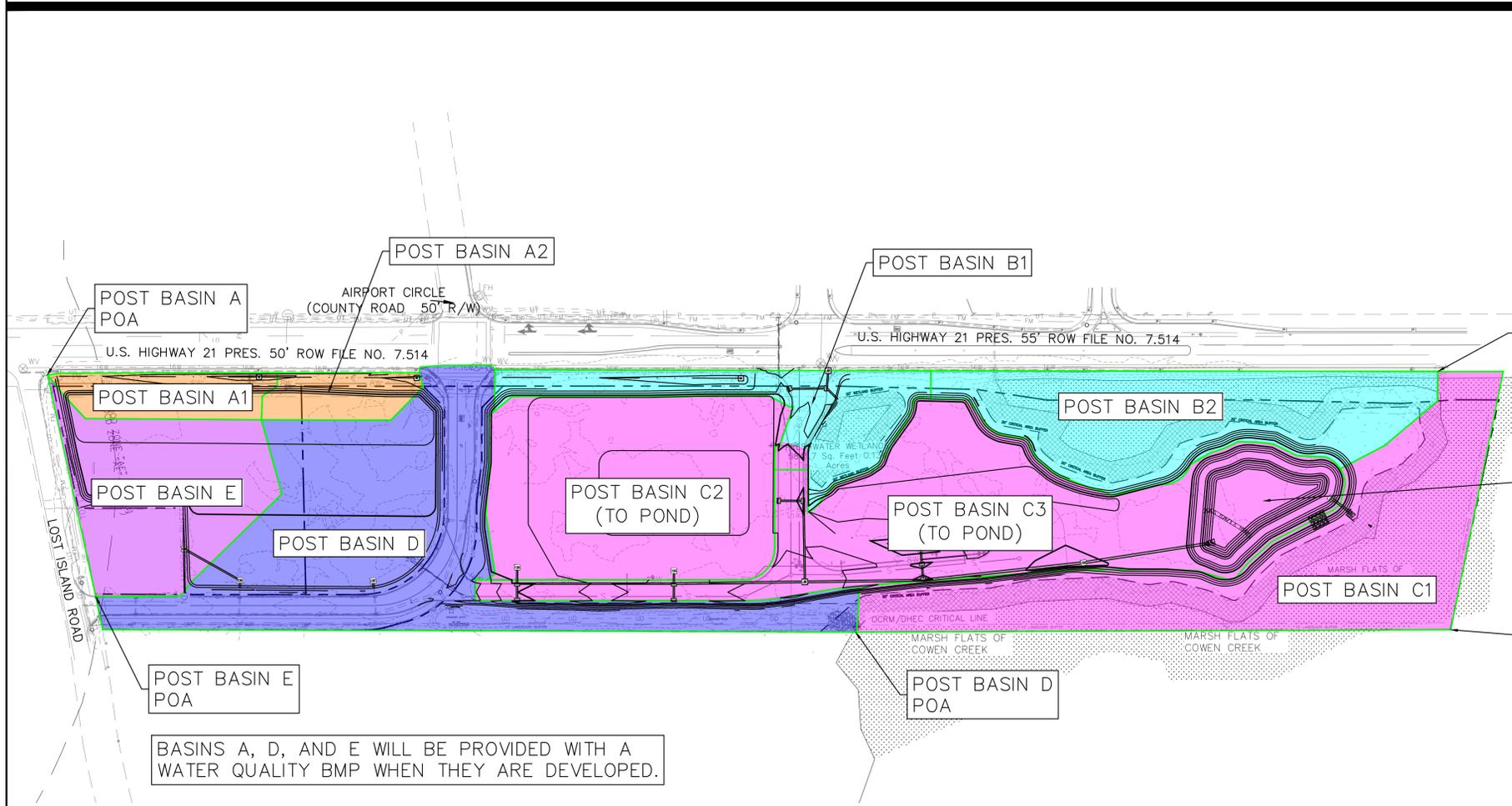
Appendix B – Drainage Maps / Watershed Maps / Wetlands Data



PRE-DEVELOPMENT CONDITIONS:									
	PRE A1	PRE A2	PRE POA A	PRE B1	PRE B2	PRE POA B	PRE C	PRE D	PRE E
ACERAGE (AC)	0.81	1.07	1.88	3.11	3.44	6.55	4.46	3.24	0.51
IMPERVIOUS AREA (AC)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	1.18	0.28
PERVIOUS AREA (AC)	0.81	1.07	1.88	3.11	3.44	6.55	4.46	2.06	0.23
STORMWATER RUNOFF									
POI	PRE A1	PRE A2	PRE POA A	PRE B1	PRE B2	PRE POA B	PRE C	PRE D	PRE E
2-YR (CFS)	1.0	1.9	2.7	4.6	5.5	10.2	7.8	6.1	1.7
10-YR (CFS)	1.9	3.5	5.1	8.8	10.5	19.2	14.7	10.5	2.8
25-YR (CFS)	2.5	4.6	6.7	11.4	13.6	24.9	19.1	13.3	3.5
50-YR (CFS)	3.0	5.5	8.0	13.7	16.3	30.0	23.0	15.7	4.1
100-YR (CFS)	3.5	6.4	9.4	16.0	19.1	35.0	26.9	18.0	4.7
WEIGHTED CN	79	79	79	79	79	79	79	86	88
TC (MIN.)	33.0	15.0		22.0	17.0		15.0	22.0	6.0
SHEET FLOW									
N-VALUE	0.4	0.4		0.4	0.4		0.4	0.4	0.011
LENGTH (FT)	100	100		100	100		100	100	100
SLOPE %	0.26	2.2		0.87	1.59		1.86	0.95	0.9
SHALLOW FLOW									
LENGTH (FT)	73	108		233	187		49.6	96.5	54.43
SLOPE %	4.2	1.8		1.9	2.6		1.7	0.2	1.7
PAVED/UNPAVED	UNPAVED	UNPAVED		UNPAVED	UNPAVED		UNPAVED	UNPAVED	UNPAVED

CIVIL LEGEND – DRAINAGE AREA:

DRAINAGE AREA LIMITS

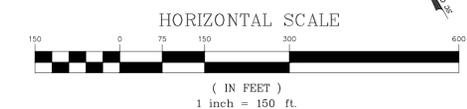


POST-DEVELOPMENT CONDITIONS:											
	POST A1	POST A2	POST POA A	POST B1	POST B2	POST POA B	POST C1	TO POND	POST POA C	POST D	POST E
ACERAGE (AC)	0.41	0.31	0.72	0.93	1.87	2.80	3.99	5.67	9.66	3.32	1.24
IMPERVIOUS AREA (AC)	0.12	0.16	0.28	0.14	0.00	0.14	1.26	4.51	5.77	2.50	0.61
PERVIOUS AREA (AC)	0.29	0.15	0.44	0.79	1.87	2.66	2.73	1.16	3.89	0.82	0.63
STORMWATER RUNOFF											
POI	POST A1	POST A2	POST POA A	POST B1	POST B2	POST POA B	POST C1	POND	POST POA C	POST D	POST E
2-YR (CFS)	1.2	1.0	2.3	1.5	3.1	4.7	4.8	1.0	5.6	12.4	4.9
10-YR (CFS)	2.1	1.7	3.9	2.8	5.8	8.6	9.0	8.4	15.2	19.6	8.0
25-YR (CFS)	2.7	2.2	4.9	3.6	7.5	11.1	11.7	21.0	32.5	24.1	9.9
50-YR (CFS)	3.2	2.5	5.7	4.3	9.0	13.3	14.1	34.4	48.4	27.9	11.6
100-YR (CFS)	3.7	2.9	6.6	5.0	10.5	15.4	16.4	44.6	60.8	31.8	13.2
WEIGHTED CN	85	89		82	80		79	94		94	91
TC (MIN.)	6.0	6.0		6.0	6.0		6.0	6.0		6.0	6.0

CIVIL LEGEND – DRAINAGE AREA:

DRAINAGE AREA LIMITS

BASINS A, D, AND E WILL BE PROVIDED WITH A WATER QUALITY BMP WHEN THEY ARE DEVELOPED.



PERMIT SET

Airport Retail Investment, LLC
Mount Pleasant, South Carolina

AIRPORT JUNCTION
SITE INFRASTRUCTURE PACKAGE

BEAUFORT
SOUTH CAROLINA



ADC ENGINEERING
25 WOODS LAKE ROAD, SUITE 210
GREENVILLE, SC 29607
864-751-9121
ADCENGINEERING.COM

811 CONTRACTOR SHALL CONTACT 811 (1-888-721-7877) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
Know what's below. Call before you dig.

DATE:	04/25/2025
ADC PROJECT #:	21470
DESIGNED:	HP
CHECKED:	LKB
DRAWN:	LKB
REVISION:	

DRAINAGE AREA PLAN

C330



Wetlands

- | | | | | | |
|------------------------------------------------------------------------------------|--------------------------------|-------------------------------------------------------------------------------------|-----------------------------------|---------------------------------------------------------------------------------------|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland |  | Lake |
|  | Estuarine and Marine Wetland |  | Freshwater Forested/Shrub Wetland |  | Other |
| | |  | Freshwater Pond |  | Riverine |



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DNR WETLANDS DATA		B2
AIRPORT JUNCTION OUTLOTS		
DATE: 08/30/24	BEAUFORT COUNTY, SOUTH CAROLINA	REF: ADC PROJECT#: 21470



DEPARTMENT OF THE ARMY
CHARLESTON DISTRICT, CORPS OF ENGINEERS
69A HAGOOD AVENUE
CHARLESTON, SOUTH CAROLINA 29403-5107
27 March 2019

Regulatory Division

COPY

Mr. Fred Trask
Airport Junction, LLC
P.O. Box 1256
Beaufort, South Carolina 29901

Dear Mr. Trask:

This letter is in response to a Pre-Construction Notification (PCN) (SAC-2018-01891) which we received on December 12, 2018, and was considered complete on March 21, 2019. By submittal of the PCN, you requested verification that the proposed project is authorized by a Department of the Army (DA) Nationwide Permit (NWP).

The PCN contains the following identifying information for this project. The work affecting waters of the United States is part of an overall project known as Airport Junction, to place fill material in freshwater wetlands for the construction of a commercial facility. The activities in waters of the United States include the construction of a commercial facility and attendant features. The project involves impacts to not more than 0.10 acre of waters of the United States. The project is located in freshwater wetlands of Factory Creek adjacent to and south of Sea Island Parkway, at the intersection of Lost Island Road, Beaufort County, South Carolina (Latitude: 32.4059 °N, Longitude: -80.6358 °W). The PCN also includes the following supplemental information:

- a. Drawing sheets 1-5 of 8 titled "SAC-2018-01891 Location Map Trask Development Client: Airport Junction, LLC" and dated February 12, 2019.
- b. A delineation of wetlands, other special aquatic sites, and other waters, verified by letter dated March 21, 2019.

Based on a review of the PCN, including the supplemental information indicated above, it has been determined that the proposed activity will result in minimal individual and cumulative adverse environmental effects and is not contrary to the public interest. Furthermore, the activity meets the terms and conditions of NWP 18 - Minor Discharges.

For this authorization to remain valid, the project must comply with the enclosed NWP General Conditions, Charleston District Regional Conditions, and the following special conditions:

- a. **That impacts to aquatic areas do not exceed those specified in the above mentioned PCN, including any supplemental information or revised permit drawings that were submitted to the Corps by the permittee.**
- b. **That the construction, use, and maintenance of the authorized activity is in accordance with the information given in the PCN, including the supplemental**

information listed above, and is subject to any conditions or restrictions imposed by this letter.

- c. That the permittee shall submit the attached signed compliance certification to the Corps within 30 days following completion of the authorized work.**

This verification is valid until March 18, 2022, unless the district engineer modifies, suspends, or revokes the NWP authorization in accordance with 33 CFR 330.5(d). If prior to this date, the NWP authorization is reissued without modification or the activity complies with any subsequent modification of the NWP authorization, the verification continues to remain valid until March 18, 2022. If you commence, or are under contract to commence, this activity before the NWP expires, or the NWP is modified, suspended, or revoked by the Chief of Engineers or division engineer in accordance with 33 CFR 330.5(b) or (c), respectively, so that the activity would no longer comply with the terms and conditions of the NWP, you will have 12 months after the date the NWP expires or is modified, suspended, or revoked, to complete the activity under the present terms and conditions of this NWP.

This NWP is being verified based on the information you have provided. It is your responsibility to read the attached NWP(s) along with the General, Regional, and Special Conditions before you begin work. If you determine that your project will not be able to meet the NWP and the conditions, you must contact the Corps before you proceed.

In all future correspondence concerning this matter, please refer to our file number SAC-2018-01891. A copy of this letter is being forwarded to certain State and/or Federal agencies for their information. If you have any questions concerning this matter, please contact Courtney M. Stevens, Project Manager, at (843) 329-8027.

Sincerely,



ESTILL.LESLIE.A.13865

71968

2019.03.27 14:29:18

-04'00'

Leslie Estill
Project Manager

Enclosures:

Permit Drawings
NWP 18 - Minor Discharges
Nationwide Permit General Conditions
Nationwide Permit Regional Conditions
Compliance Certification Form

Copies Furnished:

Mr. Asher Howell
Newkirk Environmental Inc.
73 Sea Island Parkway, Suite 20
Beaufort, South Carolina 29907
asher@newkirkenv.com

South Carolina Department of
Health and Environmental Control
Bureau of Water
2600 Bull Street
Columbia, South Carolina 29201

South Carolina Department of Health
and Environmental Control
Office of Ocean and Coastal
Resource Management
1362 McMillan Avenue, Suite 400
Charleston, South Carolina 29405



PERMITTED PLANS

SAC-2018-01891



P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
 PH (843) 837-5250 / FAX (843) 837-2558
 WWW.WARDEDWARDS.COM

LOCATION MAP
 TRASK DEVELOPMENT
 CLIENT: AIRPORT JUNCTION, LLC

LOCATION: CITY OF BEAUFORT, SC
 DATE: 02/12/19
 PROJECT #: 170232A

SHEET: 1 OF 8
 SCALE: 1" = 2000'



PERMITTED PLANS

SAC-2018-01891

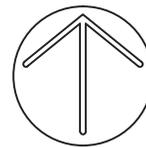
LOCATION MAP
 TRASK DEVELOPMENT
 CLIENT: AIRPORT JUNCTION, LLC

LOCATION: CITY OF BEAUFORT, SC
 DATE: 02/12/19
 PROJECT #: 070232A

SHEET: 2 OF 8
 SCALE: 1" = 2000'



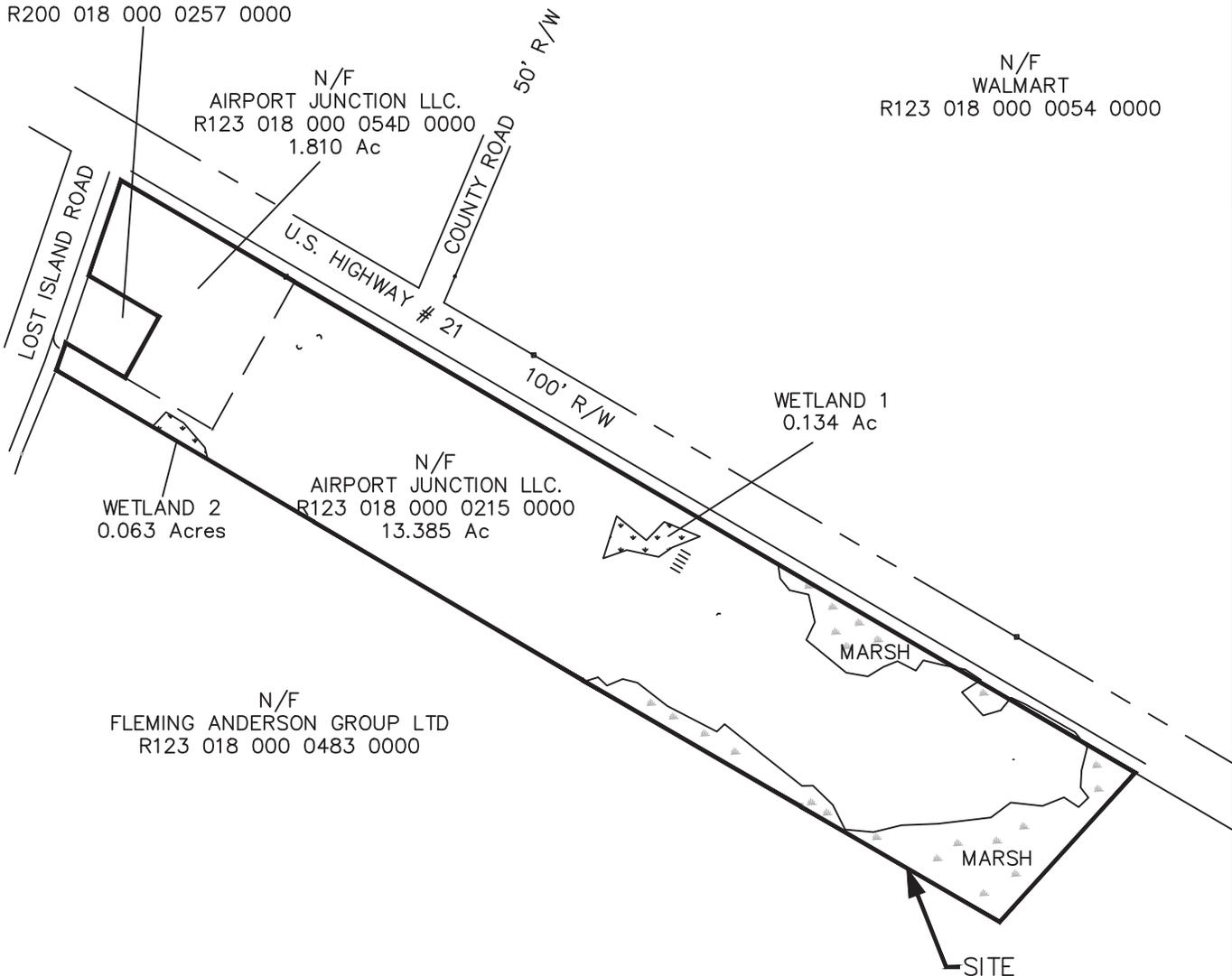
P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
 PH (843) 837-5250 / FAX (843) 837-2558
 WWW.WARDEDWARDS.COM



N/F
GRADEN COMPANY LLC.
R200 018 000 0257 0000

N/F
AIRPORT JUNCTION LLC.
R123 018 000 054D 0000
1.810 Ac

N/F
WALMART
R123 018 000 0054 0000



N/F
FLEMING ANDERSON GROUP LTD
R123 018 000 0483 0000

PERMITTED PLANS

SAC-2018-01891

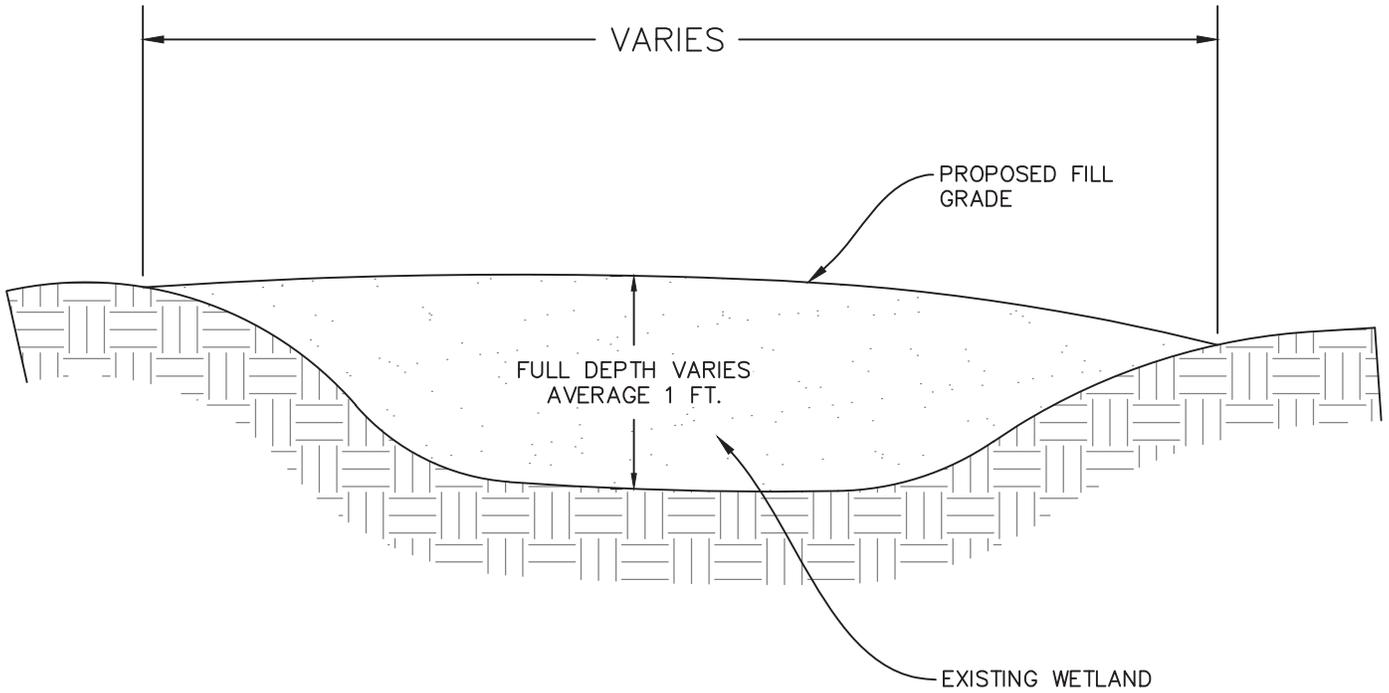


P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
PH (843) 837-5250 / FAX (843) 837-2558
WWW.WARDEDWARDS.COM

LOCATION MAP
TRASK DEVELOPMENT
CLIENT: AIRPORT JUNCTION, LLC

LOCATION: CITY OF BEAUFORT, SC
DATE: 02/12/19
PROJECT #: 070232A

SHEET: 3 OF 8
SCALE: 1" = 300'



TYPICAL WETLAND FILL

NOT TO SCALE

FILL ESTIMATION

WETLAND 1
 FILL VOLUME = 1,620 FT² X 1 FT = 1,620 FT³ = 60 CY

WETLAND 2
 FILL VOLUME = 2,756 FT² X 1 FT = 2,756 FT³ = 102 CY

PERMITTED PLANS

SAC-2018-01891

LOCATION MAP
 TRASK DEVELOPMENT
 CLIENT: AIRPORT JUNCTION, LLC

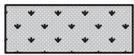
LOCATION: CITY OF BEAUFORT, SC
 DATE: 02/12/19
 PROJECT #: 070232A

SHEET: 4 OF 8
 SCALE: N.T.S.



P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
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LEGEND



JURISDICTIONAL WETLANDS TO BE FILLED



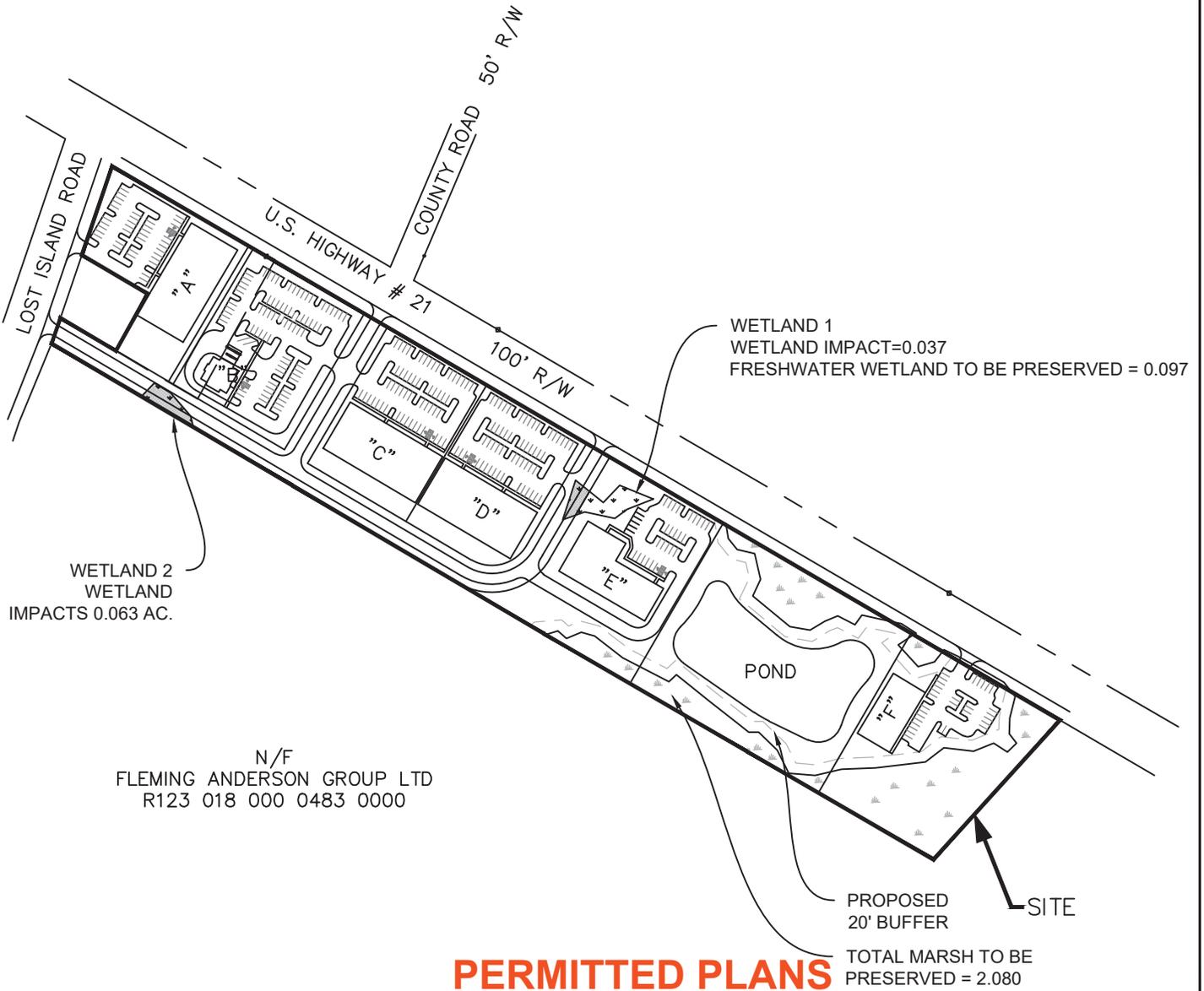
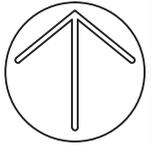
WETLAND TO BE PRESERVED



MARSH TO BE PRESERVED

SUMMARY INFORMATION

TOTAL SITE	15.565 AC.
WETLAND 1	0.134 AC.
WETLAND 2	0.063 AC.
TOTAL WETLANDS	0.197 AC.
TOTAL JURISDICTIONAL WETLANDS TO BE FILLED	0.100 AC.
MARSH	2.080 AC.



SAC-2018-01891



P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
 PH (843) 837-5250 / FAX (843) 837-2558
 WWW.WARDEDWARDS.COM

LOCATION MAP
 TRASK DEVELOPMENT
 CLIENT: AIRPORT JUNCTION, LLC

LOCATION: CITY OF BEAUFORT, SC
 DATE: 02/12/19
 PROJECT #: 070232A

SHEET: 5 OF 8
 SCALE: 1"= 300'



Watershed and Water Quality Information

SC Department of Environmental Services

General Information

Applicant Name:

Permit Type: MS4

Address: 260 Sea Island Pkwy, Beaufort, SC, 29907

Latitude/Longitude: 32.405619 / -80.635223

MS4 Designation: Not in designated area

Monitoring Station: 15-23

Within Coastal Critical Area: Yes

Water Classification (Provisional):

Waterbody Name:

Entered Waterbody Name:

Parameter Description

NH3N	Ammonia	CD	Cadmium	CR	Chromium
CU	Copper	HG	Mercury	NI	Nickel
PB	Lead	ZN	Zinc	DO	Dissolved Oxygen
PH	pH	TURBIDITY	Turbidity	ECOLI	Escherichia coli (Freshwaters)
FC	Fecal Coliform (Shellfish)	BIO	Macroinvertebrates (Bio)	TP	(Lakes) Phosphorus
TN	(Lakes) Nitrogen	CHLA	(Lakes) Chlorophyll a	ENTERO	Enterococcus (Coastal Waters)
HGF	Mercury (Fish Tissue)	PCB	PCB (Fish)		

Impaired Status (downstream sites)

Station	NH3N	CD	CR	CU	HG	NI	PB	ZN	DO	PH	TURBIDITY	ECOLI	FC	BIO	TP	TN	CHLA	ENTERO	HGF	PCB	
15-23	X	X	X	X	X	X	X	X	X	X	X	X	F	X	X	X	X	X	X	X	X

F = Standards full supported A = Assessed at upstream station WnTN = Within TMDL, parameter not supported WnTF = Within TMDL, parameter full supported
 N = Standards not supported X = Parameter not assessed at station InTN = In TMDL, parameter not supported InTF = In TMDL, parameter full supported

Parameters to be addressed (those not supporting standards)

Fish Consumption Advisory

Waters of Concern (WOC)

TMDL Information - TMDL Parameters to be addressed

In TMDL Watershed: No
TMDL Report No:
TMDL Document Link:

TMDL Site:
TMDL Parameter:

Beaufort River/ Port Royal Sound Watershed (03050208-05)

- 1 Mulligan Creek
- 2 Salt Creek
- 3 Pigeon Point Creek
- 4 Morse Island Creek

PROJECT SITE

- ▽ Macroinvertebrate Stations
- ▽ Water Quality Monitoring Stations
- ▽ Approved TMDL
- ▲ Groundwater Monitoring Stations
- ▽ Special Study Stations
- Shellfish Monitoring Stations
- ✂ Mines
- Landfills
- NPDES Permits
- ◆ Land Application Permits
- Natural Swimming Areas
- ≡ Interstates
- ≡ Railroad Lines
- ≡ Highways
- ≡ County Lines
- ≡ Modeled Stream
- ≡ Stream
- Lake
- Bay/Estuary
- Wetland
- 10-Digit Hydrologic Units
- Cities/Towns
- Public Lands



0 1 2 4 Miles

C-24

10000 1 inch = 10000 ft. 0 5000 10000



25 WOODS LAKE ROAD
SUITE 210
GREENVILLE, SC 29607
864-751-9121
ADCENGINEERING.COM

WATERSHED BASIN MAP

AIRPORT JUNCTION OUTLOTS

B5

DATE: 08/30/24

BEAUFORT COUNTY, SOUTH CAROLINA

REF:

ADC PROJECT#: 21470

AIRPORT JUNCTION SITE INFRASTRUCTURE PACKAGE

SEA ISLAND PARKWAY, BEAUFORT, SC 29907

Airport Retail Investment, LLC
Mount Pleasant, South Carolina

AIRPORT JUNCTION
SITE INFRASTRUCTURE PACKAGE

BEAUFORT
SOUTH CAROLINA



ADC ENGINEERING
25 WOODS LAKE ROAD, SUITE 210
GREENVILLE, SC 29607
864-751-9121
ADCENGINEERING.COM



DATE: 04/25/2025
ADC PROJECT #: 21470
DESIGNED: HP
CHECKED: LXB
DRAWN: LXB
REVISION:

CIVIL COVER SHEET

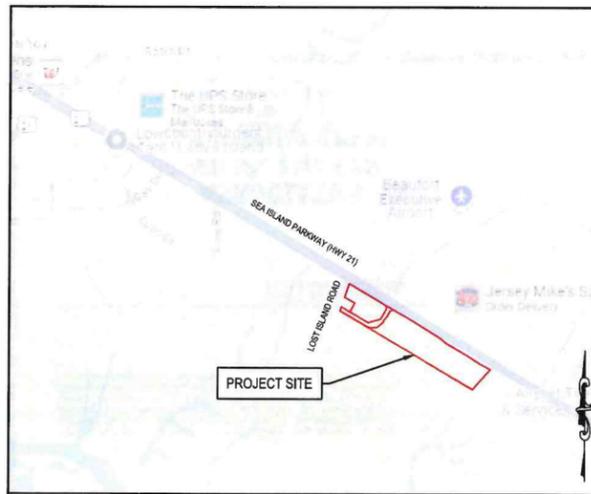
C001

PERMIT SET

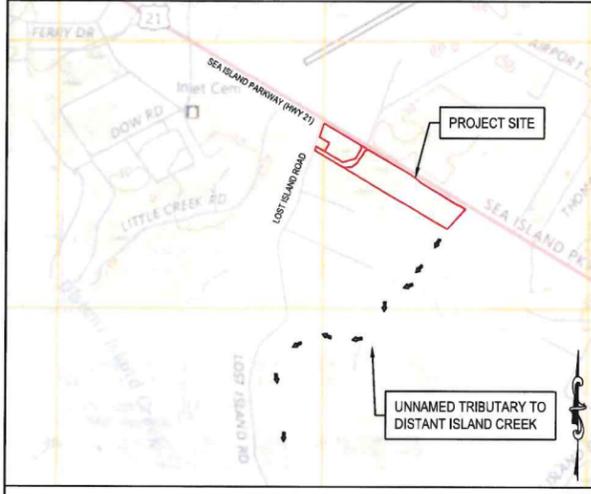
CIVIL AND LANDSCAPE DRAWING LIST			
SHEET	TITLE	ISSUED	REVISED
C001	CIVIL COVER SHEET	4/25/2025	
	TOPOGRAPHIC SURVEY (PROVIDED BY GASQUE & ASS., INC.)	7/10/2024	
C002	OVERALL SITE PLAN	4/25/2025	
C101	DEMOLITION PLAN - AREA 1	4/25/2025	
C102	DEMOLITION PLAN - AREA 2	4/25/2025	
C201	SITE PLAN - AREA 1	4/25/2025	
C202	SITE PLAN - AREA 2	4/25/2025	
C220	VEHICLE CIRCULATION PLAN	4/25/2025	
C301	GRADING PLAN - AREA 1	4/25/2025	
C302	GRADING PLAN - AREA 2	4/25/2025	
C310	STORM DRAINAGE PROFILES	4/25/2025	
C320	STORMWATER POND PLAN	4/25/2025	
C330	DRAINAGE AREA PLAN	4/25/2025	
C401	UTILITY PLAN - AREA 1	4/25/2025	
C402	UTILITY PLAN - AREA 2	4/25/2025	
C410	UTILITY PROFILES	4/25/2025	
C610	CIVIL DETAILS - TRAFFIC CONTROL	4/25/2025	
C620	CIVIL DETAILS - SITE	4/25/2025	
C621	CIVIL DETAILS - SITE	4/25/2025	
C622	CIVIL DETAILS - SITE	4/25/2025	
C623	CIVIL DETAILS - PAVEMENT MARKINGS	4/25/2025	
C630	CIVIL DETAILS - STORM DRAINAGE	4/25/2025	
C631	CIVIL DETAILS - STORM DRAINAGE	4/25/2025	
C632	CIVIL DETAILS - STORM DRAINAGE	4/25/2025	
C640	CIVIL DETAILS - UTILITY	4/25/2025	
C641	CIVIL DETAILS - UTILITY	4/25/2025	
C700	EROSION CONTROL NOTES	4/25/2025	
C711	EROSION CONTROL PLAN - INITIAL PHASE - AREA 1	4/25/2025	
C712	EROSION CONTROL PLAN - INITIAL PHASE - AREA 2	4/25/2025	
C721	EROSION CONTROL PLAN - CONSTRUCTION PHASE - AREA 1	4/25/2025	
C722	EROSION CONTROL PLAN - CONSTRUCTION PHASE - AREA 2	4/25/2025	
C731	EROSION CONTROL PLAN - STABILIZATION PHASE - AREA 1	4/25/2025	
C732	EROSION CONTROL PLAN - STABILIZATION PHASE - AREA 2	4/25/2025	
C740	CIVIL DETAILS - EROSION CONTROL	4/25/2025	
C741	CIVIL DETAILS - EROSION CONTROL	4/25/2025	
C742	CIVIL DETAILS - EROSION CONTROL	4/25/2025	
C743	CIVIL DETAILS - EROSION CONTROL	4/25/2025	
L200	OVERALL LANDSCAPE PLANTING PLAN	4/25/2025	
L201	LANDSCAPE PLANTING PLAN - AREA 1	4/25/2025	
L202	LANDSCAPE PLANTING PLAN - AREA 2	4/25/2025	
L300	LANDSCAPE PLANTING DETAILS, SCHEDULE & NOTES	4/25/2025	

PROJECT INFORMATION	
DEVELOPMENT DATA	
PROJECT NAME	AIRPORT JUNCTION SITE INFRASTRUCTURE PACKAGE
DEVELOPMENT DESCRIPTION	THE PROJECT INCLUDES: - MASS GRADING OF SITE - NEW DRIVES AND SIDEWALKS - NEW STORM DRAINAGE - NEW UTILITIES
PROJECT OWNER	AIRPORT RETAIL INVESTMENT, LLC (KEVIN ROGERS 404-275-3378)
PROJECT CIVIL ENGINEER	ADC ENGINEERING, INC. (LARRY BARTHELEMY 864-751-9122)
PROJECT LANDSCAPE ARCHITECT	ADC ENGINEERING, INC. (FRED GUTHIER 864-751-9121)
PROPERTY INFORMATION	
TMS	R123 018 000 054D, R123 018 000 0799, R123 018 000 0215
ADDRESS	240 & 260 SEA ISLAND PKWY, BEAUFORT, SC 29907
STREET CLASSIFICATION(S)	SEA ISLAND PKWY (US 21)
NEW CONNECTOR ROAD	CITY OF BEAUFORT
LOST ISLAND RD	BEAUFORT COUNTY
FLOOD ZONE STATEMENT	THIS PROPERTY IS LOCATED IN FLOOD ZONE AE. BASE FLOOD ELEVATIONS DETERMINED TO BE 11', AS DEPICTED ON PRELIMINARY FEMA COMMUNITY PANEL 45013C0169G & 45013C0167G, DATED MARCH 23, 2021.
SUBDIVISION STATUS	SUBDIVISION TO BE COMPLETED IN THE FUTURE
WETLAND STATUS	FRESHWATER AND SALT WATER WETLANDS ON SITE. 0.035 ACRES OF FRESHWATER WETLANDS WILL BE FILLED IN ACCORDANCE WITH USACE PERMIT SAC.2018-01891.
ZONING INFORMATION	
MUNICIPALITY	CITY OF BEAUFORT
EXISTING ZONING	PUD (AIRPORT JUNCTION PLANNED UNIT DEVELOPMENT)
PROPOSED ZONING	PUD (AIRPORT JUNCTION PLANNED UNIT DEVELOPMENT)
ADJACENT ZONING	
NORTH	SEA ISLAND PKY (US 21)
SOUTH	T3-S (SUBURBAN DISTRICT SINGLE-FAMILY RESIDENTIAL) & OCRM CRITICAL AREA
EAST	OCRM CRITICAL AREA
WEST	LOST ISLAND RD & S-1 (INDUSTRIAL)
HEIGHT LIMITATION	50'

SETBACKS		
	REQUIRED	PROVIDED
FRONT (SEA ISLAND PKWY)	15'	15'
REAR	15'	15'
SIDE (EAST)	15'	15'
SIDE (WEST)	15'	15'
BUFFERS		
	REQUIRED	PROVIDED
FRONT (SEA ISLAND PKWY)	15'	15'
REAR	10'	10'
SIDE (EAST)	10'	10'
SIDE (WEST)	10'	10'
FRESHWATER WETLANDS	20'	20'
SALT WATER WETLANDS	30'	30'



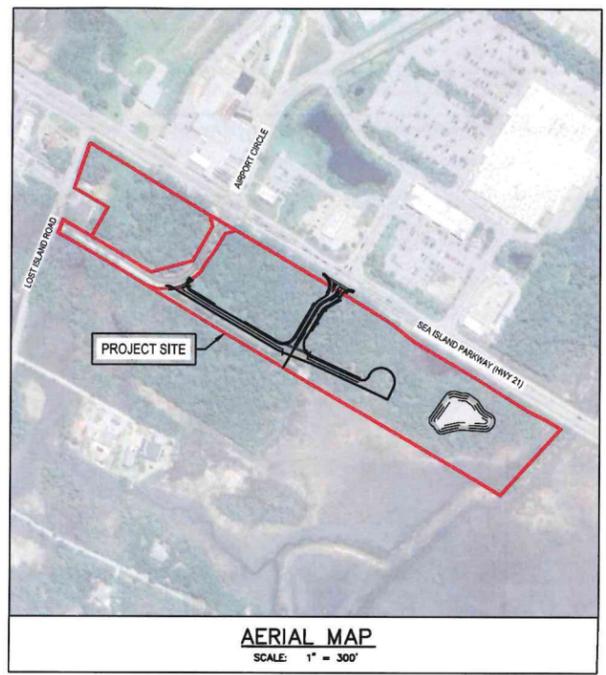
LOCATION MAP
SCALE: 1" = 1,000'



QUAD MAP
SCALE: 1" = 1,000'

CIVIL ABBREVIATIONS:

BTM	BOTTOM	OC	ON CENTER
BM	BENCHMARK	ODSA	OPERATOR OF DAY TO DAY SITE ACTIVITIES
BMP	EROSION CONTROL BEST MANAGEMENT PRACTICES	PC	POINT OF CURVATURE
BW	BOTH WAYS	POA	POINT OF ANALYSIS
CB	CATCH BASIN	PP	POWER POLE
CI	CURB INLET	PT	POINT OF TANGENT
CGP	NPDES CONSTRUCTION GENERAL PERMIT SCR 100000	PVC	POLYVINYL CHLORIDE
CL	CENTERLINE	PVMT	PAVEMENT
CMP	CORRUGATED METAL PIPE	RAD	RADIUS
CO	CLEANOUT	RCP	REINFORCED CONCRETE PIPE
CONC	CONCRETE	RD	ROOF DRAIN
CY	CUBIC YARDS	REQD	REQUIRED
DCVA	DOUBLE CHECK VALVE ASSEMBLY	RPBP	REDUCED PRESSURE BACKFLOW PREVENTER
DI	DROP INLET	R/W	RIGHT OF WAY
DIA	DIAMETER	SABC	STABILIZED AGGREGATE BASE COURSE
DIP	DUCTILE IRON PIPE	SF	SQUARE FEET
DS	DOWNSPOUT	SWPPP	STORM WATER POLLUTION PREVENTION PLAN
EL	ELEVATION	SB	SILT BARRIER
EXST	EXISTING	SCDES	SOUTH CAROLINA DEPARTMENT OF ENVIRONMENTAL SERVICES
EW	EACH WAY	SCDOT	SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION
FFE	FINISHED FLOOR ELEVATION	SD	STORM DRAINAGE
FG	FINISHED GRADE	SS	SANITARY SEWER SERVICE
FH	FIRE HYDRANT	STA	STATION
FM	FORCE MAIN	TELECOM	TELECOMMUNICATION
HDPE	HIGH DENSITY POLYETHYLENE	TBM	TEMPORARY BENCH MARK
IW	IN ACCORDANCE WITH	TC	TOP OF CURB
IE	INVERT ELEVATION	TG	TOP OF GUTTER
JB	JUNCTION BOX	TP	TOP OF PAVEMENT
LF	LINEAR FEET	TYP	TYPICAL
LOD	LIMITS OF DISTURBANCE	VC	VITRIFIED CLAY
LP	LIGHT POLE	W	WATER
MAX	MAXIMUM	W	WITH
MH	MANHOLE	WS	WATER SERVICE
MIN	MINIMUM	WV	WATER VALVE
MS4	MUNICIPAL SEPARATE STORM SEWER SYSTEM		
NOI	NOTICE OF INTENT		
NOT	NOTICE OF TERMINATION		
NTS	NOT TO SCALE		



AERIAL MAP
SCALE: 1" = 300'

AIRPORT JUNCTION SITE
INFRASTRUCTURE PACKAGE
BJWSA PROJECT #: 2025-___

GENERAL SWPPP NOTES:

- ALL CONTRACTORS/SUBCONTRACTORS/PERSONS THAT WILL BE ENGAGED IN LAND DISTURBING ACTIVITIES SHALL COMPLY WITH ALL EROSION CONTROL AND STORMWATER POLLUTION PREVENTION REQUIREMENTS CONTAINED THROUGHOUT THE DRAWINGS, SWPPP, SPECIFICATIONS AND PERMITS.
- THE CONTRACTOR SHALL PLACE 4" OF TOPSOIL IN ALL LANDSCAPE AREAS. THE CONTRACTOR SHALL ALSO PROVIDE TEMPORARY SEEDING AND PERMANENT STABILIZATION IN ALL AREAS INSIDE OR OUTSIDE THE LIMITS OF CONSTRUCTION THAT ARE DISTURBED BY THE CONTRACTOR'S OPERATIONS.
- IT IS THE CONTRACTORS RESPONSIBILITY FOR DESIGN, ADEQUACY AND IMPLEMENTATION OF ALL DEWATERING. ALL DEWATERING ACTIVITIES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STORMWATER POLLUTION PREVENTION PLAN.

GENERAL UTILITY NOTES:

- ALL UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF SCDES AND BEAUFORT JASPER WATER AND SEWER AUTHORITY (BJWSA), WHERE ANY DISCREPANCIES EXIST BETWEEN THESE DOCUMENTS, THE MOST STRICT REQUIREMENTS SHALL BE ADHERED TO.
 - INSPECTIONS AND TESTING IN ACCORDANCE WITH PROJECT AND BJWSA SPECIFICATIONS
 - PREPARATION, REVIEW, AND CORRECTION OF AS-BUILT/RECORD DRAWINGS PROVIDED BY CONTRACTOR'S SURVEYOR.
 - PREPARATION, REVIEW, AND CORRECTION OF EASEMENT PLATS AND LEGAL DESCRIPTION PREPARED BY CONTRACTOR'S SURVEYOR.
 - PREPARATION AND EXECUTION OF WAIVER OF LIEN BY UTILITY SUBCONTRACTOR
 - PREPARATION AND EXECUTION OF LEGAL DOCUMENTS BY OWNER AND UTILITY OPERATOR
- CONTRACTOR SHALL CONTACT PALMETTO UTILITY LOCATION SERVICE AT 811 OR 1-888-721-7877 PRIOR TO ANY WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD LOCATING AND PROTECTING ALL UTILITIES. CONTACT THE ENGINEER IN THE EVENT THAT UTILITIES CONFLICT WITH NEW FACILITIES.
- WATER AND WASTEWATER SYSTEM CLOSEOUT:
 - CONTRACTOR SHALL SCHEDULE WORK AND ACCOUNT FOR INFORMATION OF THESE REQUIREMENTS IS LOCATED IN THE

GENERAL NOTES:

- THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING 811 FOR UTILITY LOCATION AND DETERMINING THE EXACT LOCATION OF ALL UTILITIES PRIOR TO BEGINNING ANY WORK. IF UTILITIES OTHER THAN THOSE SHOWN HEREON ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY AND TAKE APPROPRIATE MEASURES TO PROTECT THE LINE(S) AND ENSURE CONTINUED SERVICE. DAMAGE CAUSED TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL VERIFY THE CONNECTION POINTS OF NEW UTILITIES TO EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL REVIEW AND STAMP APPROVED ANY AND ALL SHOP DRAWINGS AND SUBMITTALS PRIOR TO SUBMITTING TO THE ENGINEER FOR REVIEW.
- IN PERFORMING CONSTRUCTION OBSERVATION VISITS TO THE JOB SITE, THE ENGINEER SHALL HAVE NO CONTROL OVER NOR RESPONSIBILITY FOR THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES IN PERFORMING THE WORK.
- THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES IN PERFORMING THE WORK IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR, WHO IS ALSO RESPONSIBLE FOR COMPLYING WITH ALL HEALTH AND SAFETY PRECAUTIONS AS REQUIRED BY ANY REGULATORY AGENCY.
- CONTRACTOR IS RESPONSIBLE FOR ALL WORK SHOWN, UNLESS SPECIFICALLY INDICATED OTHERWISE.

GENERAL GRADING NOTES:

- OFFSITE BORROW NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR FROM SOURCES DEVELOPED BY THE CONTRACTOR.
- ALL NECESSARY BORROW/WASTE MATERIAL SHALL BE FROM/TAKEN TO A SCDES PERMITTED FACILITY.
- CONTRACTOR SHALL GRADE ALL AREAS TO DRAIN FOR POSITIVE FLOW PRIOR TO FINAL APPROVAL.
- THE DESIGN ADEQUACY AND SAFETY OF ALL BRACING, SHORING AND TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN THE SERVICES OF A QUALIFIED THIRD PARTY INSPECTOR WHO SHALL PERFORM INVESTIGATIONS TO VERIFY THAT ALL WORK IS ACCOMPLISHED IN ACCORDANCE WITH THE SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE ASBULTS OF THE STORM DRAINAGE SYSTEM IAW CITY OF BEAUFORT AND SCDES REQUIREMENTS.
- CONTRACTOR TO NOTIFY ENGINEER IF UNSUITABLE MATERIAL IS DISCOVERED PRIOR TO REMOVAL.

TRAFFIC CONTROL NOTES:

- CONTRACTOR SHALL PERFORM ALL NECESSARY COORDINATION WITH SCDOT AND THE CITY OF BEAUFORT, FOR WORK INSIDE THE RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO PREPARATION OF AND OBTAINING APPROVAL OF ALL NECESSARY TRAFFIC CONTROL PLANS AS WELL AS PLANNING AND EXECUTION OF ALL NECESSARY COORDINATION MEETINGS.
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE APPROVED ENCROACHMENT PERMIT(S).
- CONTRACTOR SHALL MAINTAIN SCDOT SITE VISIBILITY TRIANGLES AT ALL ACCESS POINTS FOR THE DURATION OF CONSTRUCTION.
- ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD), CURRENT EDITION.
- SEE C610 DRAWING SERIES FOR TRAFFIC CONTROL DETAILS.

GENERAL SURVEY NOTES:

- TOPOGRAPHIC AND BOUNDARY INFORMATION BY GASQUE & ASSOCIATES, INC., NOT VERIFIED BY ADC ENGINEERING, INC.
- THE ELEVATIONS DEPICTED HEREON ARE BASED ON NAD83 DATUM. THE HORIZONTAL CONTROL IS BASED ON SCSPC NAD83.
- ALL PROJECT STAKEOUT SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR TO BE PAID FOR BY THE CONTRACTOR. FOR STAKEOUT, DO NOT RELY SOLELY ON THE PHYSICAL SCALE AS SHOWN IN DRAWINGS. REFER TO THE GIVEN DIMENSIONS, SYMBOL LEGEND, KEYNOTES, AND REFERENCED DETAILS FOR CORRECT STAKEOUT.



ZONING INFORMATION:
 TAX MAP R123 018 000 054D: THIS PROPERTY IS ZONED RMX
 TAX MAP R123 018 000 0799 AND 0215: THIS PROPERTY IS ZONED LEGACY PLANNED UNIT DEVELOPMENT (LPUD)

CONTACT INFORMATION:
 LADY'S ISLAND PLANNING: 843-255-2140
 DMCMASTER1@GOCOV.NET

CONTACT INFORMATION:
 COUNTY PLANNING: 843-255-2140
 100 RISBAUT ROAD, ROOM 115
 BEAUFORT, SC 29901

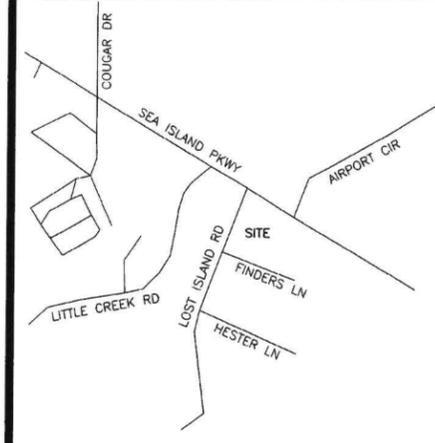
NOTE: UNABLE TO PROVIDE INVERT ELEVATIONS AND PIPE SIZES FOR ALL STORM STRUCTURES DUE TO BOXES BEING FULL OF WATER.

LEGEND OF SYMBOLS & ABBREVIATIONS

⊗	FIRE HYDRANT	⊗	MVM	MAIN VALVE MONUMENT
⊙	CLEAN OUT	⊗	M1	MANHOLE
⊕	POWER POLE	⊗	GW	GUY WIRE
⊖	TELEPHONE PEDESTAL	⊗	CB	CABLE BOX
⊗	FIBER OPTIC STUB	⊗	PB	POWER BOX
⊗	WATER VALVE	—	—	EDGE OF PAVEMENT
⊗	GAS VALVE	—	—	BACK OF CURB
⊗	WATER METER	—	—	LIGHTPOLE
⊗	R/W MONUMENT WITH CAP	—	—	GAS LINE
⊗	ELEVATION	—	—	CENTER LINE
⊗		—	—	CONTOUR LINE

TREE LEGEND

CODE	COMMON NAME	SCIENTIFIC NAME
FR	FRAXINUS	Fraxinus americana
LD	LIRIODENDRON	Liriodendron tulipifera
LA	LARIX	Larix laricina
MA	MALVUS	Malva sp.
MI	MILVUS	Milvus sp.
MO	MORUS	Morus sp.
NU	NYCTAGINUS	Nyctaginus sp.
PA	PARROTULIA	Parrotulia sp.
PE	PERSEA	Persea sp.
PI	PISTIA	Pistia sp.
PL	PLATANUS	Platanus sp.
PO	POPULUS	Populus sp.
PR	PRUNUS	Prunus sp.
PT	PTEROCARPUS	Pterocarpus sp.
QU	QUERCUS	Quercus sp.
SA	SALIX	Salix sp.
SC	SCYRUS	Scyrus sp.
SH	SHALONIA	Shalonia sp.
SI	SILVIA	Silvia sp.
SL	SLOANIA	Sloania sp.
SO	SORBUS	Sorbus sp.
SP	SPARGANGLIUM	Sparganglium sp.
ST	STYRACIS	Styracis sp.
TA	TAXUS	Taxus sp.
TE	TEUKOMIA	Teukomia sp.
TR	TRINANDRIA	Trinandria sp.
TY	TYNOPSIS	Tynopsis sp.
VA	VANILLA	Vanilla sp.
VI	VIBURNUM	Viburnum sp.
VO	VOXYLIUM	Voxylium sp.
WA	WALNUT	Juglans sp.
WE	WEINMANNIA	Weinmannia sp.
WI	WICKSTROMIA	Wickstromia sp.
WO	WONONACHTIS	Wononachtis sp.
WR	WREATHIA	Wreathia sp.
WU	WUDDENHOFFIA	Wuddenhoffia sp.
WY	WYOMIUM	Wyomium sp.
XI	XANTOXYLUM	Xantoxylum sp.
YU	YUCCA	Yucca sp.
ZO	ZONARIA	Zonaria sp.



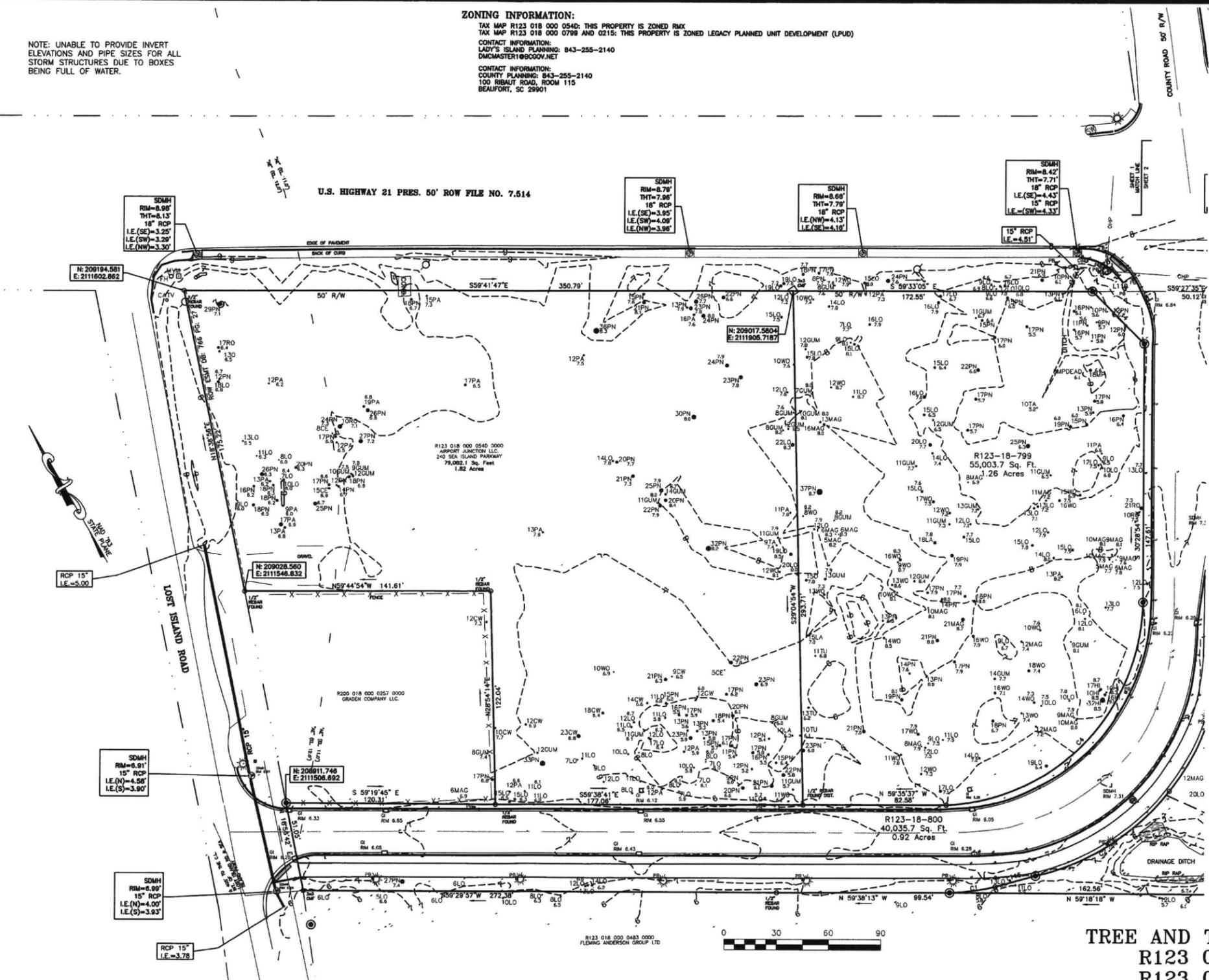
NOTES:
 THE BEARINGS SHOWN HEREON ARE MAGNETIC AND AS SUCH ARE SUBJECT TO LOCAL ATTRACTION. THIS PLAT DOES NOT CERTIFY THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS. METHOD OF AREA CALCULATION BASED ON COORDINATE METHOD.
 LOCATION OF UNDERGROUND UTILITIES ARE FROM SURFACE INDICATIONS ONLY AND ARE NOT CERTIFIABLE. THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 THE CERTIFIER HAS NOT INVESTIGATED OR BEEN INSTRUCTED TO INVESTIGATE THE EXISTENCE OR NONEXISTENCE OF ANY OVERLAY DISTRICTS, SUCH AS: AIRPORT, MILITARY, NOISE, CRASH POTENTIAL OR ENVIRONMENTAL ISSUES. BEFORE ANY DESIGN WORK OR CONSTRUCTION ON THIS SITE IS STARTED FLOOD ZONE INFORMATION MUST BE VERIFIED BY PROPER BUILDING CODES OFFICIAL.
 SETBACKS SHOWN AS PER PLAT OF RECORD AND MUST BE VERIFIED WITH OFFICIAL AGENCY BEFORE PURCHASE AND OR CONSTRUCTION ON SUBJECT PROPERTY.
 THIS PROPERTY APPEARS TO BE IN FLOOD ZONE "AE" (EL. 11.0') AND "A" (EL. 12.0') AS PER FEMA FIRM COMMUNITY PANEL NUMBER 45013C0167G & 45013C0169G DATED 3/23/2021
 11.) CONTOUR INTERVAL IS 1'.
 VERTICAL DATUM IS 1988 NAVD.
 WETLAND AREAS NOT VERIFIED, INFORMATION FROM PREVIOUS PLAT DATED 10/22/2018 JOB REFERENCE NUMBER #49605

REFERENCES:
 T.M.S. R123 018 000 0215 0000
 T.M.S. R123 018 000 054D 0000
 PLAT BY: R.D. TROGDON, JR.
 DATED: 11/14/1978
 PLAT BOOK: 27 PAGE: 100
 RMC BEAUFORT COUNTY
 PLAT BY: DAVID E. GASQUE
 DATED: 12/09/1996
 PLAT BOOK: 91 PAGE: 173
 RMC BEAUFORT COUNTY
 PLAT BY: DAVID E. GASQUE
 DATED: 4/12/1996
 PLAT BOOK: 56 PAGE: 90
 RMC BEAUFORT COUNTY
 PLAT BY: DAVID E. GASQUE
 DATED: 3/22/2024
 PLAT BOOK: 163 PAGE: 102
 RMC BEAUFORT COUNTY

I, David E. Gasque, a Registered Professional Land Surveyor in the State of South Carolina, hereby states that to the best of my professional knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Standards of Practice Manual for Surveying in South Carolina, and meets or exceeds the requirements as specified therein.

David E. Gasque, R.L.S.
 S.C. Registration Number 10506

GASQUE & ASSOCIATES INC.
 LAND SURVEYORS PLANNERS
 28 PROFESSIONAL VILLAGE CIRCLE, BEAUFORT, S.C.
 P.O. BOX 1363, BEAUFORT, S.C.
 (843) 522-1798
 THIS PLAT IS COPYRIGHTED AND IS ONLY INTENDED FOR THE USE OF THE ENTITY OR PERSON(S) SHOWN HERE ON.

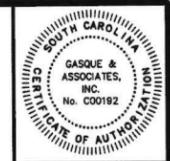


DMEC-OCRM CRITICAL LINE
 THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT SCDHEC OCRM PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS BY THEIR NATURE ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF SCDHEC OCRM, SCDHEC OCRM IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREON OR NOT. THIS IS IN ACCORDANCE TO ACT, SECTION 48-39-210

SIGNATURE _____ DATE _____
 THE CRITICAL LINE SHOWN ON THIS PLAT IS VALID FOR FIVE YEARS FROM THE DATE OF THIS SIGNATURE, SUBJECT TO THE CAUTIONARY LANGUAGE ABOVE.

TREE AND TOPOGRAPHICAL SURVEY
 R123 018 000 0215 0000
 R123 018 000 054D 0000
 R123 018 000 0799 0000
 R123 018 000 0800 0000

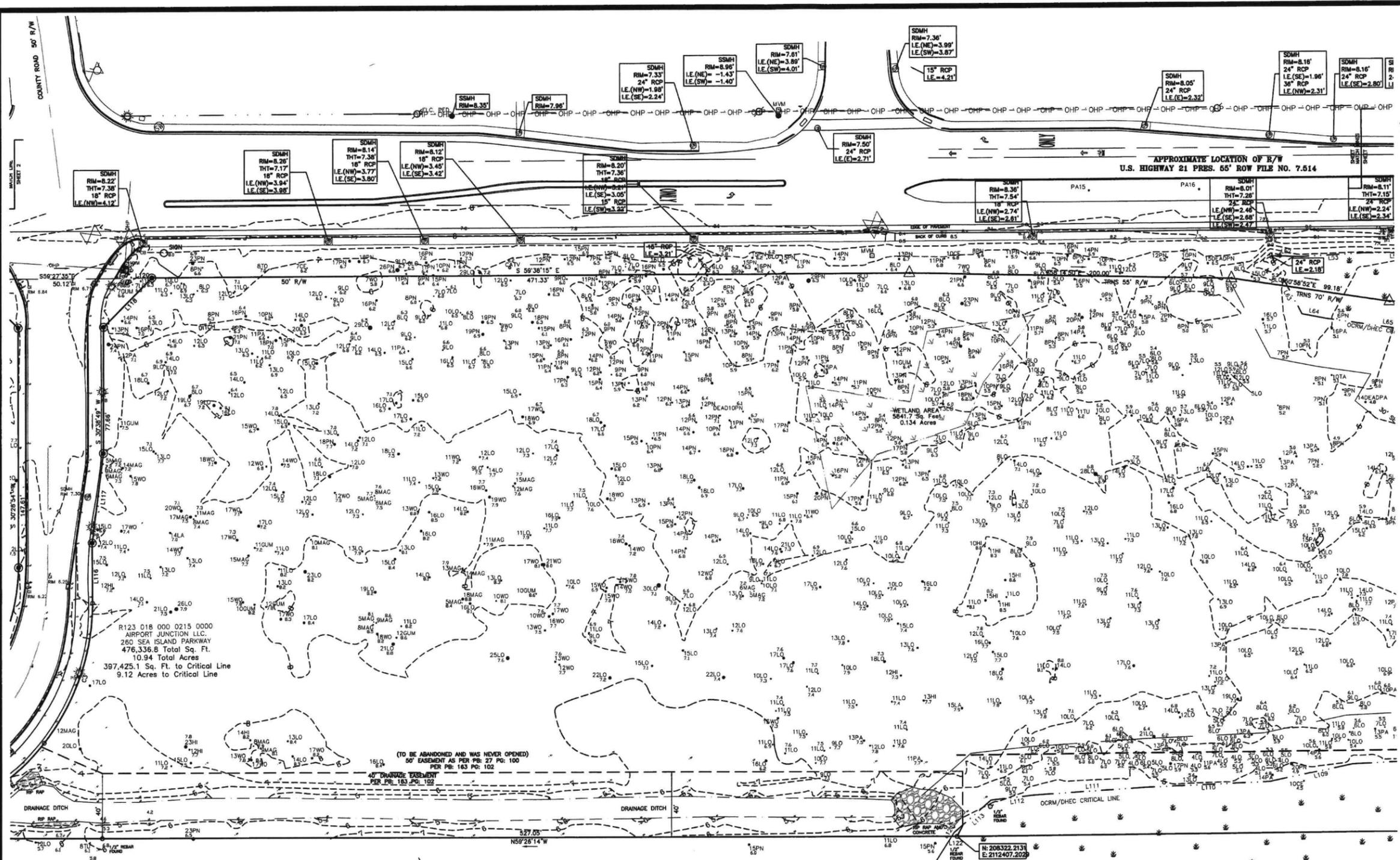
PREPARED FOR
ADC ENGINEERING
 LADY'S ISLAND
 BEAUFORT COUNTY-SOUTH CAROLINA
 DATE: 7/10/2024 SCALE: 1"=30'



- LEGEND OF SYMBOLS & ABBREVIATIONS**
- ☐ MVM MAIN VALVE MONUMENT
 - MH MANHOLE
 - GUY WIRE
 - CB CABLE BOX
 - OE OVERHEAD POWERLINE
 - CE EDGE OF PAVEMENT
 - BC BACK OF CURB
 - LT LIGHTPOLE
 - GL GAS LINE
 - CL CENTER LINE
 - CO CONTOUR LINE
 - ELEVATION
 - FIRE HYDRANT
 - CLEAN OUT
 - POWER POLE
 - TELEPHONE PEDESTAL
 - FIBER OPTIC STUB
 - WV WATER VALVE
 - GAS VALVE
 - WATER METER
 - R/W MONUMENT WITH CAP
 - TREE SIZE & TYPE

TREE LEGEND

CODE	COMMON NAME	SCIENTIFIC NAME
PA1	FLORIDA PALM	Washingtonia
PA2	FLORIDA PALM	Washingtonia
PA3	FLORIDA PALM	Washingtonia
PA4	FLORIDA PALM	Washingtonia
PA5	FLORIDA PALM	Washingtonia
PA6	FLORIDA PALM	Washingtonia
PA7	FLORIDA PALM	Washingtonia
PA8	FLORIDA PALM	Washingtonia
PA9	FLORIDA PALM	Washingtonia
PA10	FLORIDA PALM	Washingtonia
PA11	FLORIDA PALM	Washingtonia
PA12	FLORIDA PALM	Washingtonia
PA13	FLORIDA PALM	Washingtonia
PA14	FLORIDA PALM	Washingtonia
PA15	FLORIDA PALM	Washingtonia
PA16	FLORIDA PALM	Washingtonia
PA17	FLORIDA PALM	Washingtonia
PA18	FLORIDA PALM	Washingtonia
PA19	FLORIDA PALM	Washingtonia
PA20	FLORIDA PALM	Washingtonia
PA21	FLORIDA PALM	Washingtonia
PA22	FLORIDA PALM	Washingtonia
PA23	FLORIDA PALM	Washingtonia
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PA91	FLORIDA PALM	Washingtonia
PA92	FLORIDA PALM	Washingtonia
PA93	FLORIDA PALM	Washingtonia
PA94	FLORIDA PALM	Washingtonia
PA95	FLORIDA PALM	Washingtonia
PA96	FLORIDA PALM	Washingtonia
PA97	FLORIDA PALM	Washingtonia
PA98	FLORIDA PALM	Washingtonia
PA99	FLORIDA PALM	Washingtonia
PA100	FLORIDA PALM	Washingtonia



R123 018 000 0215 0000
 AIRPORT JUNCTION LLC.
 260 SEA ISLAND PARKWAY
 476,336.8 Total Sq. Ft.
 10.94 Total Acres
 397,425.1 Sq. Ft. to Critical Line
 9.12 Acres to Critical Line

(TO BE ABANDONED AND WAS NEVER OPENED)
 50' EASEMENT AS PER PER 27 PG: 100
 PER PER 183 PG: 102



NOTE: UNABLE TO PROVIDE INVERT ELEVATIONS AND PIPE SIZES FOR ALL STORM STRUCTURES DUE TO BOXES BEING FULL OF WATER.

CURVE	TRABUCUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	129.81	28.58	28.51	S 67°59'15" E	111°44'29"
C2	138.05	82.81	91.07	N 88°16'22" E	38°31'05"
C3	138.05	82.78	91.04	N 49°47'13" E	38°30'22"
C4	118.10	178.49	1161.95	N 74°38'18" E	88°35'29"

I, David E. Gasque, a Registered Professional Land Surveyor in the State of South Carolina, hereby state that to the best of my professional knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Standards of Practice Manual for Surveying in South Carolina, and meets or exceeds the requirements as specified therein.

David E. Gasque, R.L.S.
 S.C. Registration Number 10506

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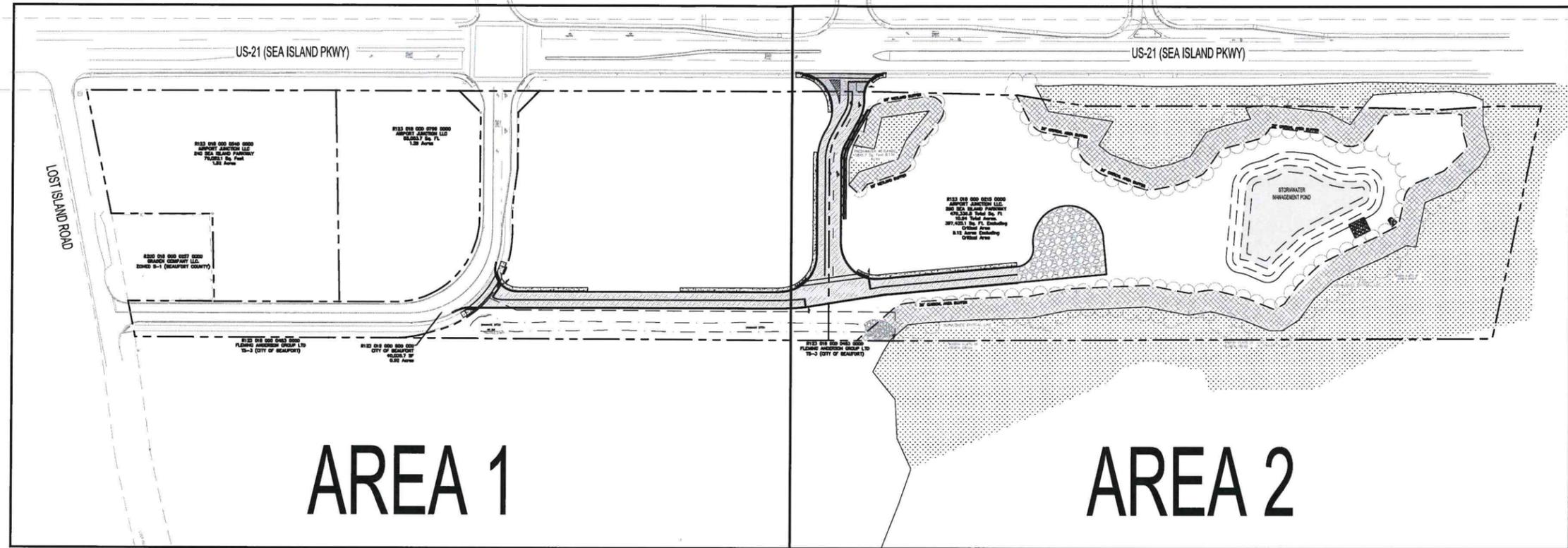
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TREE AND TOPOGRAPHICAL SURVEY
 R123 018 000 0215 0000
 R123 018 000 054D 0000
 R123 018 000 0799 0000
 R123 018 000 0800 0000

PREPARED FOR
ADC ENGINEERING
 LADY'S ISLAND
 BEAUFORT COUNTY-SOUTH CAROLINA
 DATE: 7/10/2024 SCALE: 1"=30'

SHEET 2 OF 3

JOB# 60001 F.B./N/A SW DRAWN BY: DSGN #9



AREA 1

AREA 2

Airport Retail Investment, LLC
Mount Pleasant, South Carolina

AIRPORT JUNCTION
SITE INFRASTRUCTURE PACKAGE

BEAUFORT
SOUTH CAROLINA



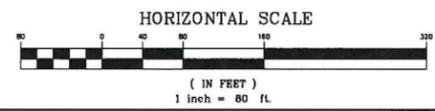
25 WOODS LAKE ROAD, SUITE 210
GREENVILLE, SC 29607
864-751-9121
ADCENGINEERING.COM

CONTRACTOR SHALL CONTACT 811 (1-888-721-7873) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
**Know what's below.
Call before you dig.**

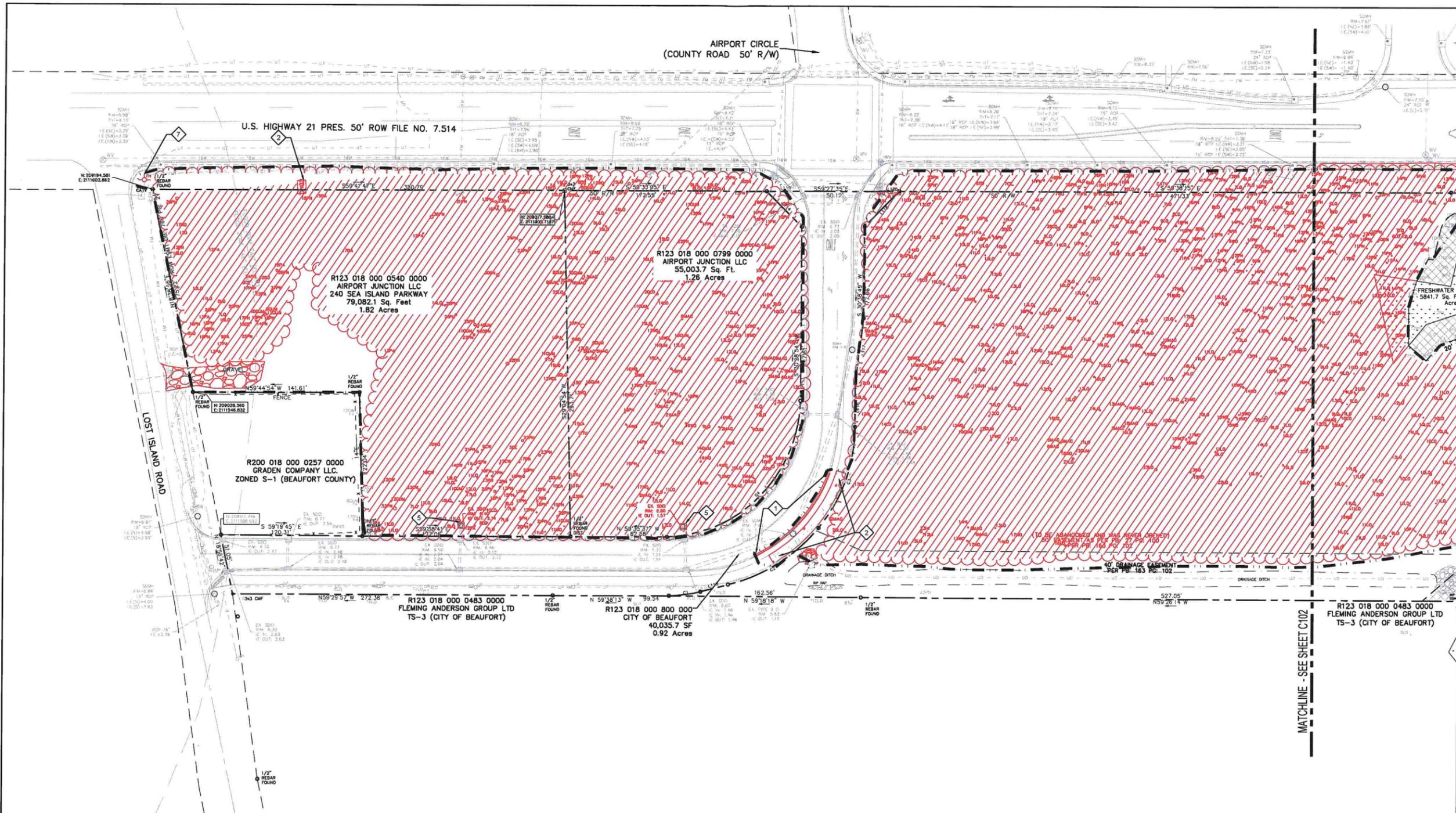
DATE:	04/25/2025
ADC PROJECT #:	21470
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REVISION:	

OVERALL SITE
PLAN

C002



PERMIT SET



DEMOLITION NOTES:

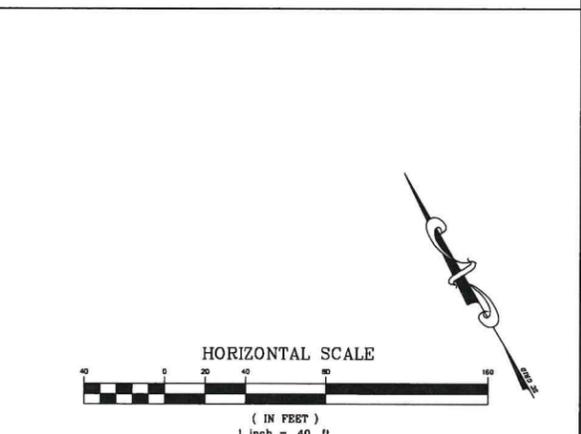
- SEE SHEET C001 FOR CIVIL ABBREVIATIONS AND GENERAL NOTES.
- PROTECT ALL EXISTING UTILITIES SCHEDULED TO REMAIN.
- PROTECT ALL EXISTING PAVEMENT SCHEDULED TO REMAIN. REPAIR ANY PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES.
- SEE SHEET C810 SERIES FOR TRAFFIC CONTROL DETAILS.
- ONLY TREES 6" AND LARGER HAVE BEEN IDENTIFIED.

KEYNOTES:

- SAW CUT AND REMOVE EXISTING CURB AND GUTTER TO LIMITS SHOWN.
- SAW CUT AND REMOVE EXISTING SIDEWALK TO LIMITS SHOWN.
- DISTURB EXISTING FRESHWATER WETLANDS IAW USACE PERMIT SAC-2018-01881. ALL OTHER WETLANDS SHALL REMAIN UNDISTURBED.
- REMOVE EXISTING RIP RAP.
- REMOVE EXISTING STORM DRAINAGE STRUCTURE.
- SAW CUT AND REMOVE EXISTING PAVEMENT TO MAKE NEW WATER MAIN CONNECTION. SEE UTILITY PLANS FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING FIRE HYDRANT. SEE UTILITY PLANS FOR WATER IMPROVEMENTS.

EXISTING SITE/DEMOLITION LEGEND

WATER LINE W/ VALVE	--- w ---	CATCH BASIN	CB
WATER SERVICE	--- ws ---	DROP INLET	DI
SANITARY SEWER PIPE	--- s ---	HOODED CURB INLET	HCI
SANITARY SEWER - FORCE MAIN	--- fm ---	CURB INLET	CI
SANITARY SEWER SERVICE	--- ss ---	WATER METER	W
STORM DRAIN	=== sd ===	FIRE HYDRANT	FH
FENCE	--- x ---	ELECTRICAL TRANSFORMER	E
POWER LINE (OVERHEAD)	--- p ---	POWER POLE	PP
POWER LINE (UNDERGROUND)	--- up ---	LIGHT POLE	LP
TELEPHONE LINE (OVERHEAD)	--- t ---	SAW CUT AND REMOVE EXISTING ASPHALT WITHIN LIMITS SHOWN	ASPH
TELEPHONE LINE (UNDERGROUND)	--- ut ---	SAW CUT AND REMOVE EXISTING CONCRETE WITHIN LIMITS SHOWN	CONC
FIBER OPTIC LINE	--- fo ---	REMOVE EXISTING GRAVEL	GRAV
SANITARY SEWER MANHOLE	SSMH	EXISTING TREE	TR
SANITARY SEWER CLEANOUT	SC	EXISTING TREE TO BE REMOVED	TR-R
		CLEAR AND GRUB WITHIN LIMITS SHOWN	GRUB
		EXISTING WETLANDS	WET
		EXISTING WETLANDS SCHEDULED TO BE FILLED	WET-F
		WETLANDS BUFFER	WET-B
		PROPERTY LINE	PROP
		LIMITS OF CONSTRUCTION/ LIMITS OF DISTURBANCE	LCD



Airport Retail Investment, LLC
Mount Pleasant, South Carolina

**AIRPORT JUNCTION
SITE INFRASTRUCTURE PACKAGE**

BEAUFORT
SOUTH CAROLINA



**ADC
ENGINEERING**

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GREENVILLE, SC 29607
864-751-9121
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DATE: 04/25/2025

ADC PROJECT #: 21470

DESIGNED: HP

CHECKED: LKB

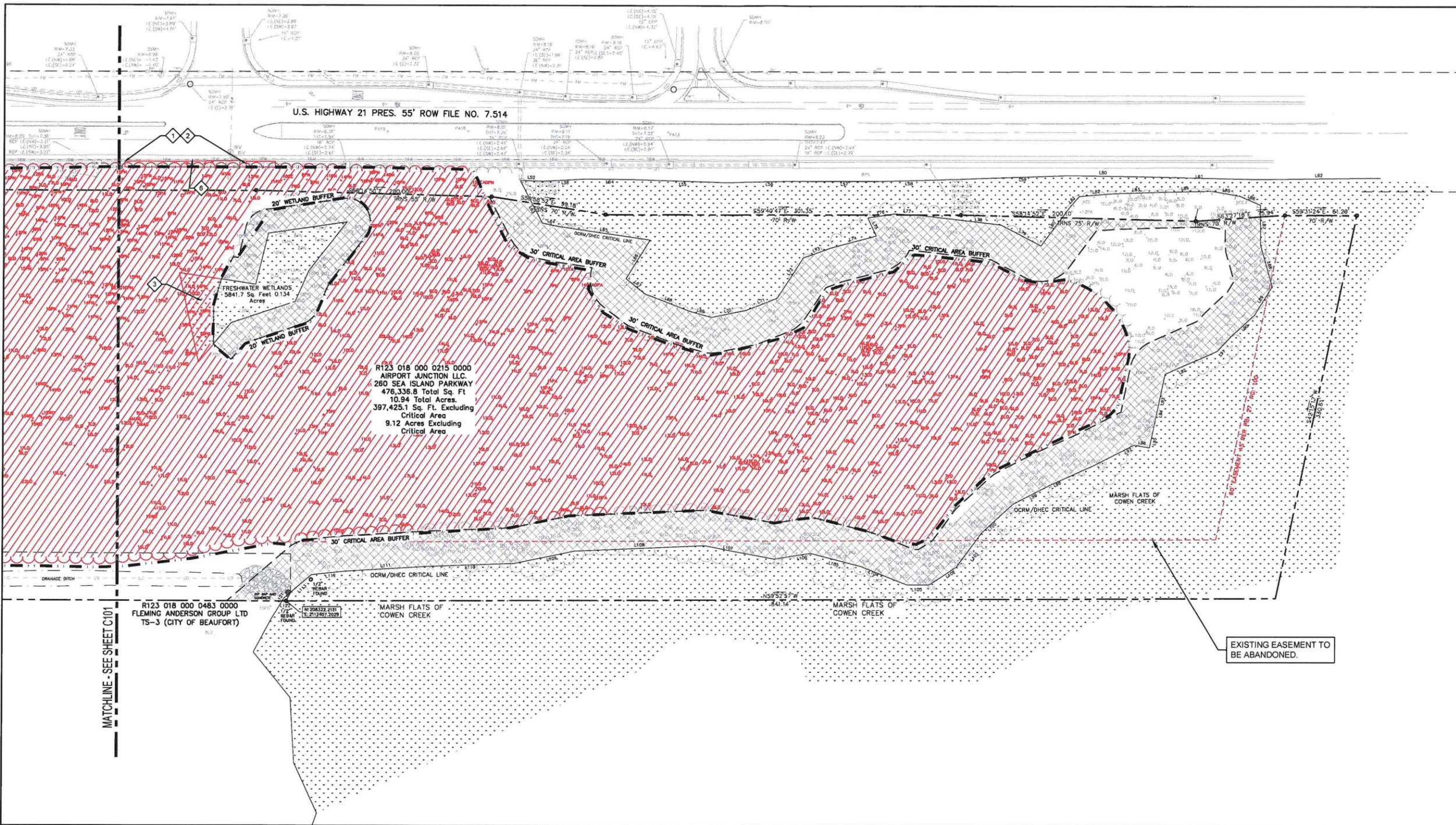
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REVISION:

**DEMOLITION PLAN -
AREA 1**

C101

PERMIT SET



Airport Retail Investment, LLC
Mount Pleasant, South Carolina

**AIRPORT JUNCTION
SITE INFRASTRUCTURE PACKAGE**

BEAUFORT
SOUTH CAROLINA



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811 CONTRACTOR SHALL CONTACT 811 (1-888-727-7877) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
Know what's below. Call before you dig.

DATE:	04/25/2025
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REVISION:	

DEMOLITION NOTES:

- SEE SHEET C001 FOR CIVIL ABBREVIATIONS AND GENERAL NOTES
- PROTECT ALL EXISTING UTILITIES SCHEDULED TO REMAIN.
- PROTECT ALL EXISTING PAVEMENT SCHEDULED TO REMAIN. REPAIR ANY PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES.
- SEE SHEET C610 SERIES FOR TRAFFIC CONTROL DETAILS
- ONLY TREES 6" AND LARGER HAVE BEEN IDENTIFIED.

KEYNOTES:

- SAW CUT AND REMOVE EXISTING CURB AND GUTTER TO LIMITS SHOWN.
- SAW CUT AND REMOVE EXISTING SIDEWALK TO LIMITS SHOWN
- DISTURB EXISTING FRESHWATER WETLANDS (AW USACE PERMIT SAC-2018-01891). ALL OTHER WETLANDS SHALL REMAIN UNDISTURBED.
- REMOVE EXISTING RIP RAP.
- REMOVE EXISTING STORM DRAINAGE STRUCTURE
- SAW CUT AND REMOVE EXISTING PAVEMENT TO MAKE NEW WATER MAIN CONNECTION. SEE UTILITY PLANS FOR ADDITIONAL INFORMATION
- REMOVE EXISTING FIRE HYDRANT. SEE UTILITY PLANS FOR WATER IMPROVEMENTS.

EXISTING SITE/DEMOLITION LEGEND

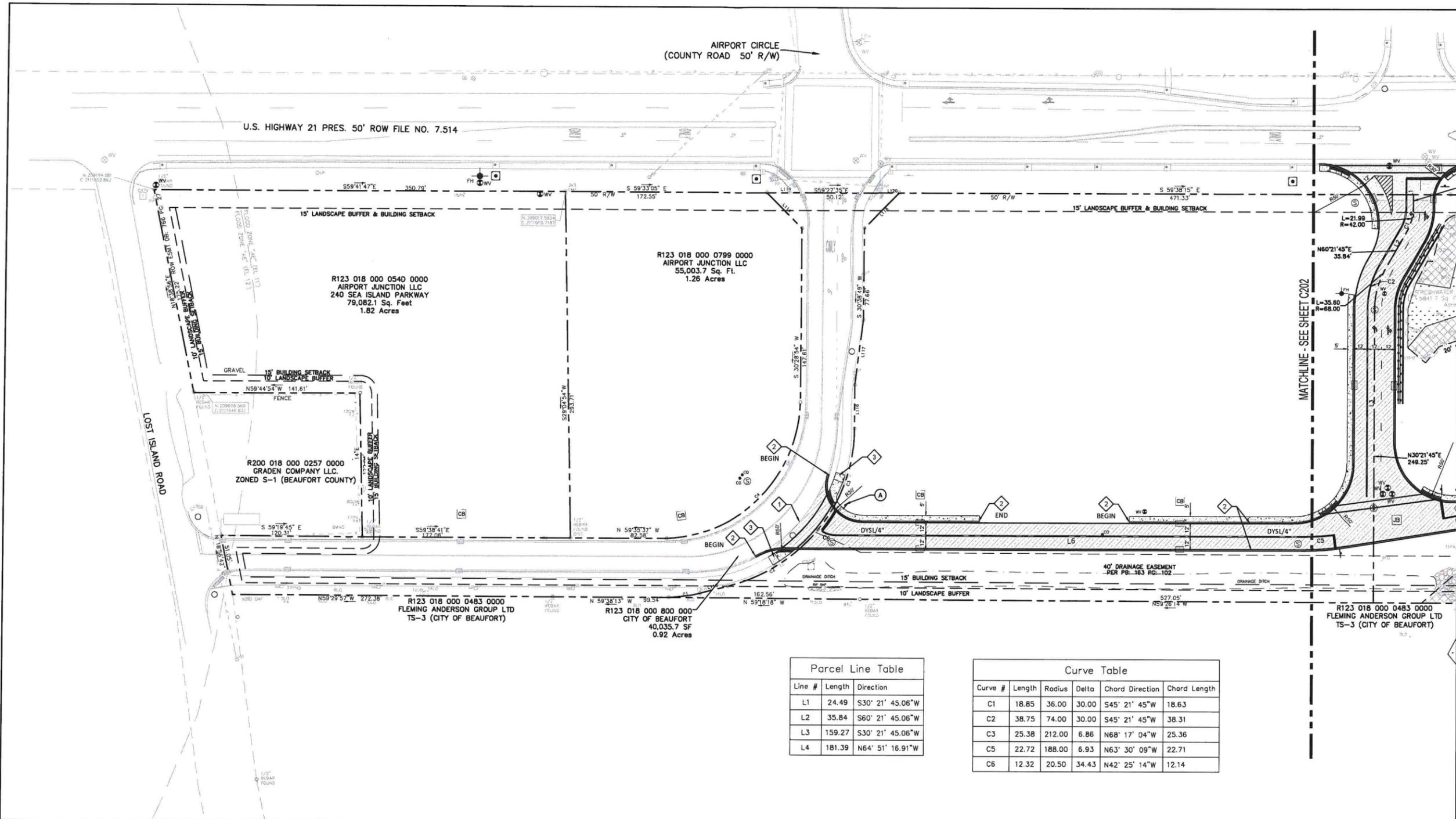
WATER LINE W VALVE	--- W ---	CATCH BASIN	CB	REMOVE EXISTING GRAVEL	
WATER SERVICE	--- WS ---	DROP INLET	DI	EXISTING TREE	
SANITARY SEWER PIPE	--- S ---	HOODED CURB INLET	HCI	EXISTING TREE TO BE REMOVED	
SANITARY SEWER - FORCE MAIN	--- FM ---	CURB INLET	CI	CLEAR AND GRUB WITHIN LIMITS SHOWN	
SANITARY SEWER SERVICE	--- SS ---	WATER METER	WM	EXISTING WETLANDS	
STORM DRAIN	=== SD ===	FIRE HYDRANT	FH	EXISTING WETLANDS SCHEDULED TO BE FILLED.	
FENCE	--- X ---	ELECTRICAL TRANSFORMER	ET	WETLANDS BUFFER	
POWER LINE (OVERHEAD)	--- P ---	POWER POLE	PP	PROPERTY LINE	---
POWER LINE (UNDERGROUND)	--- UP ---	LIGHT POLE	LP	LIMITS OF CONSTRUCTION/ LIMITS OF DISTURBANCE	---
TELEPHONE LINE (OVERHEAD)	--- T ---	SAW CUT AND REMOVE EXISTING ASPHALT WITHIN LIMITS SHOWN			
TELEPHONE LINE (UNDERGROUND)	--- UT ---	SAW CUT AND REMOVE EXISTING CONCRETE WITHIN LIMITS SHOWN			
FIBER OPTIC LINE	--- FO ---				
SANITARY SEWER MANHOLE	○ SSMH				
SANITARY SEWER CLEANOUT	○ SCO				

HORIZONTAL SCALE
1 inch = 40 ft

DEMOLITION PLAN - AREA 2

C102

PERMIT SET



Parcel Line Table

Line #	Length	Direction
L1	24.49	S30° 21' 45.06"W
L2	35.84	S60° 21' 45.06"W
L3	159.27	S30° 21' 45.06"W
L4	181.39	N64° 51' 16.91"W

Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	18.85	36.00	30.00	S45° 21' 45"W	18.63
C2	38.75	74.00	30.00	S45° 21' 45"W	38.31
C3	25.38	212.00	6.86	N68° 17' 04"W	25.36
C5	22.72	188.00	6.93	N63° 30' 09"W	22.71
C6	12.32	20.50	34.43	N42° 25' 14"W	12.14

SITE NOTES:

- SEE SHEET C001 FOR CIVIL NOTES AND ABBREVIATIONS.
- ALL STOP BARS AND CROSSWALKS (AND ALL STRIPING WITHIN THE RIGHT-OF-WAY) SHALL BE REFLECTIVE THERMOPLASTIC IAW DETAIL SCDOT SPECIFICATIONS
- SEE SHEET C610 FOR TRAFFIC CONTROL DETAILS.

KEYNOTES:

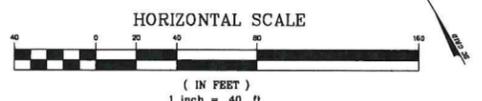
- TIE NEW PAVEMENT INTO EXISTING PAVEMENT IAW DETAIL A/C620.
- INSTALL NEW 18" CURB AND GUTTER IAW DETAILS B/C620 AND A/C622 WITHIN SCDOT ROW.
- INSTALL NEW PEDESTRIAN RAMP WITH DETECTABLE WARNING PANEL IAW DETAIL A/C621
- INSTALL NEW SEGMENTAL BLOCK RETAINING WALL, GUARD RAIL AND FENCE IAW DETAILS F/C620, G/C620 & D/C622
- INSTALL 4" SINGLE WHITE STRIPES (THERMOPLASTIC) AT 45-DEGREES AT 2' ON CENTER

SIGN LEGEND:

(A) STOP SIGN (R1-1-30)

CIVIL LEGEND - SITE

- HEAVY DUTY ASPHALT PAVEMENT - INSTALL IAW DETAIL D/C620.
- RIGHT-OF-WAY ASPHALT PAVEMENT - INSTALL IAW DETAIL E/C620
- CONCRETE SIDEWALK - INSTALL IAW DETAIL C/C620 AND B/C622 WITHIN SCDOT ROW
- GRAVEL PAVEMENT - PLACE 8" OF COMPACTED AGGREGATE BASE COURSE ON FILTER FABRIC
- CROSSWALK (THERMOPLASTIC) - INSTALL IAW DETAILS A/C623.
- 24" STOP BAR (THERMOPLASTIC) - INSTALL IAW DETAIL A/C623
- HIGHWAY/DRIVEWAY TRAFFIC ARROW (THERMOPLASTIC) - INSTALL IAW DETAIL A/C623
- DYSL/4" DOUBLE YELLOW SOLID LINE / 4" WIDE EACH (THERMOPLASTIC) - INSTALL IAW DETAIL A/C623.
- SWDL/4" SINGLE WHITE DASHED LINE / 4" WIDE (THERMOPLASTIC) - INSTALL IAW DETAIL A/C623
- SWSL/4" SINGLE WHITE SOLID LINE / 4" WIDE (THERMOPLASTIC) - INSTALL IAW DETAIL A/C623
- NEW TRAFFIC SIGN - INSTALL PER PLAN AND IAW DETAIL C/C622.
- PROPERTY LINE



Airport Retail Investment, LLC
Mount Pleasant, South Carolina

**AIRPORT JUNCTION
SITE INFRASTRUCTURE PACKAGE**

BEAUFORT
SOUTH CAROLINA



ADC ENGINEERING

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GREENVILLE, SC 29607
864-751-9121
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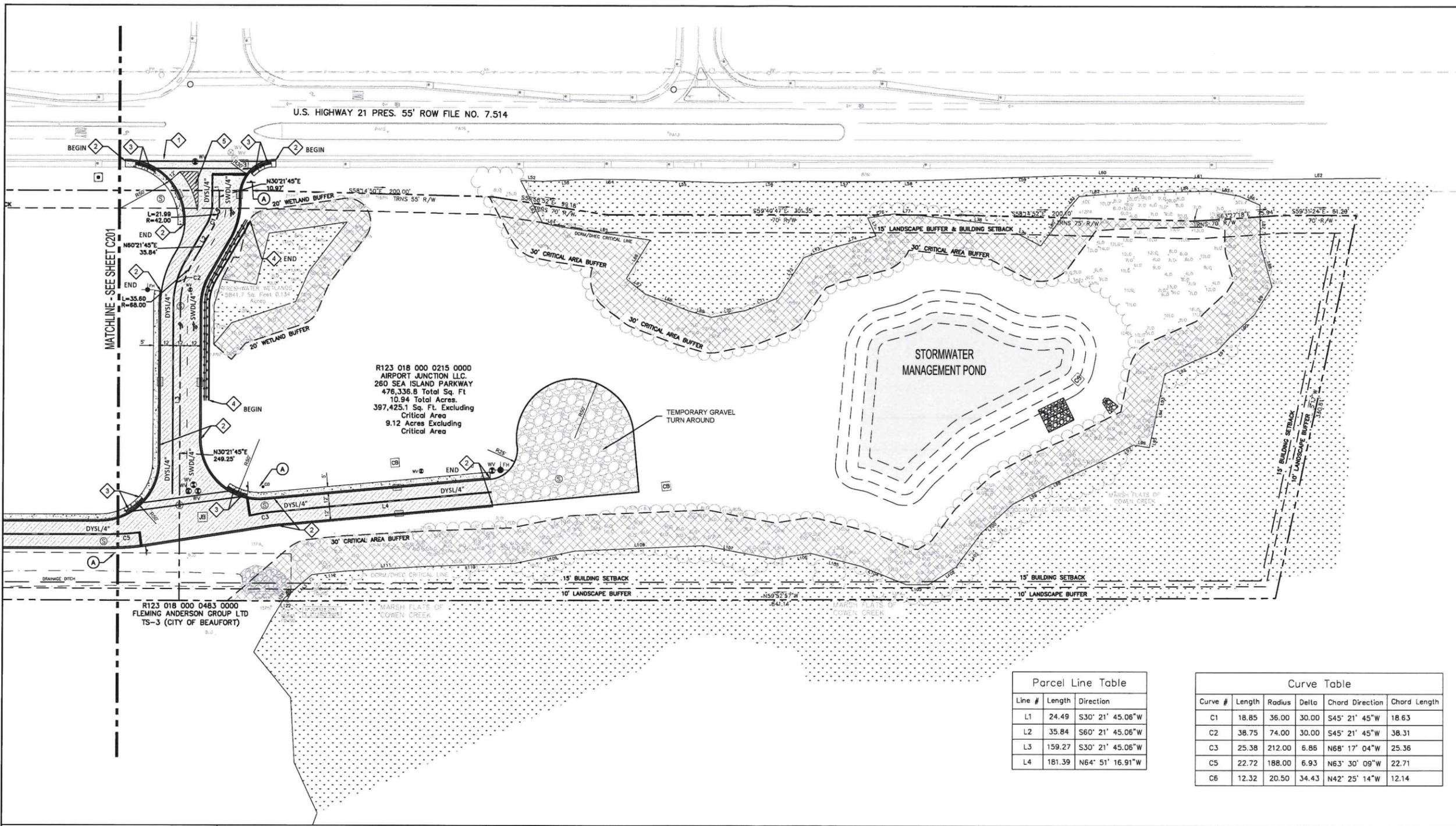


DATE: 04/25/2025
ADC PROJECT #: 21470
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SITE PLAN -
AREA 1

C201

PERMIT SET



R123 018 000 0215 0000
 AIRPORT JUNCTION LLC.
 260 SEA ISLAND PARKWAY
 476,336.8 Total Sq. Ft
 10.94 Total Acres.
 397,425.1 Sq. Ft. Excluding
 Critical Area
 9.12 Acres Excluding
 Critical Area

R123 018 000 0483 0000
 FLEMING ANDERSON GROUP LTD
 TS-3 (CITY OF BEAUFORT)

Line #	Length	Direction
L1	24.49	S30° 21' 45.06"W
L2	35.84	S60° 21' 45.06"W
L3	159.27	S30° 21' 45.06"W
L4	181.39	N64° 51' 16.91"W

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
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C5	22.72	188.00	6.93	N63° 30' 09"W	22.71
C6	12.32	20.50	34.43	N42° 25' 14"W	12.14

SITE NOTES:

- SEE SHEET C001 FOR CIVIL NOTES AND ABBREVIATIONS.
- ALL STOP BARS AND CROSSWALKS (AND ALL STRIPING WITHIN THE RIGHT-OF-WAY) SHALL BE REFLECTIVE THERMOPLASTIC IAW SCDOT SPECIFICATIONS.
- SEE SHEET C610 FOR TRAFFIC CONTROL DETAILS.

KEYNOTES:

- TIE NEW PAVEMENT INTO EXISTING PAVEMENT IAW DETAIL A/C620
- INSTALL NEW 18" CURB AND GUTTER IAW DETAILS B/C620 AND A/C622 WITHIN SCDOT ROW
- INSTALL NEW PEDESTRIAN RAMP WITH DETECTABLE WARNING PANEL IAW DETAIL A/C621.
- INSTALL NEW SEGMENTAL BLOCK RETAINING WALL, GUARD RAIL AND FENCE IAW DETAILS F/C620, G/C620 & D/C622
- INSTALL 4" SINGLE WHITE STRIPES (THERMOPLASTIC) AT 45-DEGREES AT 2' ON CENTER.

SIGN LEGEND:

- STOP SIGN (R1-1-30)

CIVIL LEGEND - SITE

- HEAVY DUTY ASPHALT PAVEMENT - INSTALL IAW DETAIL D/C620.
- RIGHT-OF-WAY ASPHALT PAVEMENT - INSTALL IAW DETAIL E/C620.
- CONCRETE SIDEWALK - INSTALL IAW DETAIL C/C620 AND B/C622 WITHIN SCDOT ROW.
- GRAVEL PAVEMENT - PLACE 8" OF COMPACTED AGGREGATE BASE COURSE ON FILTER FABRIC.
- CROSSWALK (THERMOPLASTIC) - INSTALL IAW DETAILS A/C623.
- 24" STOP BAR (THERMOPLASTIC) - INSTALL IAW DETAIL A/C623.
- HIGHWAY/DRIVEWAY TRAFFIC ARROW (THERMOPLASTIC) - INSTALL IAW DETAIL A/C623.
- DYSL4" DOUBLE YELLOW SOLID LINE / 4" WIDE EACH (THERMOPLASTIC) - INSTALL IAW DETAIL A/C623.
- SWDL4" SINGLE WHITE DASHED LINE / 4" WIDE (THERMOPLASTIC) - INSTALL IAW DETAIL A/C623
- SWSL4" SINGLE WHITE SOLID LINE / 4" WIDE (THERMOPLASTIC) - INSTALL IAW DETAIL A/C623.
- NEW TRAFFIC SIGN - INSTALL PER PLAN AND IAW DETAIL C/C622.
- PROPERTY LINE

Airport Retail Investment, LLC
 Mount Pleasant, South Carolina
AIRPORT JUNCTION
SITE INFRASTRUCTURE PACKAGE
 BEAUFORT
 SOUTH CAROLINA



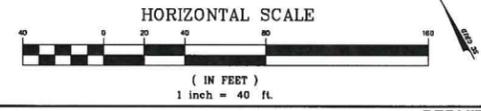
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 864-751-9121
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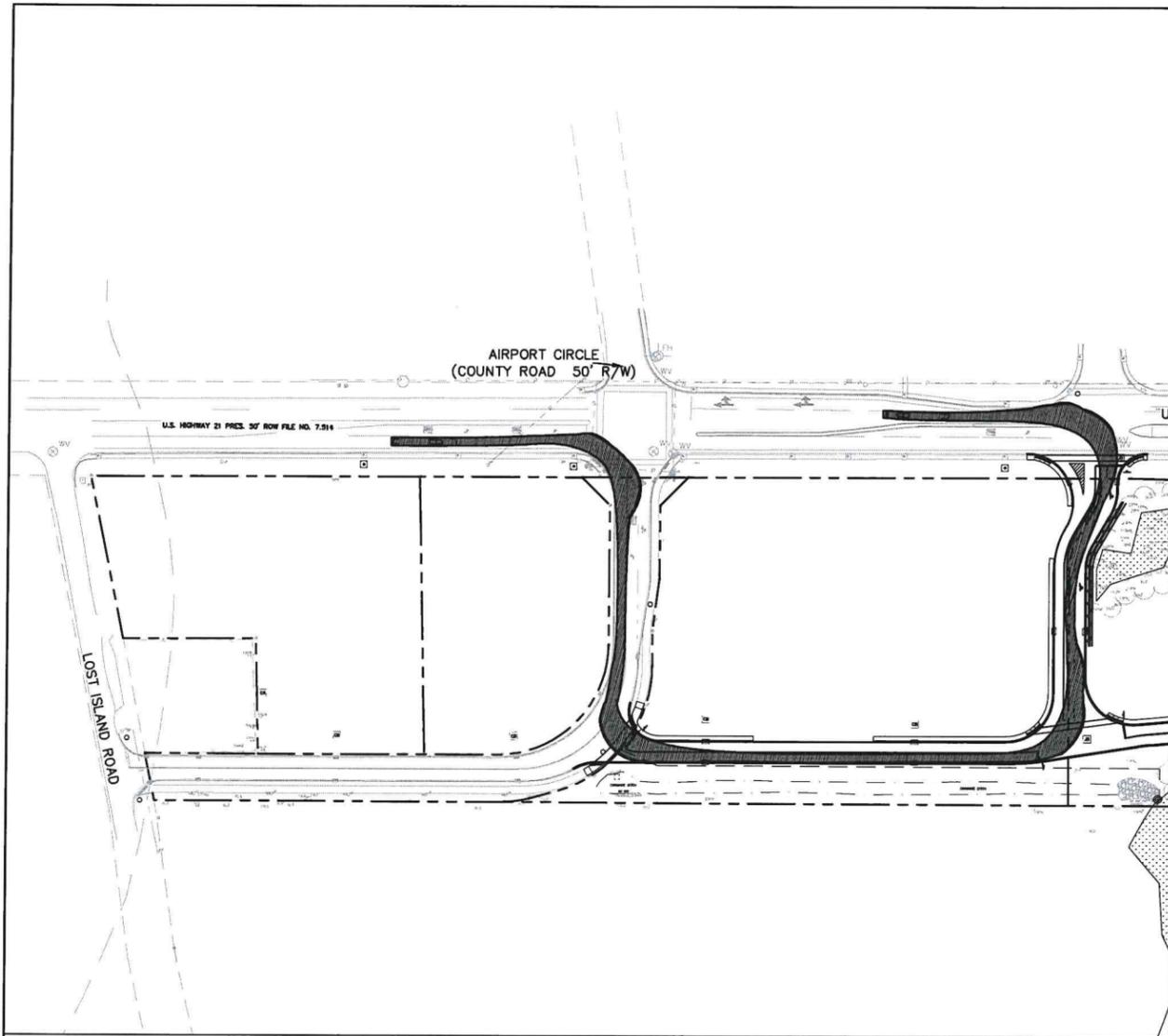
DATE: 04/25/2025
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 DRAWN: LKB
 REVISION:

SITE PLAN - AREA 2

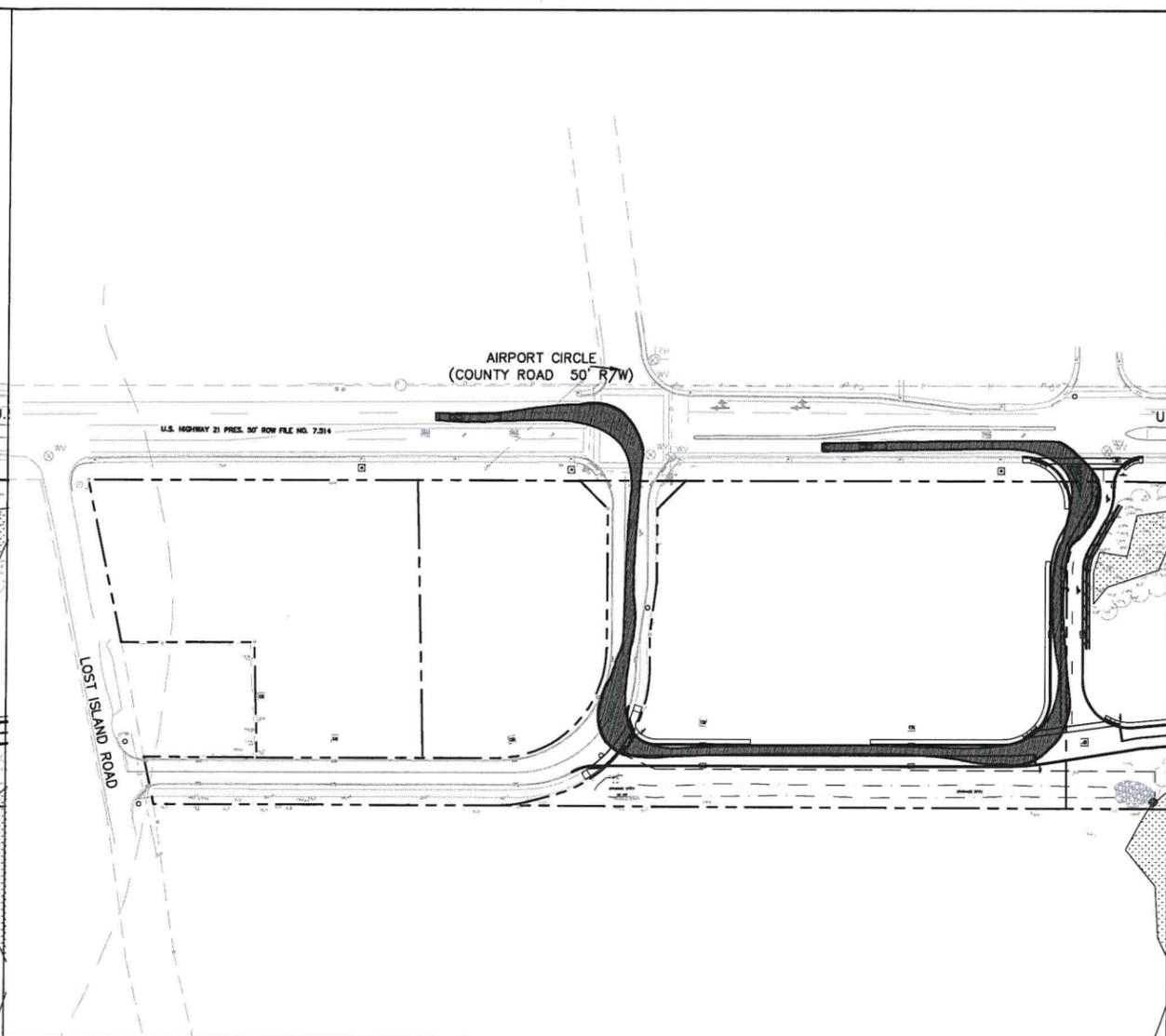
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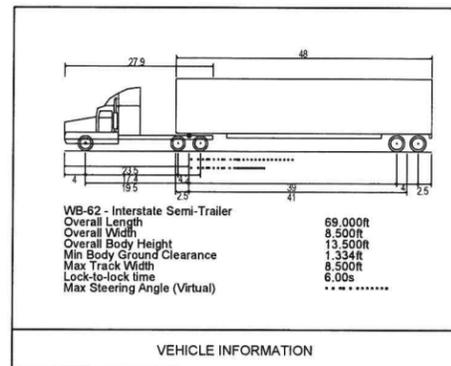
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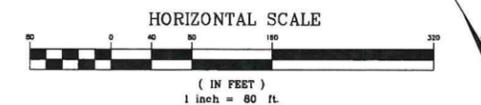
OPTION #1:



OPTION #2:



VEHICLE INFORMATION



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 GREENVILLE, SC 29607
 864-751-9121
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DATE:	04/25/2025
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VEHICLE CIRCULATION PLAN

C220

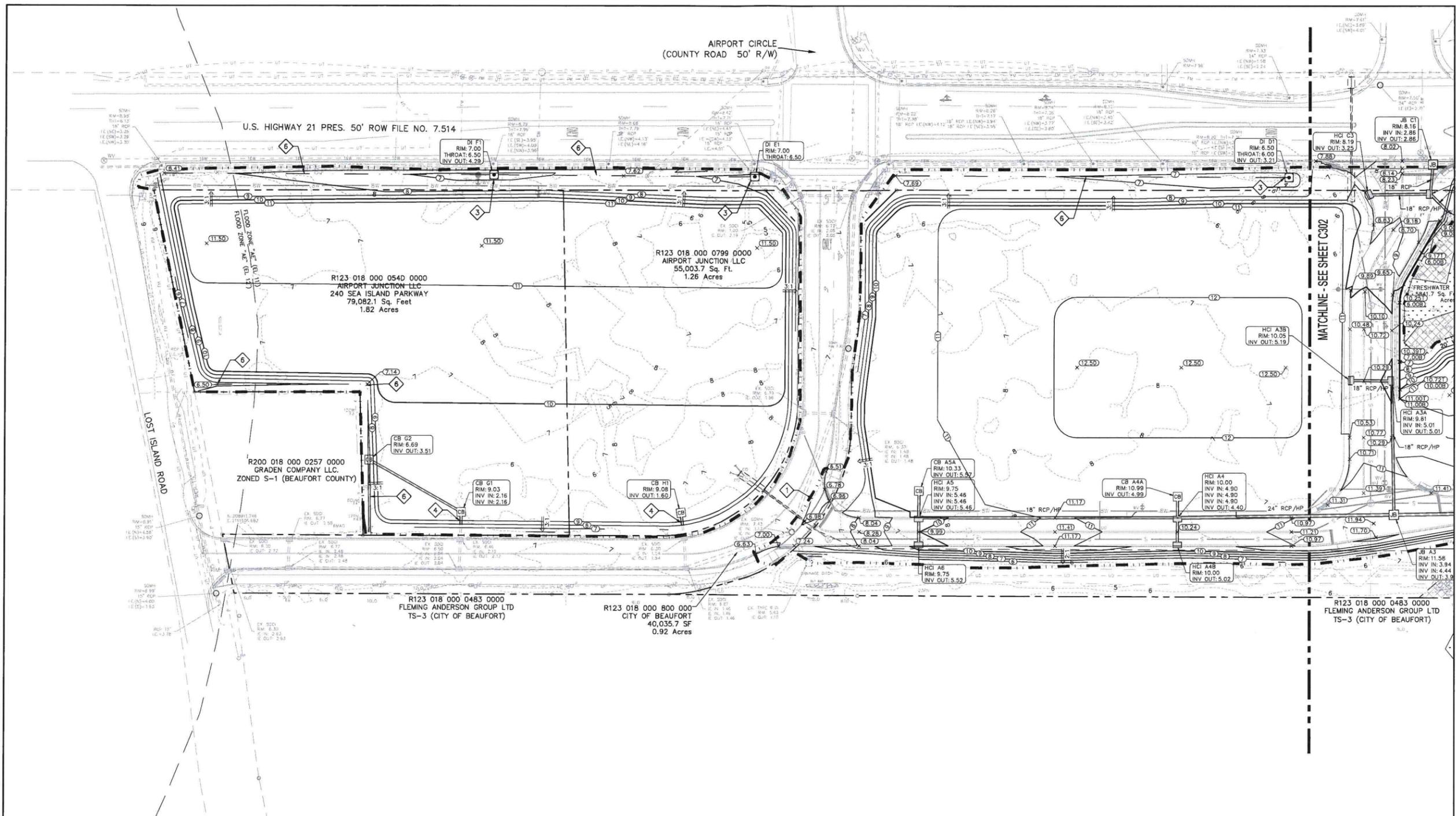
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Airport Retail Investment, LLC
 Mount Pleasant, South Carolina

AIRPORT JUNCTION
 SITE INFRASTRUCTURE PACKAGE

BEAUFORT
 SOUTH CAROLINA





Airport Retail Investment, LLC
 Mount Pleasant, South Carolina
AIRPORT JUNCTION
SITE INFRASTRUCTURE PACKAGE
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 SOUTH CAROLINA



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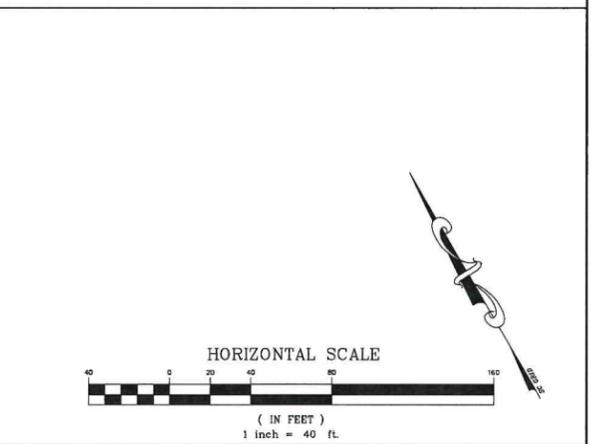
DATE:	04/25/2025
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REVISION:	

- GRADING AND DRAINAGE NOTES**
- SEE SHEET C001 FOR CIVIL NOTES AND ABBREVIATIONS.
 - ALL SPOTS GIVEN ARE TO BOTTOM OF CURB OR TOP OF ASPHALT UNLESS NOTED OTHERWISE.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL SITE UTILITIES AND STORM DRAINAGE INSTALLATION SCHEDULES TO AVOID POTENTIAL UTILITY CONFLICTS. GRAVITY DEPENDENT UTILITIES SHALL BE INSTALLED PRIOR TO NON-GRAVITY DEPENDENT UTILITIES.
 - ADJUST EXISTING STORM AND UTILITY COVERS TO FINISH GRADE.
 - STORM DRAINAGE PIPING SHALL ENTER THE SIDES OF DRAINAGE STRUCTURES. NO CORNER PENETRATIONS ARE ALLOWED.
 - CLEAN OUT ALL SEDIMENT AND DEBRIS FROM ALL EXISTING AND NEW STORM DRAINAGE PIPES AND STRUCTURES.
 - PROVIDE STORM DRAINAGE AS-BUILTS IAW SCDES AND CITY OF BEAUFORT REQUIREMENTS.
 - SEE SHEET C310 FOR STORM DRAINAGE PROFILES.

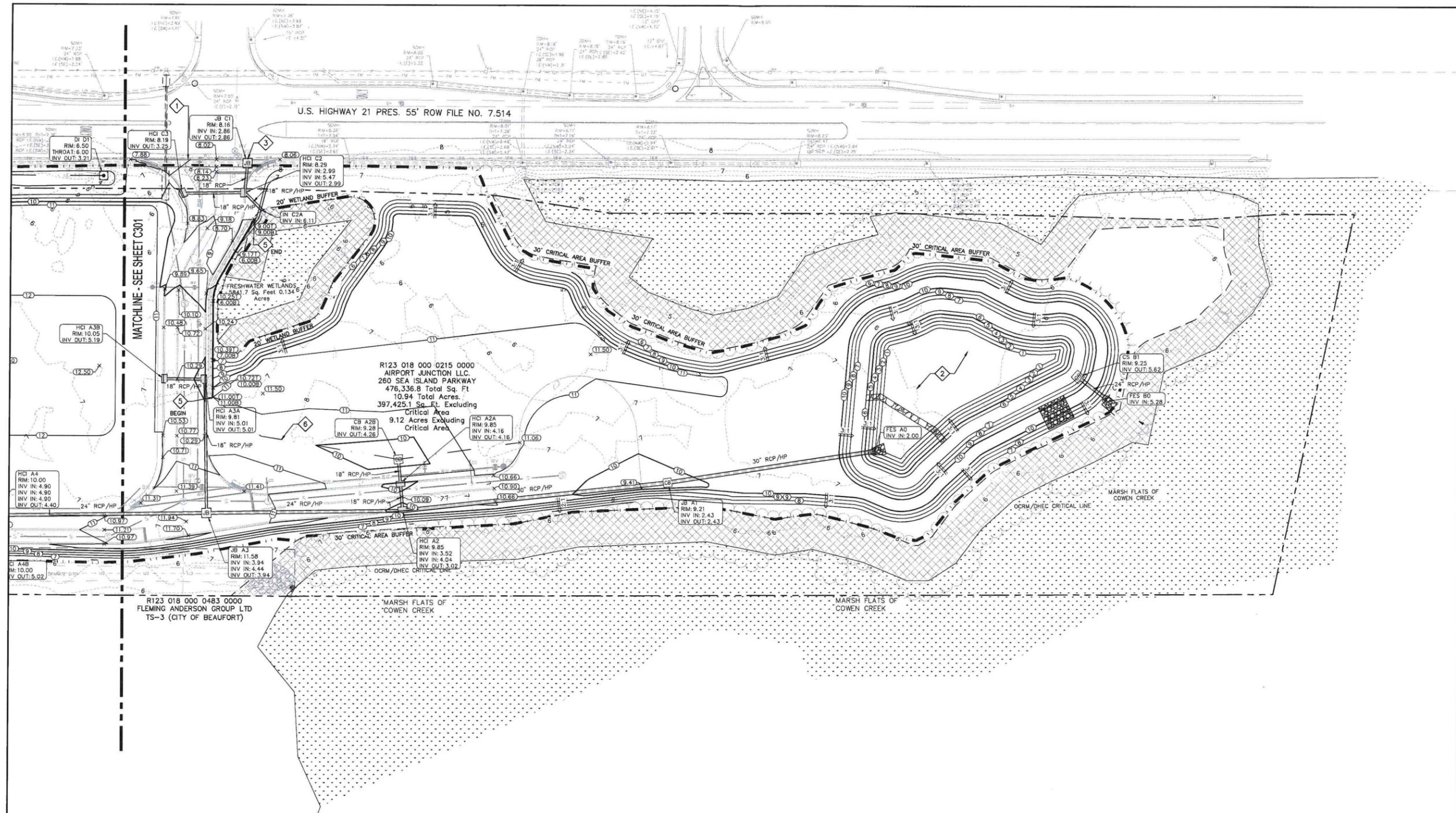
- KEYNOTES**
- MATCH EXISTING PAVEMENT ELEVATIONS
 - INSTALL NEW WET STORMWATER POND IAW SHEET C320
 - INSTALL NEW DRAINAGE STRUCTURE ON EXISTING STORM DRAINAGE PIPE. REMOVE PIPING AS NECESSARY.
 - EXTEND EXISTING STORM DRAINAGE PIPE AS SHOWN AND IAW DETAIL EC631.
 - INSTALL NEW SEGMENTAL BLOCK RETAINING WALL, GUARD RAIL, AND FENCE IAW DETAILS FC620, GC620, DC622
 - INSTALL SWALE IAW DETAIL IC631.

CIVIL LEGEND - GRADING AND DRAINAGE

	CATCH BASIN - INSTALL IAW DETAIL B/C630.		EMERGENCY SPILLWAY - INSTALL IAW SHEET C320.
	JUNCTION BOX - INSTALL IAW DETAIL D/C630.		PROPERTY LINE
	DROP INLET - INSTALL IAW DETAIL D/C631.		LIMITS OF CONSTRUCTION/LIMITS OF DISTURBANCE
	HOODED CURB INLET - INSTALL IAW DETAIL C/C630.		
	CONTROL STRUCTURE - INSTALL IAW SHEET C320		
	STORM DRAINAGE PIPE (SEE PROFILE FOR SLOPE AND MATERIAL) - INSTALL IAW DETAIL B/C631.		
	FLARED END SECTION - INSTALL IAW DETAIL A/C631.		
	NEW FINISHED GRADE SPOT ELEVATION		
	NEW FINISHED CONTOUR		
	EXISTING GRADE SPOT		
	EXISTING GRADE CONTOUR		
	SLOPE AND SLOPE DIRECTION		
	PERMANENT RIP RAP APRON - INSTALL IAW DETAIL B/C740.		



GRADING PLAN
- AREA 1
C301
 PERMIT SET



GRADING AND DRAINAGE NOTES:

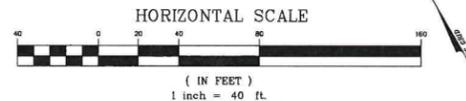
- SEE SHEET C001 FOR CIVIL NOTES AND ABBREVIATIONS
- ALL SPOTS GIVEN ARE TO BOTTOM OF CURB OR TOP OF ASPHALT UNLESS NOTED OTHERWISE
- GENERAL CONTRACTOR SHALL COORDINATE ALL SITE UTILITIES AND STORM DRAINAGE INSTALLATION SCHEDULES TO AVOID POTENTIAL UTILITY CONFLICTS GRAVITY DEPENDENT UTILITIES SHALL BE INSTALLED PRIOR TO NON-GRAVITY DEPENDENT UTILITIES
- ADJUST EXISTING STORM AND UTILITY COVERS TO FINISH GRADE.
- STORM DRAINAGE PIPING SHALL ENTER THE SIDES OF DRAINAGE STRUCTURES. NO CORNER PENETRATIONS ARE ALLOWED.
- CLEAN OUT ALL SEDIMENT AND DEBRIS FROM ALL EXISTING AND NEW STORM DRAINAGE PIPES AND STRUCTURES.
- PROVIDE STORM DRAINAGE AS-BUILTS IAW SCDES AND CITY OF BEAUFORT REQUIREMENTS
- SEE SHEET C310 FOR STORM DRAINAGE PROFILES

KEYNOTES

- MATCH EXISTING PAVEMENT ELEVATIONS.
- INSTALL NEW WET STORMWATER POND IAW SHEET C320.
- INSTALL NEW DRAINAGE STRUCTURE ON EXISTING STORM DRAINAGE PIPE. REMOVE PIPING AS NECESSARY.
- EXTEND EXISTING STORM DRAINAGE PIPE AS SHOWN AND IAW DETAIL E/C631.
- INSTALL NEW SEGMENTAL BLOCK RETAINING WALL, GUARD RAIL, AND FENCE IAW DETAILS FAC20, G/C620, D/C622.
- INSTALL SWALE IAW DETAIL C/C631.

CIVIL LEGEND - GRADING AND DRAINAGE

	CATCH BASIN - INSTALL IAW DETAIL B/C630.		EMERGENCY SPILLWAY - INSTALL IAW SHEET C320
	JUNCTION BOX - INSTALL IAW DETAIL D/C630.		PROPERTY LINE
	DROP INLET - INSTALL IAW DETAIL D/C631		LIMITS OF CONSTRUCTION/LIMITS OF DISTURBANCE
	HOODED CURB INLET - INSTALL IAW DETAIL C/C630.		
	CONTROL STRUCTURE - INSTALL IAW SHEET C320.		
	STORM DRAINAGE PIPE (SEE PROFILE FOR SLOPE AND MATERIAL) - INSTALL IAW DETAIL B/C631.		
	FLARED END SECTION - INSTALL IAW DETAIL A/C631.		
	NEW FINISHED GRADE SPOT ELEVATION		
	NEW FINISHED CONTOUR		
	EXISTING GRADE SPOT		
	EXISTING GRADE CONTOUR		
	SLOPE AND SLOPE DIRECTION		
	PERMANENT RIP RAP APRON - INSTALL IAW DETAIL B/C740.		



Airport Retail Investment, LLC
Mount Pleasant, South Carolina

**AIRPORT JUNCTION
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811 Know what's below. Call before you dig.

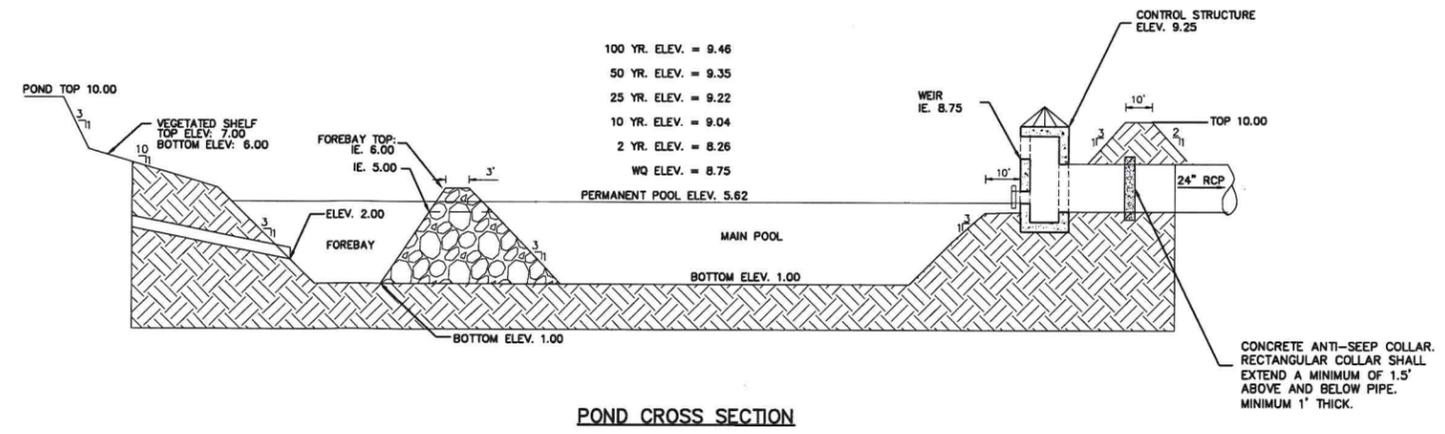
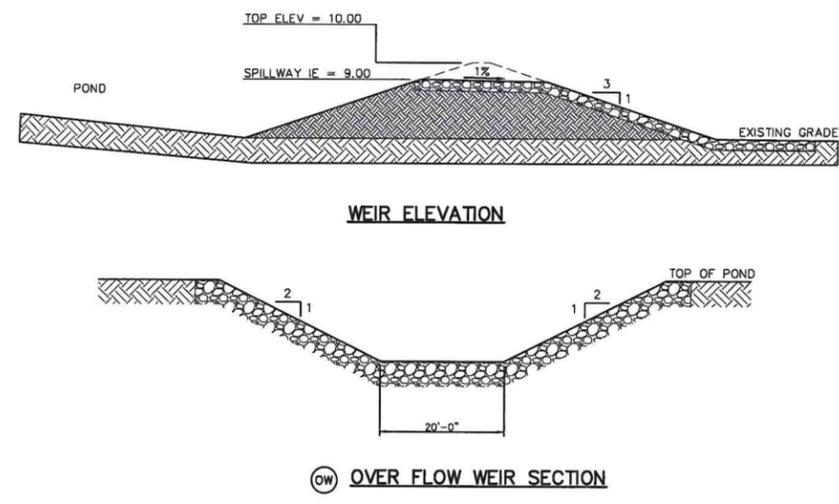
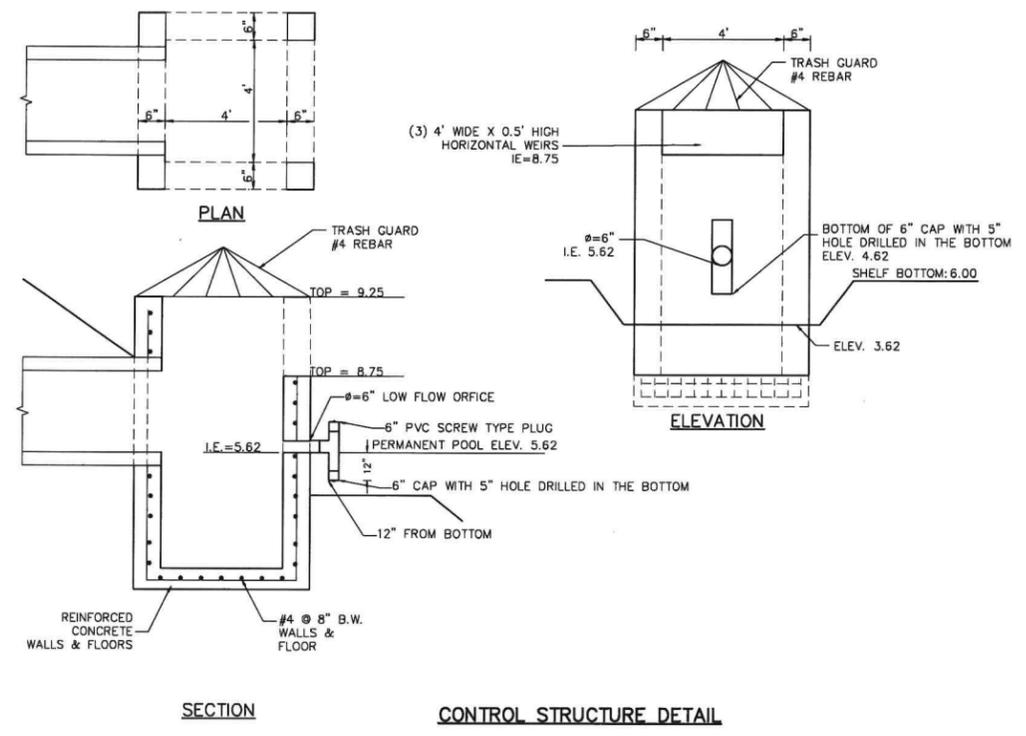
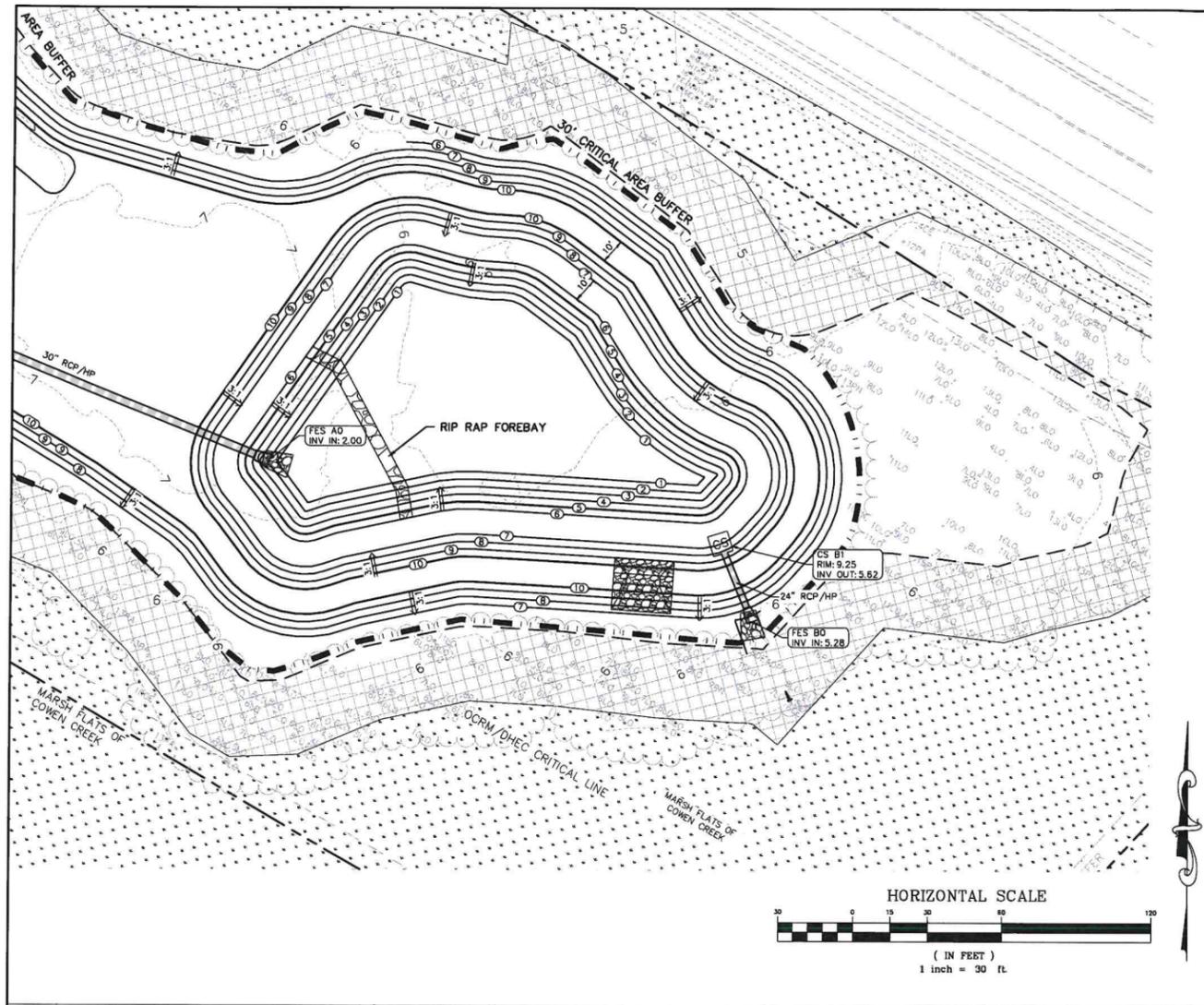
CONTRACTOR SHALL CONTACT 811 (1-888-724-7877) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.

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**GRADING PLAN -
AREA 2**

C302

PERMIT SET



Airport Retail Investment, LLC
 Mount Pleasant, South Carolina

**AIRPORT JUNCTION
 SITE INFRASTRUCTURE PACKAGE**

BEAUFORT
 SOUTH CAROLINA



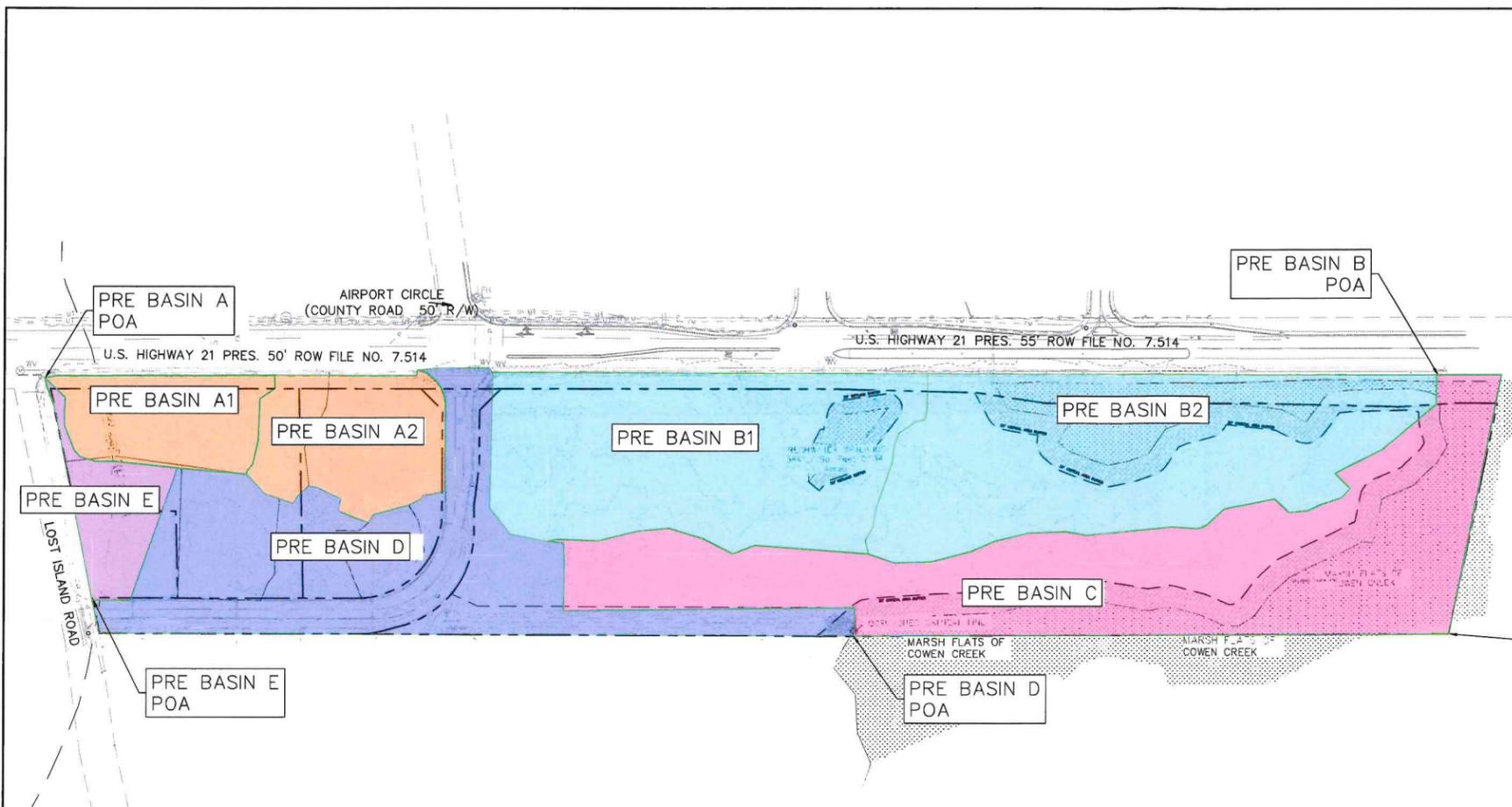
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 25 WOODS LAKE ROAD, SUITE 210
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 864-751-9121
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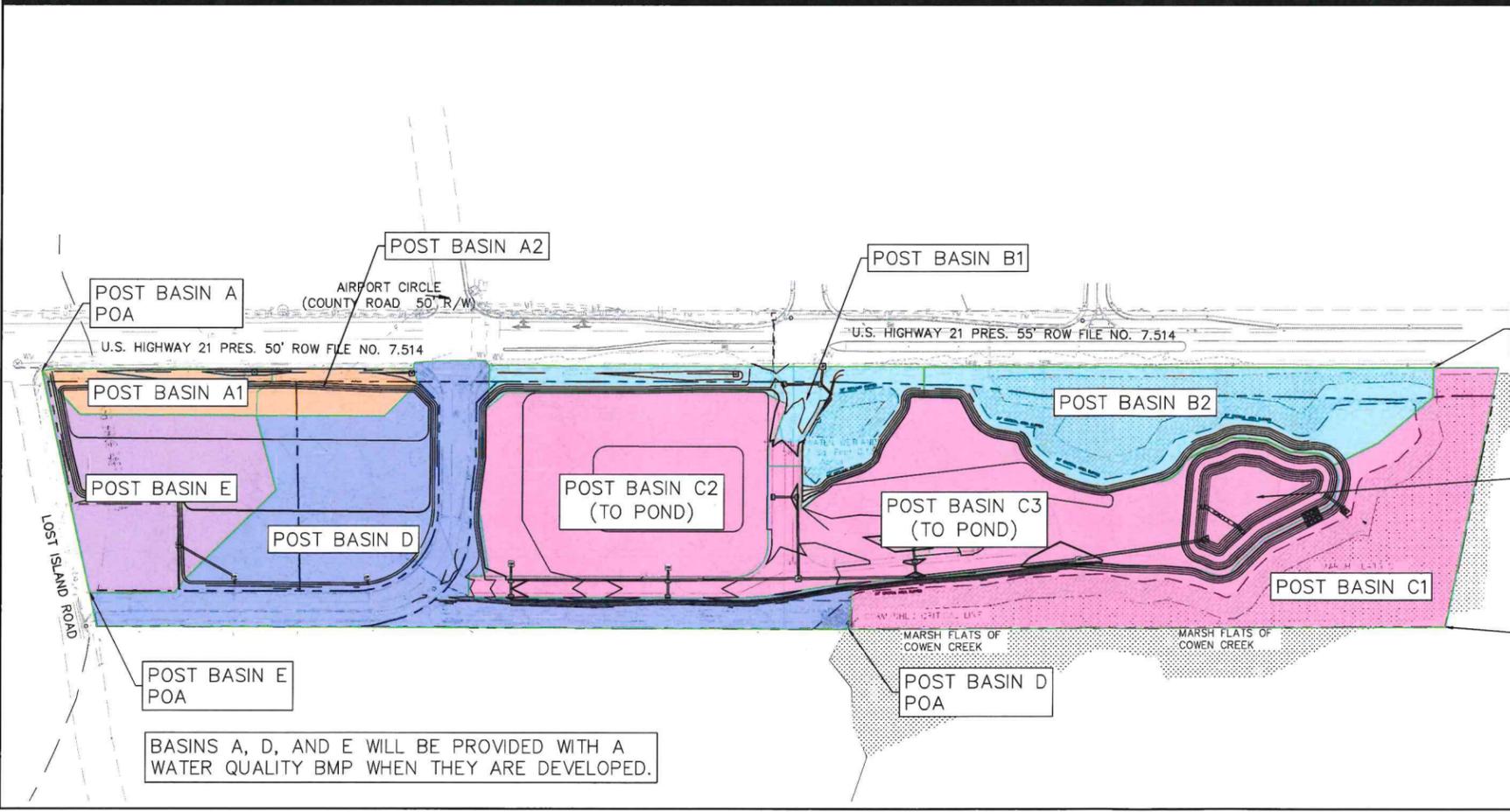
**STORMWATER
 POND PLAN**

C320



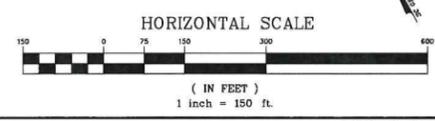
PRE-DEVELOPMENT CONDITIONS:									
	PRE A1	PRE A2	PRE POA A	PRE B1	PRE B2	PRE POA B	PRE C	PRE D	PRE E
ACERAGE (AC)	0.81	1.07	1.88	3.11	3.44	6.55	4.46	3.24	0.51
IMPERVIOUS AREA (AC)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	1.18	0.28
PERVIOUS AREA (AC)	0.81	1.07	1.88	3.11	3.44	6.55	4.46	2.05	0.23
STORMWATER RUNOFF									
POI	PRE A1	PRE A2	PRE POA A	PRE B1	PRE B2	PRE POA B	PRE C	PRE D	PRE E
2-YR (CFS)	1.0	1.9	2.7	4.6	5.5	10.2	7.8	6.1	1.7
10-YR (CFS)	1.9	3.5	5.1	8.8	10.5	19.2	14.7	10.5	2.8
25-YR (CFS)	2.5	4.6	6.7	11.4	13.6	24.9	19.1	13.3	3.5
50-YR (CFS)	3.0	5.5	8.0	13.7	16.3	30.0	23.0	15.7	4.1
100-YR (CFS)	3.5	6.4	9.4	16.0	19.1	35.0	26.9	18.0	4.7
WEIGHTED CN	79	79	79	79	79	79	79	86	88
TC (MIN.)	33.0	15.0		22.0	17.0		15.0	22.0	6.0
SHEET FLOW									
N-VALUE	0.4	0.4		0.4	0.4		0.4	0.4	0.011
LENGTH (FT)	100	100		100	100		100	100	100
SLOPE%	0.26	2.2		0.87	1.59		1.86	0.95	0.9
SHALLOW FLOW									
LENGTH (FT)	73	108		233	187		49.6	96.5	54.48
SLOPE%	4.2	1.8		1.9	2.6		1.7	0.2	1.7
PAVED/UNPAVED	UNPAVED/UNPAVED	UNPAVED/UNPAVED		UNPAVED/UNPAVED	UNPAVED/UNPAVED		UNPAVED/UNPAVED	UNPAVED/UNPAVED	UNPAVED

CIVIL LEGEND – DRAINAGE AREA:
DRAINAGE AREA LIMITS



POST-DEVELOPMENT CONDITIONS:												
	POST A1	POST A2	POST POA A	POST B1	POST B2	POST POA B	POST C1	TO POND	POST POA C	POST D	POST E	
ACERAGE (AC)	0.41	0.31	0.72	0.93	1.87	2.80	3.99	5.67	9.66	3.32	1.24	
IMPERVIOUS AREA (AC)	0.12	0.16	0.28	0.14	0.00	0.14	1.26	4.51	5.77	2.50	0.61	
PERVIOUS AREA (AC)	0.29	0.15	0.44	0.79	1.87	2.66	2.73	1.16	3.89	0.82	0.63	
STORMWATER RUNOFF												
POI	POST A1	POST A2	POST POA A	POST B1	POST B2	POST POA B	POST C1	POND	POST POA C	POST D	POST E	
2-YR (CFS)	1.2	1.0	2.3	1.5	3.1	4.7	4.8	1.0	5.6	12.4	4.9	
10-YR (CFS)	2.1	1.7	3.9	2.8	5.8	8.6	9.0	8.4	15.2	19.6	8.0	
25-YR (CFS)	2.7	2.2	4.9	3.6	7.5	11.1	11.7	21.0	32.5	24.1	9.9	
50-YR (CFS)	3.2	2.5	5.7	4.3	9.0	13.3	14.1	34.4	48.4	27.9	11.6	
100-YR (CFS)	3.7	2.9	6.6	5.0	10.5	15.4	16.4	44.6	60.8	31.8	13.2	
WEIGHTED CN	85	89		82	80		79	94		94	91	
TC (MIN.)	6.0	6.0		6.0	6.0		6.0	6.0		6.0	6.0	

CIVIL LEGEND – DRAINAGE AREA:
DRAINAGE AREA LIMITS



Airport Retail Investment, LLC
 Mount Pleasant, South Carolina
AIRPORT JUNCTION
SITE INFRASTRUCTURE PACKAGE
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 SOUTH CAROLINA



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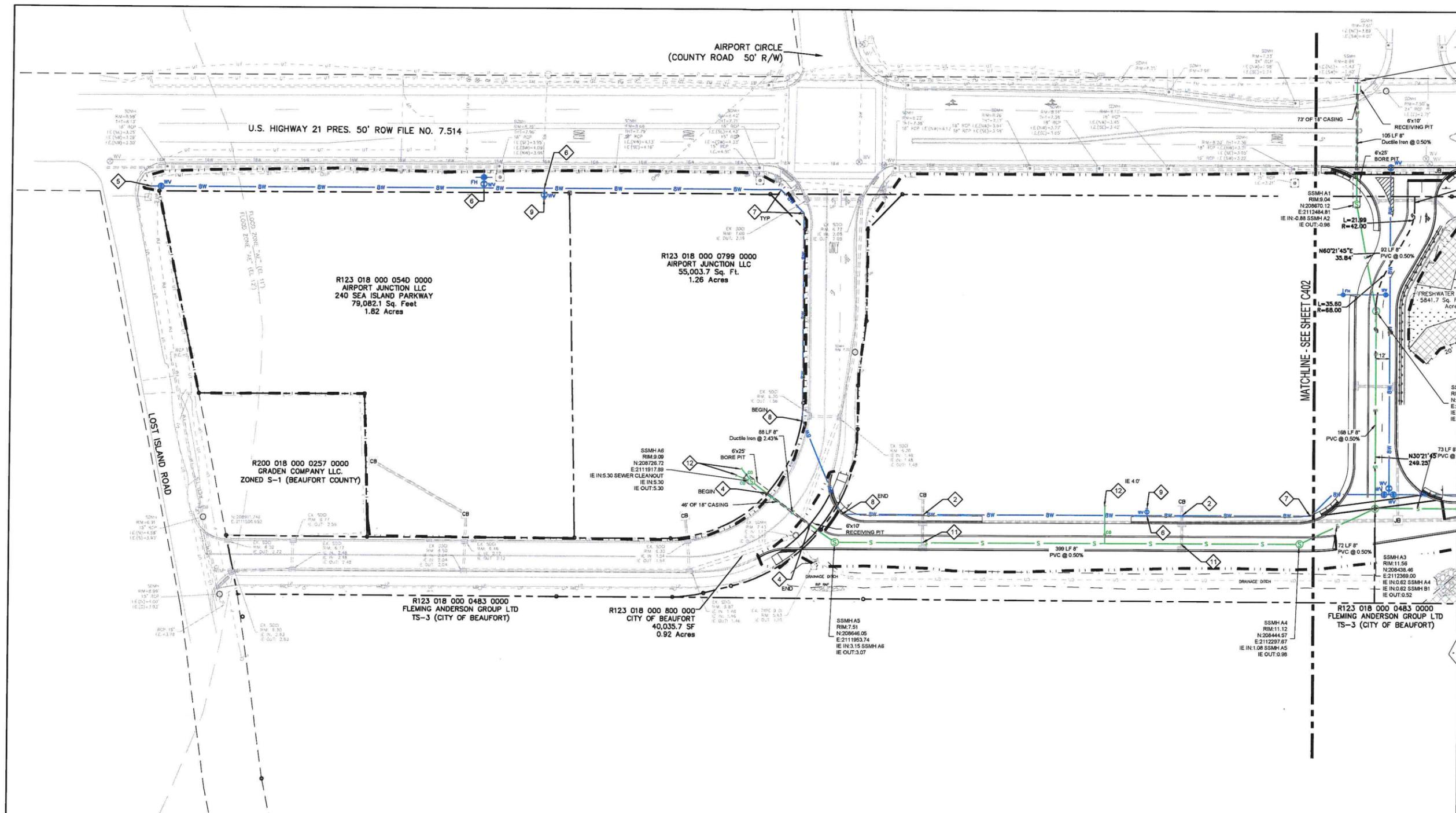


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DRAINAGE AREA PLAN

C330

PERMIT SET



UTILITY NOTES

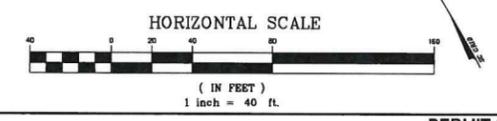
- SEE SHEET C001 FOR CIVIL NOTES AND ABBREVIATIONS
- GENERAL CONTRACTOR SHALL COORDINATE ALL SITE UTILITIES AND STORM DRAINAGE INSTALLATION SCHEDULES TO AVOID POTENTIAL UTILITY CONFLICTS. GRAVITY DEPENDENT UTILITIES SHALL BE INSTALLED PRIOR TO NON-GRAVITY DEPENDENT UTILITIES
- UTILITY CONTRACTOR SHALL PROVIDE WATER AND SEWER RECORD DRAWINGS AND EASEMENT PLATS IN ACCORDANCE WITH BJWSA REQUIREMENTS.
- SEE C810 SHEET SERIES FOR TRAFFIC CONTROL DETAILS.
- ALL WATER AND SEWER CONSTRUCTION SHALL BE IAW BJWSA REQUIREMENTS.

KEYNOTES

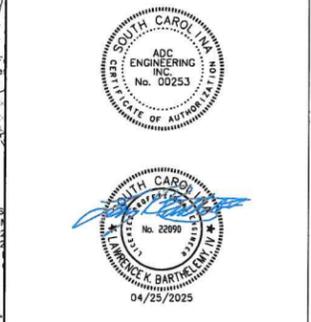
- TIE INTO EXISTING WATER LINE WITH NEW 16" X8" TAPPING SLEEVE AND VALVE IAW DETAIL E/C640. REPAIR EXISTING PAVEMENT IAW DETAIL A/C640
- INSTALL WATERLINE OVER/UNDER STORM DRAINAGE PIPE IAW DETAIL D/C640.
- CONNECT TO EXISTING SEWER MANHOLE.
- JACK AND BORE 18" (0.3125" THICK) STEEL CASING UNDER ROADWAY IAW DETAIL B/C640. INSTALL 8" DIP SEWER MAIN WITHIN STEEL CASING.
- CONNECT NEW WATER LINE TO EXISTING HYDRANT LEG. INSTALL NEW 8"X6" REDUCER AND FITTINGS AS NECESSARY.
- INSTALL NEW 8" X 6" TEE.
- INSTALL BENDS AS NECESSARY.
- DIRECTIONAL DRILL NEW 8" HDPE (SDR 11) WATER LINE UNDER EXISTING ROAD.
- INSTALL NEW 6" WATER STUB OUT FOR FUTURE DEVELOPMENT IAW DETAIL D/C640.
- INSTALL NEW 8" X 8" TEE.
- INSTALL SEWER LINE OVER/UNDER UTILITY OR STORM DRAINAGE IAW DETAIL D/C641.
- INSTALL NEW 6" PVC (SDR 26) SEWER SERVICE AND CLEANOUT FOR FUTURE DEVELOPMENT IAW DETAIL A/C641.

CIVIL LEGEND - WATER AND SEWER

- FIRE HYDRANT ASSEMBLY - INSTALL IAW DETAIL G/C640
- GATE VALVE (MATCH LINE SIZE) - INSTALL IAW DETAILS C/C640 & E/C641
- SEWER MANHOLE - INSTALL IAW DETAIL C/C641.
- SEWER CLEANOUT - INSTALL IAW DETAIL A/C641.
- 8" PVC (C900) WATER MAIN - INSTALL IAW DETAILS A/C640, D/C640 AND E/C641.
- 6" PVC (C900) WATER MAIN - INSTALL IAW DETAILS A/C640, D/C640 AND E/C641.
- 8" PVC (SDR 26) SEWER MAIN - INSTALL IAW DETAIL B/C641.
- 6" PVC (SDR 26) SEWER SERVICE - INSTALL IAW DETAIL A/C641.
- NEW LIGHT POLE - INSTALL IAW ELECTRICAL PLANS
- PROPERTY LINE
- LIMITS OF CONSTRUCTION/LIMITS OF DISTURBANCE



BEAUFORT SOUTH CAROLINA
AIRPORT JUNCTION SITE INFRASTRUCTURE PACKAGE
 Airport Retail Investment, LLC
 Mount Pleasant, South Carolina



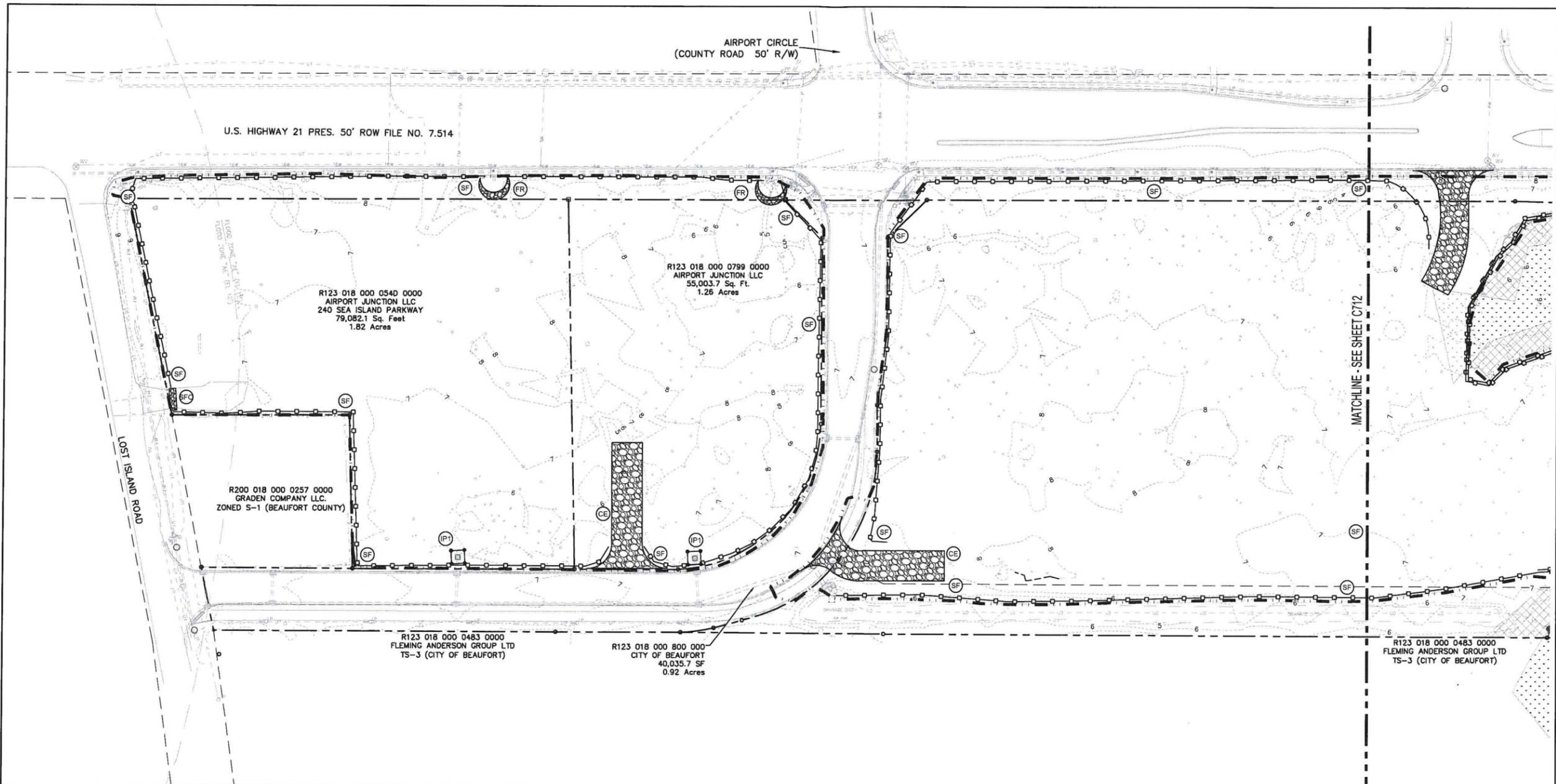
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CONTRACTOR SHALL CONTACT 811 (1-888-721-7171) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
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UTILITY PLAN - AREA 1
C401

PERMIT SET



EROSION CONTROL NOTES:

- SEE SHEET C001 FOR CIVIL NOTES AND ABBREVIATIONS.
- SEE SHEET C700 FOR ADDITIONAL CONTROL NOTES.
- ALL CONTRACTORS/SUBCONTRACTORS/PERSON THAT WILL BE ENGAGED IN LAND DISTURBING ACTIVITIES SHALL COMPLY WITH ALL EROSION CONTROL AND STORMWATER POLLUTION PREVENTION REQUIREMENTS CONTAINED THROUGHOUT THE DRAWINGS, SPECIFICATIONS AND PERMITS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM EXISTING AND NEW STORM DRAINAGE SYSTEM WITHIN THE LIMITS OF DISTURBANCE.
- DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURE TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF-SITE.

KEYNOTES ◆

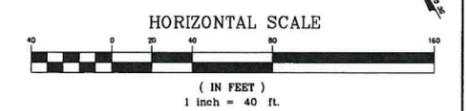
- INSTALL PERMANENT POND FOR USE AS TEMPORARY SEDIMENT BASIN IAW DETAIL C/C63_ & C/C74. INSTALL TEMPORARY OUTLET RISER AS NECESSARY.
- TRANSITION INLET PROTECTION AS CONSTRUCTION PROGRESSES.
- PROTECT WETLANDS SCHEDULED TO REMAIN.
- INSTALL DOUBLE ROW OF SILT FENCE SPACED 3' APART AS SHOWN AND IN ALL LOCATIONS WHERE THE LIMITS OF DISTURBANCE IS WITHIN 50' OF WETLANDS.
- FILL WETLANDS IAW USACE PERMIT SAC-2018-01891.
- EXCAVATE TEMPORARY SEDIMENT PIT DURING CLEARING AND MASS GRADING OPERATIONS. CONVERT PIT TO TEMPORARY SEDIMENT BASIN ONCE ONSITE FILL IS PLACED.

CIVIL LEGEND - EROSION CONTROL

CE		CONSTRUCTION ENTRANCE - INSTALL IAW DETAIL A/C740	ECB		EROSION CONTROL BLANKET - INSTALL IAW DETAIL A/C742
SF		REINFORCED SILT FENCE - INSTALL IAW DETAIL C/C740	DD		DIVERSION DITCH OR SWALE - INSTALL IAW DETAIL C/C741
ST		SEDIMENT TUBE - INSTALL IAW DETAIL E/C740	SD		TEMPORARY SLOPE DRAIN - INSTALL IAW DETAIL B/C742
SFC		SILT FENCE OUTLET - INSTALL IAW DETAIL E/C740	IP1		SEDIMENT TUBE INLET PROTECTION - INSTALL IAW DETAIL B/C742
TS		TEMPORARY SEEDING - INSTALL IAW DETAIL A/C741 AND CONSTRUCTION GENERAL PERMIT MINIMUM AREAS SHOWN.	IP2		FILTER SACK INLET PROTECTION - INSTALL IAW DETAIL D/C741
PS		PERMANENT SEEDING - INSTALL IAW DETAIL A/C741 AND LANDSCAPE PLANS.	RR		PERMANENT RIP RAP APRON - INSTALL IAW DETAIL B/C740
FB		FOREBAY - INSTALL IAW SHEET C320	SK		SKIMMER - INSTALL IAW DETAIL D/C742
OW		OVERFLOW WEIR - INSTALL IAW SHEET C320	CW		CONCRETE WASHOUT - INSTALL IAW DETAIL E/C741
FR		STONE FILTER RING - INSTALL IAW DETAIL B/C741	BZ		BUFFER ZONE MANAGEMENT AREA W/COMPLIANCE OPTION A (DOUBLE ROW SILT FENCE)
					WETLANDS WHICH ARE TO REMAIN UNDISTURBED AND PROTECTED.
					LIMITS OF CONSTRUCTION/DISTURBANCE

SEQUENCE OF CONSTRUCTION - INITIAL PHASE:

- RECEIVE NPDES APPROVAL FROM SCDES
- NOTIFY REGIONAL SCDES EQC OFFICE AND CITY OF BEAUFORT 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- PRIOR TO ANY LAND DISTURBANCE ACTIVITY CONDUCT A SWPPP PRE-CONSTRUCTION CONFERENCE. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT SWPPP PRE-CONSTRUCTION MEETING WITH SWPPP PREPARING ENGINEER, SCDES, CITY OF BEAUFORT, OWNER AND ALL LAND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
- STAKE OUT CLEARING LIMITS.
- CONDUCT LIMITED CLEARING, TIMBERING AND DEMOLITION AS REQUIRED TO INSTALL PERIMETER BEST MANAGEMENT PRACTICES AND CONSTRUCTION ENTRANCES.
- INSTALL SILT FENCE, SILT FENCE OUTLETS, AND CONSTRUCTION ENTRANCES AS SHOWN ON THE PLANS.
- CONDUCT LIMITED CLEARING AND EARTHWORK AS REQUIRED TO INSTALL SEDIMENT PIT AND DIVERSION DITCHES.
- INSTALL TEMPORARY SEDIMENT PIT, DIVERSION DITCHES, AND DITCH CHECKS AS SHOWN ON THE PLANS. IMMEDIATELY STABILIZE DIVERSION DITCHES AND SEDIMENT PIT WITH JUTE OR EROSION CONTROL BLANKET AND TEMPORARY SEEDING.



Airport Retail Investment, LLC
 Mount Pleasant, South Carolina
AIRPORT JUNCTION
SITE INFRASTRUCTURE PACKAGE
 BEAUFORT
 SOUTH CAROLINA



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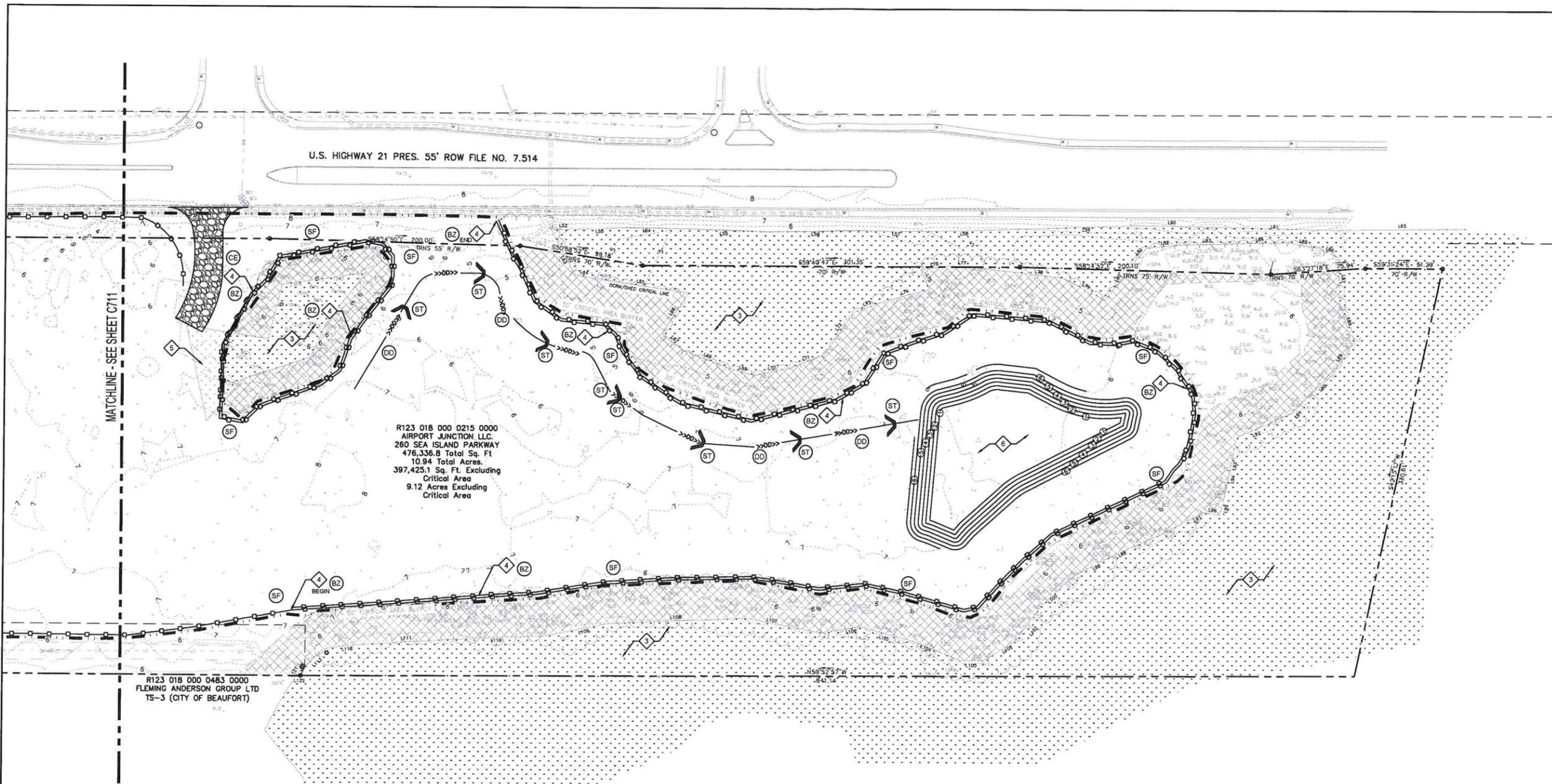
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EROSION CONTROL PLAN - INITIAL PHASE - AREA 1

C711

PERMIT SET



U.S. HIGHWAY 21 PRES. 55' ROW FILE NO. 7.514

MATCHLINE - SEE SHEET C711

R123 018 000 0215 0000
 AIRPORT JUNCTION LLC
 260 SEA ISLAND PARKWAY
 476,336.8 Total Sq. Ft
 10.94 Total Acres
 397,425.1 Sq. Ft. Excluding
 Critical Area
 9.12 Acres Excluding
 Critical Area

R123 018 000 0483 0000
 FLEMING ANDERSON GROUP LTD
 TS-3 (CITY OF BEAUFORT)

EROSION CONTROL NOTES:

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- SEE SHEET C700 FOR ADDITIONAL CONTROL NOTES.
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- DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURE TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF-SITE.

KEYNOTES:

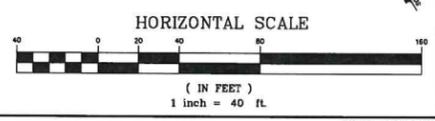
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CIVIL LEGEND - EROSION CONTROL

CE		CONSTRUCTION ENTRANCE - INSTALL IAW DETAIL A/C740	ECB		EROSION CONTROL BLANKET - INSTALL IAW DETAIL A/C742
SF		REINFORCED SILT FENCE - INSTALL IAW DETAIL E/C740	DD		DIVERSION DITCH OR SWALE - INSTALL IAW DETAIL C/C741
ST		SEDIMENT TUBE - INSTALL IAW DETAIL E/C740	SD		TEMPORARY SLOPE DRAIN - INSTALL IAW DETAIL B/C742
SFC		SILT FENCE OUTLET - INSTALL IAW DETAIL D/C740	IP1		SEDIMENT TUBE INLET PROTECTION - INSTALL IAW DETAIL B/C742
TS		TEMPORARY SEEDING - INSTALL IAW DETAIL A/C741 AND CONSTRUCTION GENERAL PERMIT MINIMUM AREAS SHOWN.	IP2		FILTER SACK INLET PROTECTION - INSTALL IAW DETAIL D/C741
PS		PERMANENT SEEDING - INSTALL IAW DETAIL A/C741 AND LANDSCAPE PLANS	RR		PERMANENT RIP RAP APRON - INSTALL IAW DETAIL B/C740
FB		FOREBAY - INSTALL IAW SHEET C320.	SK		SKIMMER - INSTALL IAW DETAIL D/C742
OW		OVERFLOW WEIR - INSTALL IAW SHEET C320.	CW		CONCRETE WASHOUT - INSTALL IAW DETAIL E/C741
FR		STONE FILTER RING - INSTALL IAW DETAIL B/C741.	BZ		BUFFER ZONE MANAGEMENT AREA W/COMPLIANCE OPTION A (DOUBLE ROW SILT FENCE)
		WETLANDS WHICH ARE TO REMAIN UNDISTURBED AND PROTECTED.			LIMITS OF CONSTRUCTION/DISTURBANCE

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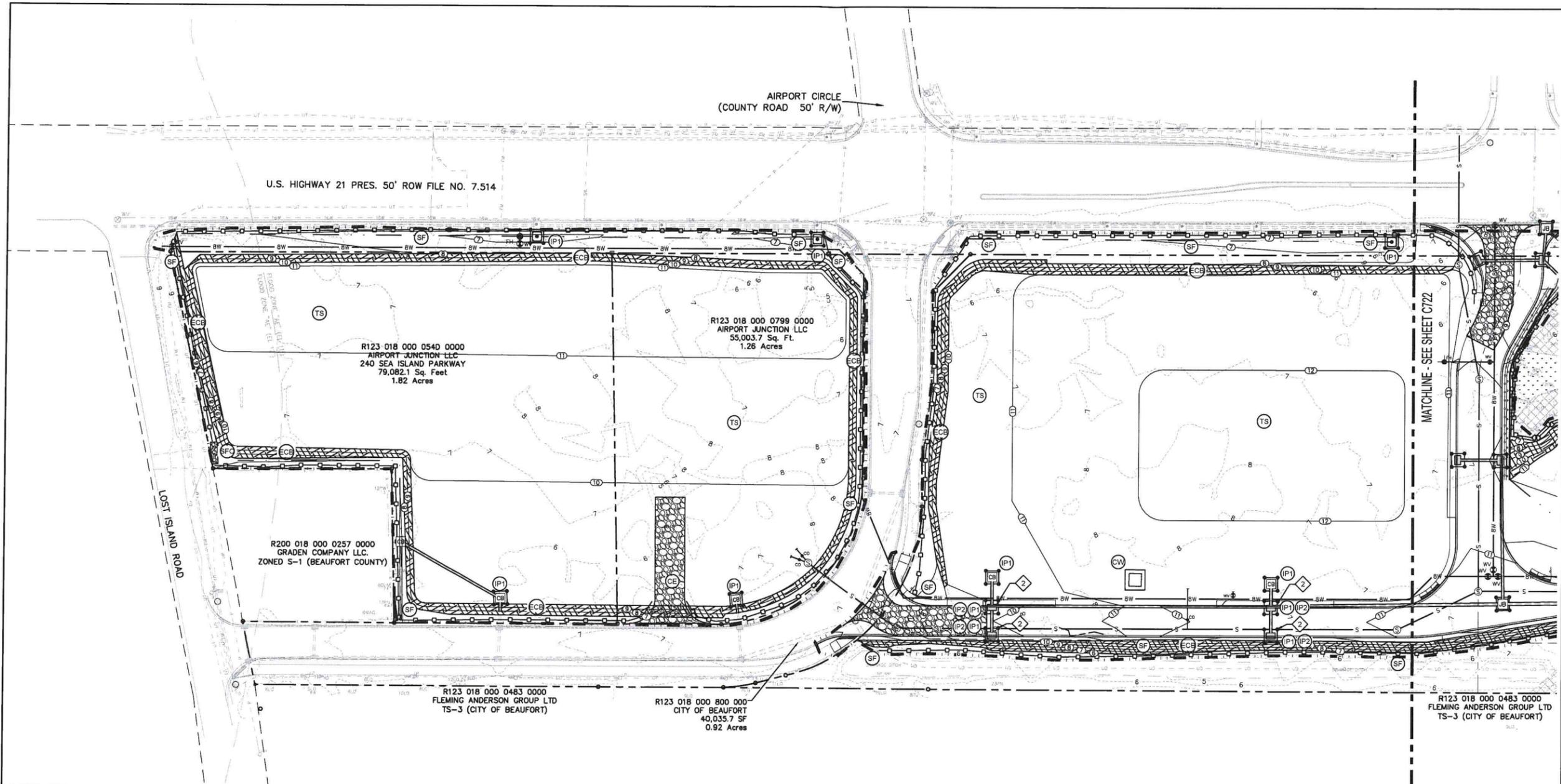
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EROSION CONTROL PLAN - INITIAL - AREA 2

C712

PERMIT SET



Airport Retail Investment, LLC
 Mount Pleasant, South Carolina
AIRPORT JUNCTION
SITE INFRASTRUCTURE PACKAGE
 BEAUFORT
 SOUTH CAROLINA




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2. SEE SHEET C700 FOR ADDITIONAL CONTROL NOTES
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5. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURE TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF-SITE.

KEYNOTES

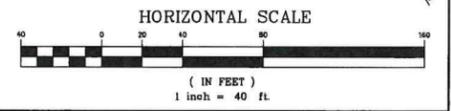
1. INSTALL PERMANENT POND FOR USE AS TEMPORARY SEDIMENT BASIN IAW DETAIL A/C63_ & A/C74_ INSTALL TEMPORARY OUTLET RISER AS NECESSARY.
2. TRANSITION INLET PROTECTION AS CONSTRUCTION PROGRESSES.
3. PROTECT WETLANDS SCHEDULED TO REMAIN.
4. INSTALL DOUBLE ROW OF SILT FENCE SPACED 3' APART AS SHOWN AND IN ALL LOCATIONS WHERE THE LIMITS OF DISTURBANCE IS WITHIN 50' OF WETLANDS.
5. FILL WETLANDS IAW USACE PERMIT SAC-2018-01891.
6. EXCAVATE TEMPORARY SEDIMENT PIT DURING CLEARING AND MASS GRADING OPERATIONS. CONVERT PIT TO TEMPORARY SEDIMENT BASIN ONCE ONSITE FILL IS PLACED.

CIVIL LEGEND - EROSION CONTROL

<p>CE CONSTRUCTION ENTRANCE - INSTALL IAW DETAIL A/C740</p> <p>SF REINFORCED SILT FENCE - INSTALL IAW DETAIL C/C740</p> <p>ST SEDIMENT TUBE - INSTALL IAW DETAIL E/C740</p> <p>SFC SILT FENCE OUTLET - INSTALL IAW DETAIL D/C740</p> <p>TS TEMPORARY SEEDING - INSTALL IAW DETAIL A/C741 AND CONSTRUCTION GENERAL PERMIT. MINIMUM AREAS SHOWN.</p> <p>PS PERMANENT SEEDING - INSTALL IAW DETAIL A/C741 AND LANDSCAPE PLANS.</p> <p>FB FOREBAY - INSTALL IAW SHEET C320</p> <p>OW OVERFLOW WEIR - INSTALL IAW SHEET C320</p> <p>FR STONE FILTER RING - INSTALL IAW DETAIL B/C741.</p>	<p>ECB EROSION CONTROL BLANKET - INSTALL IAW DETAIL A/C742.</p> <p>DD DIVERSION DITCH OR SWALE - INSTALL IAW DETAIL C/C741.</p> <p>SD TEMPORARY SLOPE DRAIN - INSTALL IAW DETAIL B/C742.</p> <p>IP1 SEDIMENT TUBE INLET PROTECTION - INSTALL IAW DETAIL B/C742.</p> <p>IP2 FILTER SACK INLET PROTECTION - INSTALL IAW DETAIL D/C741.</p> <p>RR PERMANENT RIP RAP APRON - INSTALL IAW DETAIL B/C740.</p> <p>SK SKIMMER - INSTALL IAW DETAIL D/C742.</p> <p>CW CONCRETE WASHOUT - INSTALL IAW DETAIL E/C741.</p> <p>BZ BUFFER ZONE MANAGEMENT AREA W/COMPLIANCE OPTION A (DOUBLE ROW SILT FENCE)</p> <p>WETLANDS WHICH ARE TO REMAIN UNDISTURBED AND PROTECTED.</p> <p>LIMITS OF CONSTRUCTION/DISTURBANCE</p>
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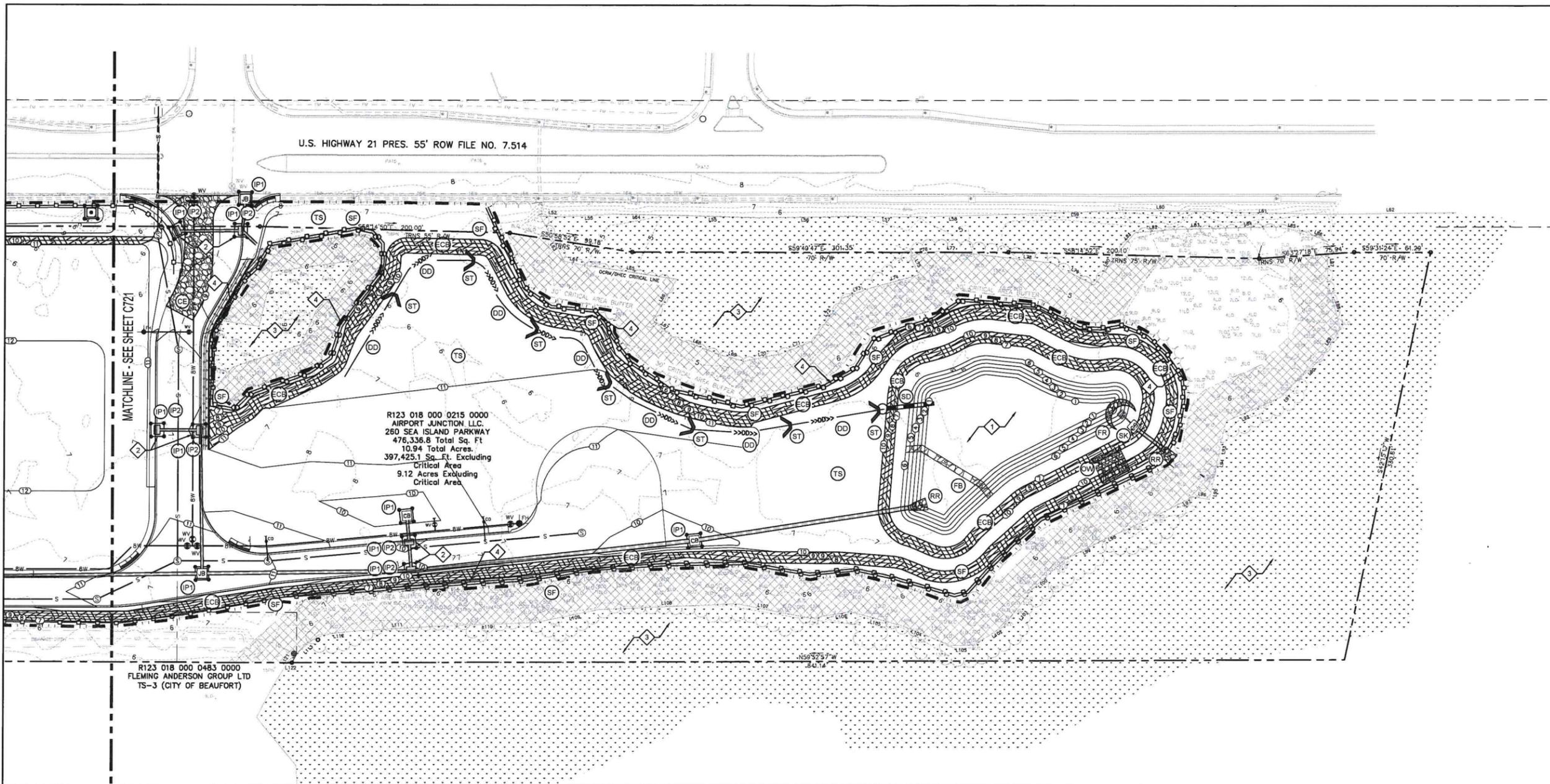
SEQUENCE OF CONSTRUCTION - CONSTRUCTION PHASE:

1. INSTALL REMAINING BMPs TO COMPLETE ALL CLEARING
2. COMPLETE REMAINING CLEARING AND GRUBBING.
3. CONDUCT MASS GRADING AND INSTALL TEMPORARY SEDIMENT BASIN.
4. ESTABLISH BUILDING PAD.
5. ADJUST SILT FENCE, SILT FENCE OUTLETS, DIVERSION DITCHES, DITCH CHECKS AND OTHER BMPs AS THE SITE IS BROUGHT UP TO GRADE.
6. BEGIN BUILDING CONSTRUCTION.
7. BEGIN INSTALLATION OF PERMANENT STORM DRAINAGE SYSTEM. INSTALL INLET PROTECTION AS THE DRAINAGE STRUCTURES ARE INSTALLED.
8. INSTALL RIP RAP APRONS AS PIPE OUTLETS ARE INSTALLED.
9. BEGIN INSTALLATION OF UTILITIES.
10. TEMPORARILY SEED DISTURBED AREAS IAW THE PLANS, DETAILS AND THE CONSTRUCTION GENERAL PERMIT.
11. MAINTAIN BEST MANAGEMENT PRACTICES THROUGHOUT CONSTRUCTION.
12. COMPLETE INSPECTION REPORTS IAW CONSTRUCTION GENERAL PERMIT. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL BMP INSPECTIONS IAW SWPPP AND SCDES REQUIREMENTS.



PERMIT SET

EROSION CONTROL PLAN - CONSTRUCTION - AREA 1
C721



U.S. HIGHWAY 21 PRES. 55' ROW FILE NO. 7.514

R123 018 000 0215 0000
 AIRPORT JUNCTION LLC
 260 SEA ISLAND PARKWAY
 476,336.8 Total Sq. Ft
 10.94 Total Acres
 397,425.1 Sq. Ft. Excluding
 Critical Area
 9.12 Acres Excluding
 Critical Area

R123 018 000 0483 0000
 FLEMING ANDERSON GROUP LTD
 TS-3 (CITY OF BEAUFORT)

EROSION CONTROL NOTES:

- SEE SHEET C001 FOR CIVIL NOTES AND ABBREVIATIONS.
- SEE SHEET C700 FOR ADDITIONAL CONTROL NOTES.
- ALL CONTRACTORS/SUBCONTRACTORS/PERSON THAT WILL BE ENGAGED IN LAND DISTURBING ACTIVITIES SHALL COMPLY WITH ALL EROSION CONTROL AND STORMWATER POLLUTION PREVENTION REQUIREMENTS CONTAINED THROUGHOUT THE DRAWINGS, SPECIFICATIONS AND PERMITS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM EXISTING AND NEW STORM DRAINAGE SYSTEM WITHIN THE LIMITS OF DISTURBANCE.
- DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURE TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF-SITE.

KEYNOTES:

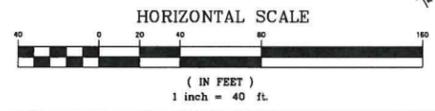
- INSTALL PERMANENT POND FOR USE AS TEMPORARY SEDIMENT BASIN IAW DETAIL C/C63_ & C/C74. INSTALL TEMPORARY OUTLET RISER AS NECESSARY.
- TRANSITION INLET PROTECTION AS CONSTRUCTION PROGRESSES.
- PROTECT WETLANDS SCHEDULED TO REMAIN.
- INSTALL DOUBLE ROW OF SILT FENCE SPACED 3' APART AS SHOWN AND IN ALL LOCATIONS WHERE THE LIMITS OF DISTURBANCE IS WITHIN 50' OF WETLANDS.
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CIVIL LEGEND - EROSION CONTROL

CE		CONSTRUCTION ENTRANCE - INSTALL IAW DETAIL A/C740.	ECB		EROSION CONTROL BLANKET - INSTALL IAW DETAIL A/C742.
SF		REINFORCED SILT FENCE - INSTALL IAW DETAIL C/C740.	DD		DIVERSION DITCH OR SWALE - INSTALL IAW DETAIL C/C741.
ST		SEDIMENT TUBE - INSTALL IAW DETAIL E/C740.	SD		TEMPORARY SLOPE DRAIN - INSTALL IAW DETAIL B/C742.
SFC		SILT FENCE OUTLET - INSTALL IAW DETAIL D/C740.	IP1		SEDIMENT TUBE INLET PROTECTION - INSTALL IAW DETAIL B/C742.
TS		TEMPORARY SEEDING - INSTALL IAW DETAIL A/C741 AND CONSTRUCTION GENERAL PERMIT. MINIMUM AREAS SHOWN.	IP2		FILTER SACK INLET PROTECTION - INSTALL IAW DETAIL D/C741.
PS		PERMANENT SEEDING - INSTALL IAW DETAIL A/C741 AND LANDSCAPE PLANS.	RR		PERMANENT RIP RAP APRON - INSTALL IAW DETAIL B/C740.
FB		FOREBAY - INSTALL IAW SHEET C320.	SK		SKIMMER - INSTALL IAW DETAIL D/C742.
OW		OVERFLOW WEIR - INSTALL IAW SHEET C320.	CW		CONCRETE WASHOUT - INSTALL IAW DETAIL E/C741.
FR		STONE FILTER RING - INSTALL IAW DETAIL B/C741.	BZ		BUFFER ZONE MANAGEMENT AREA W/COMPLIANCE OPTION A (DOUBLE ROW SILT FENCE)
					WETLANDS WHICH ARE TO REMAIN UNDISTURBED AND PROTECTED.
					LIMITS OF CONSTRUCTION/DISTURBANCE

SEQUENCE OF CONSTRUCTION - CONSTRUCTION PHASE:

- INSTALL REMAINING BMPs TO COMPLETE ALL CLEARING.
- COMPLETE REMAINING CLEARING AND GRUBBING.
- CONDUCT MASS GRADING AND INSTALL TEMPORARY SEDIMENT BASIN.
- ESTABLISH BUILDING PAD.
- ADJUST SILT FENCE, SILT FENCE OUTLETS, DIVERSION DITCHES, DITCH CHECKS AND OTHER BMPs AS THE SITE IS BROUGHT UP TO GRADE.
- BEGIN BUILDING CONSTRUCTION.
- BEGIN INSTALLATION OF PERMANENT STORM DRAINAGE SYSTEM. INSTALL INLET PROTECTION AS THE DRAINAGE STRUCTURES ARE INSTALLED.
- INSTALL RIP RAP APRONS AS PIPE OUTLETS ARE INSTALLED.
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Airport Retail Investment, LLC
 Mount Pleasant, South Carolina
AIRPORT JUNCTION
SITE INFRASTRUCTURE PACKAGE
 BEAUFORT
 SOUTH CAROLINA



ADC ENGINEERING
 25 WOODS LAKE ROAD, SUITE 210
 GREENVILLE, SC 29607
 864-751-9121
 ADCENGINEERING.COM

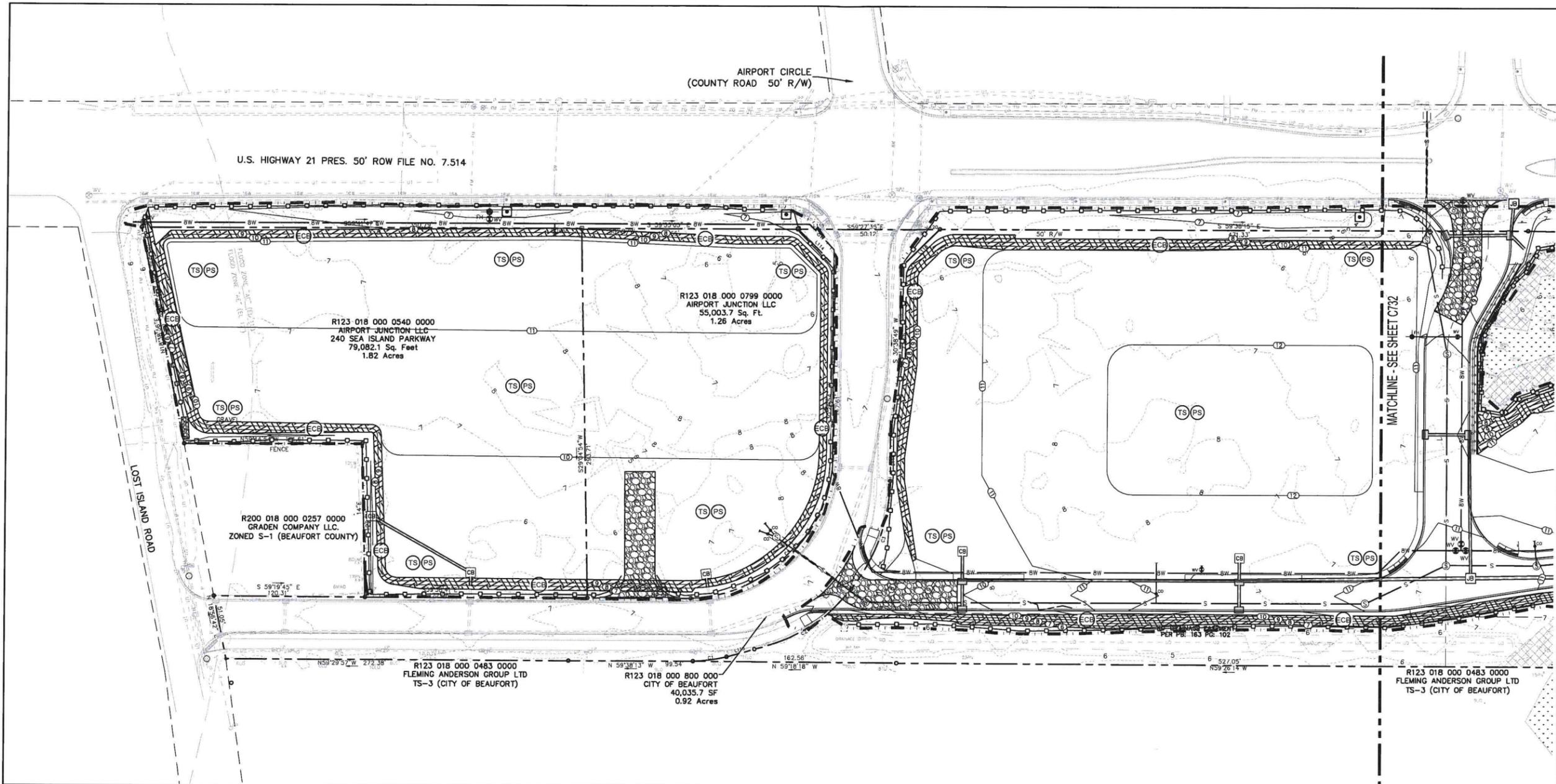


DATE:	04/25/2025
ADC PROJECT #:	21470
DESIGNED:	HP
CHECKED:	LKB
DRAWN:	LKB
REVISION:	

EROSION CONTROL PLAN - CONSTRUCTION - AREA 2

C722

PERMIT SET



**AIRPORT JUNCTION
SITE INFRASTRUCTURE PACKAGE**
 BEAUFORT
SOUTH CAROLINA

Airport Retail Investment, LLC
 Mount Pleasant, South Carolina




**ADC
ENGINEERING**
 25 WOODS LAKE ROAD, SUITE 210
 GREENVILLE, SC 29607
 864-751-9121
ADCENGINEERING.COM

EROSION CONTROL NOTES:

- SEE SHEET C001 FOR CIVIL NOTES AND ABBREVIATIONS.
- SEE SHEET C700 FOR ADDITIONAL CONTROL NOTES
- ALL CONTRACTORS/SUBCONTRACTORS/PERSON THAT WILL BE ENGAGED IN LAND DISTURBING ACTIVITIES SHALL COMPLY WITH ALL EROSION CONTROL AND STORMWATER POLLUTION PREVENTION REQUIREMENTS CONTAINED THROUGHOUT THE DRAWINGS, SPECIFICATIONS AND PERMITS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM EXISTING AND NEW STORM DRAINAGE SYSTEM WITHIN THE LIMITS OF DISTURBANCE
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KEYNOTES

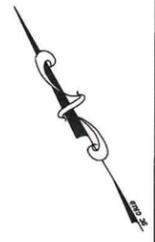
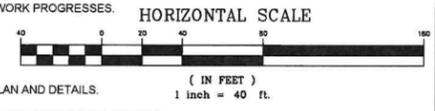
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- TRANSITION INLET PROTECTION AS CONSTRUCTION PROGRESSES.
- PROTECT WETLANDS SCHEDULED TO REMAIN
- INSTALL DOUBLE ROW OF SILT FENCE SPACED 3' APART AS SHOWN AND IN ALL LOCATIONS WHERE THE LIMITS OF DISTURBANCE IS WITHIN 50' OF WETLANDS.
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CIVIL LEGEND - EROSION CONTROL

		CONSTRUCTION ENTRANCE - INSTALL IAW DETAIL A/C740.			EROSION CONTROL BLANKET - INSTALL IAW DETAIL A/C742.
		REINFORCED SILT FENCE - INSTALL IAW DETAIL C/C740.			DIVERSION DITCH OR SWALE - INSTALL IAW DETAIL C/C741.
		SEDIMENT TUBE - INSTALL IAW DETAIL E/C740.			TEMPORARY SLOPE DRAIN - INSTALL IAW DETAIL B/C742.
		SILT FENCE OUTLET - INSTALL IAW DETAIL D/C740.			SEDIMENT TUBE INLET PROTECTION - INSTALL IAW DETAIL B/C742.
		TEMPORARY SEEDING - INSTALL IAW DETAIL A/C741 AND CONSTRUCTION GENERAL PERMIT. MINIMUM AREAS SHOWN.			FILTER SACK INLET PROTECTION - INSTALL IAW DETAIL D/C741.
		PERMANENT SEEDING - INSTALL IAW DETAIL A/C741 AND LANDSCAPE PLANS.			PERMANENT RIP RAP APRON - INSTALL IAW DETAIL B/C740.
		FOREBAY - INSTALL IAW SHEET C320.			SKIMMER - INSTALL IAW DETAIL D/C742.
		OVERFLOW WEIR - INSTALL IAW SHEET C320.			CONCRETE WASHOUT - INSTALL IAW DETAIL E/C741.
		STONE FILTER RING - INSTALL IAW DETAIL B/C741.			BUFFER ZONE MANAGEMENT AREA W/COMPLIANCE OPTION A (DOUBLE ROW SILT FENCE)
					WETLANDS WHICH ARE TO REMAIN UNDISTURBED AND PROTECTED.
					LIMITS OF CONSTRUCTION/ DISTURBANCE

SEQUENCE OF CONSTRUCTION - STABILIZATION PHASE:

- FINE GRADE SITE TO ELEVATIONS GIVEN ON GRADING PLANS.
- PREPARE SITE FOR PAVING.
- INSTALL CURB AND GUTTER AND SIDEWALKS. ONCE CURB AND GUTTER IS INSTALLED AND RUNOFF IS BEING DIRECTED TO THE DRAINAGE STRUCTURES, THE TEMPORARY DIVERSIONS AND SLOPE DRAINS CAN BE REMOVED.
- PAVE SITE
- INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
- INSTALL/COORDINATE REMAINING UTILITIES.
- COMPLETE ANY REMAINING GRADING
- PERMANENTLY STABILIZE REMAINING DISTURBED AREAS IAW LANDSCAPE PLAN AND DETAILS.
- COMPLETE FINAL GRADING OF PERMANENT PONDS. SKIMMER AND FILTER RINGS MUST REMAIN AT POND OUTLETS AS SHOWN UNTIL SITE IS STABILIZED.
- MAINTAIN BEST MANAGEMENT PRACTICES THROUGHOUT CONSTRUCTION.
- REMOVE SEDIMENT AND DEBRIS FROM ALL STORM DRAINAGE AND STRUCTURES.
- PREPARE THE STORMWATER AS-BUILTS. SCHEDULE AN ONSITE INSPECTION WITH THE ENGINEER AND OWNER AFTER THE SITE IS FULLY STABILIZED.
- REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL AFTER APPROVAL OF THE ENGINEER AND THE INSPECTOR. STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE BEST MANAGEMENT PRACTICES
- CONVERT THE TEMPORARY SEDIMENT BASINS TO THE PERMANENT PONDS AS SHOWN ON THE GRADING PLANS.
- CONTINUE INSPECTION REPORTS IAW CONSTRUCTION GENERAL PERMIT UNTIL THE SITE IS STABILIZED AND THE PERMIT MAY BE TERMINATED.
- CERTIFIED STORMWATER POND AS-BUILTS AND NOTICE OF TERMINATION CAN BE SUBMITTED UPON A MINIMUM OF 70% UNIFORM SITE STABILIZATION.



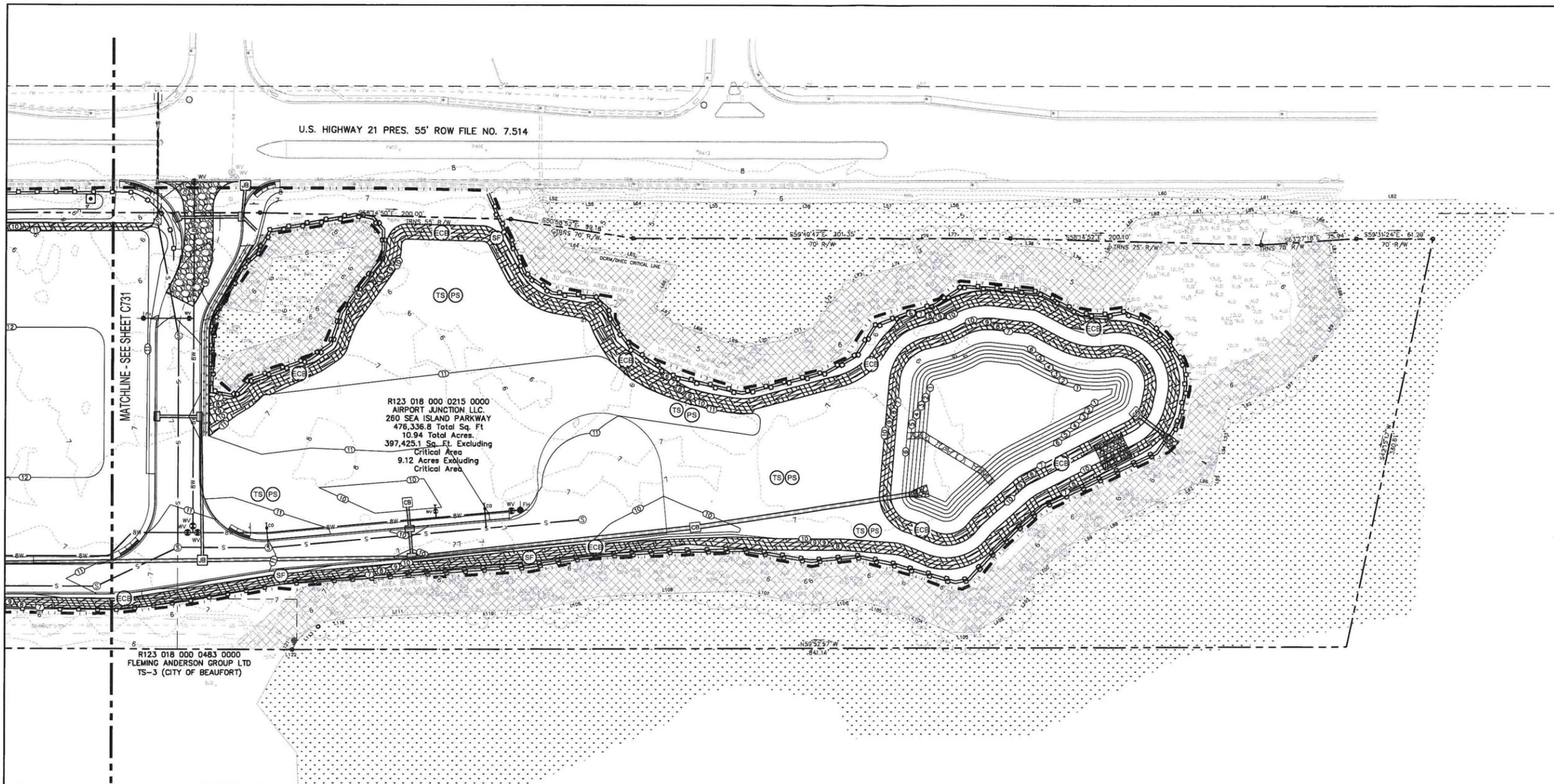

 CONTRACTOR SHALL CONTACT 811 (1-888-721-7877) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
**Know what's below.
Call before you dig.**

DATE: 04/25/2025
 ADC PROJECT #: 21470
 DESIGNED: HP
 CHECKED: LKB
 DRAWN: LKB
 REVISION:

**EROSION CONTROL PLAN -
STABILIZATION - AREA 1**

C731

PERMIT SET



EROSION CONTROL NOTES:

- SEE SHEET C001 FOR CIVIL NOTES AND ABBREVIATIONS.
- SEE SHEET C700 FOR ADDITIONAL CONTROL NOTES.
- ALL CONTRACTORS/SUBCONTRACTORS/PERSON THAT WILL BE ENGAGED IN LAND DISTURBING ACTIVITIES SHALL COMPLY WITH ALL EROSION CONTROL AND STORMWATER POLLUTION PREVENTION REQUIREMENTS CONTAINED THROUGHOUT THE DRAWINGS, SPECIFICATIONS AND PERMITS.
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- DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURE TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF-SITE.

KEYNOTES:

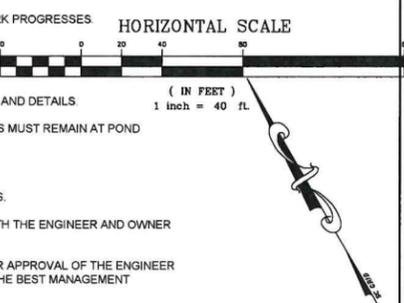
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CIVIL LEGEND - EROSION CONTROL

(CE)		CONSTRUCTION ENTRANCE - INSTALL IAW DETAIL A/C740.	(ECB)		EROSION CONTROL BLANKET - INSTALL IAW DETAIL A/C742.
(SF)		REINFORCED SILT FENCE - INSTALL IAW DETAIL C/C740	(DD)		DIVERSION DITCH OR SWALE - INSTALL IAW DETAIL C/C741.
(ST)		SEDIMENT TUBE - INSTALL IAW DETAIL E/C740	(SD)		TEMPORARY SLOPE DRAIN - INSTALL IAW DETAIL B/C742.
(SFC)		SILT FENCE OUTLET - INSTALL IAW DETAIL D/C740.	(IP1)		SEDIMENT TUBE INLET PROTECTION - INSTALL IAW DETAIL B/C742.
(TS)		TEMPORARY SEEDING - INSTALL IAW DETAIL A/C741 AND CONSTRUCTION GENERAL PERMIT. MINIMUM AREAS SHOWN.	(IP2)		FILTER SACK INLET PROTECTION - INSTALL IAW DETAIL D/C741
(PS)		PERMANENT SEEDING - INSTALL IAW DETAIL A/C741 AND LANDSCAPE PLANS.	(RR)		PERMANENT RIP RAP APRON - INSTALL IAW DETAIL B/C740.
(FB)		FOREBAY - INSTALL IAW SHEET C320.	(SK)		SKIMMER - INSTALL IAW DETAIL D/C742.
(OW)		OVERFLOW WEIR - INSTALL IAW SHEET C320.	(CW)		CONCRETE WASHOUT - INSTALL IAW DETAIL E/C741.
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SEQUENCE OF CONSTRUCTION - STABILIZATION PHASE:

- FINE GRADE SITE TO ELEVATIONS GIVEN ON GRADING PLANS.
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- INSTALL CURB AND GUTTER AND SIDEWALKS. ONCE CURB AND GUTTER IS INSTALLED AND RUNOFF IS BEING DIRECTED TO THE DRAINAGE STRUCTURES, THE TEMPORARY DIVERSIONS AND SLOPE DRAINS CAN BE REMOVED.
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Airport Retail Investment, LLC
 Mount Pleasant, South Carolina

**AIRPORT JUNCTION
 SITE INFRASTRUCTURE PACKAGE**

BEAUFORT
 SOUTH CAROLINA



**ADC
 ENGINEERING**

25 WOODS LAKE ROAD, SUITE 210
 GREENVILLE, SC 29607
 864-751-9121
 ADCENGINEERING.COM

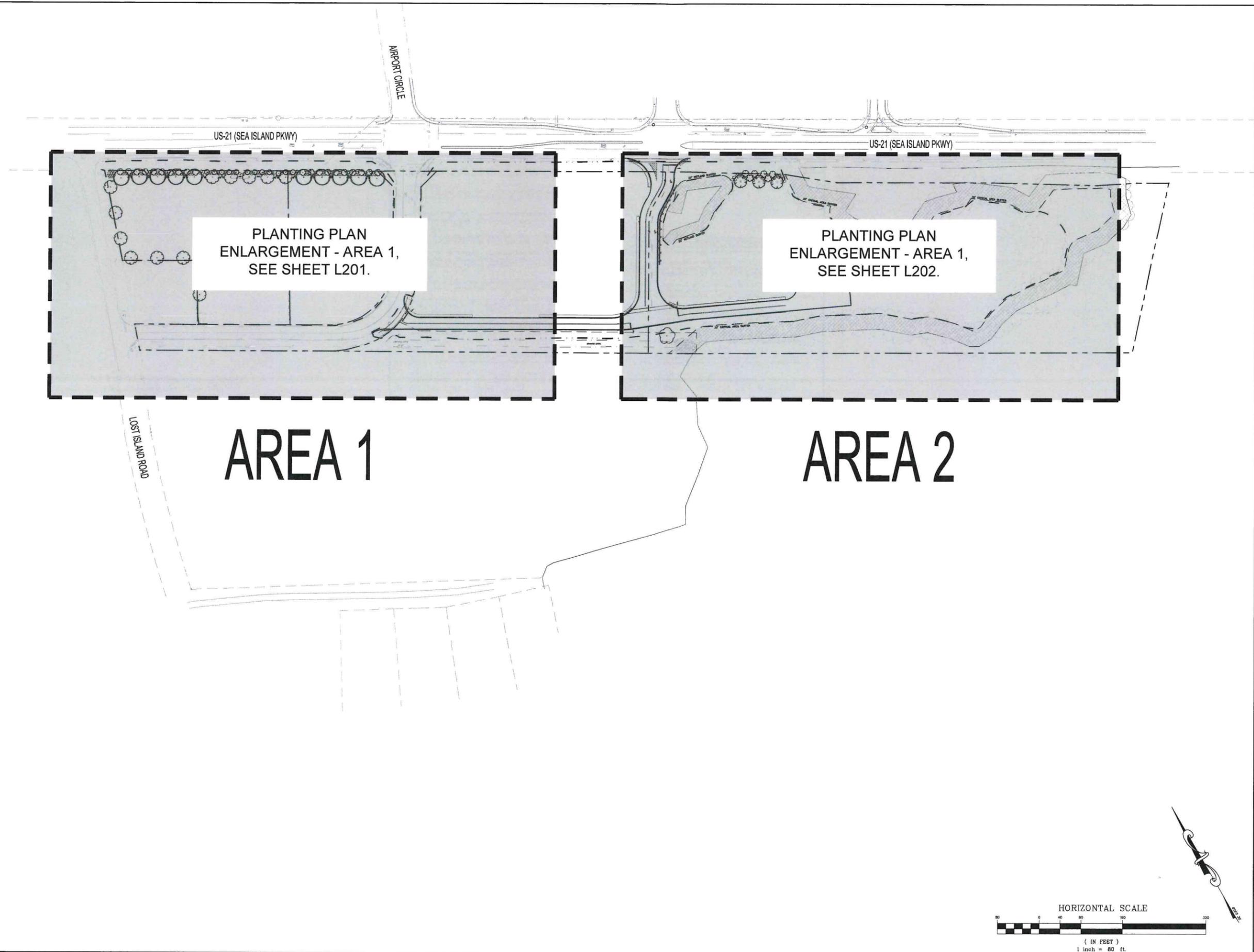


DATE:	04/25/2025
ADC PROJECT #:	21470
DESIGNED:	HP
CHECKED:	LKB
DRAWN:	LKB
REVISION:	

EROSION CONTROL PLAN - STABILIZATION - AREA 2

C732

PERMIT SET

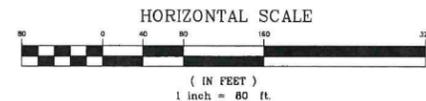


PLANTING PLAN
ENLARGEMENT - AREA 1,
SEE SHEET L201.

PLANTING PLAN
ENLARGEMENT - AREA 1,
SEE SHEET L202.

AREA 1

AREA 2



Airport Retail Investment, LLC
 Mount Pleasant, South Carolina
AIRPORT JUNCTION
SITE INFRASTRUCTURE PACKAGE
 BEAUFORT
 SOUTH CAROLINA



ADC

ENGINEERING

25 WOODS LAKE ROAD, SUITE 210
 GREENVILLE, SC 29607
 864-751-9121
ADCENGINEERING.COM

811

CONTRACTOR SHALL CONTACT 811 (1-888-721-7877) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.

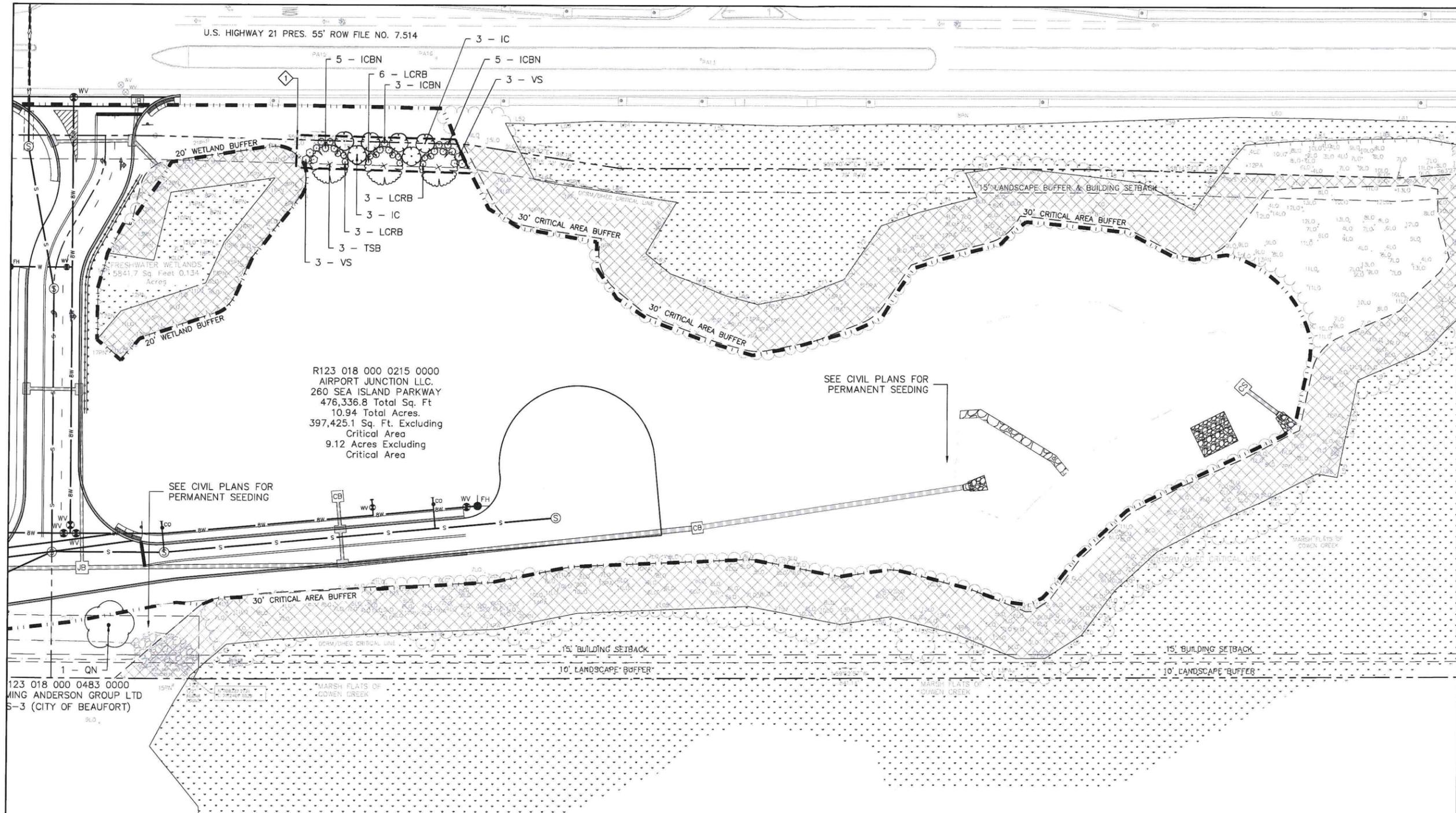
Know what's below.
Call before you dig.

DATE:	04/25/2025
ADC PROJECT #:	21470
DESIGNED:	NCM
CHECKED:	FWG
DRAWN:	NCM
REVISION:	

OVERALL LANDSCAPE
PLANTING PLAN

L200

PERMIT SET



R123 018 000 0215 0000
 AIRPORT JUNCTION LLC.
 260 SEA ISLAND PARKWAY
 476,336.8 Total Sq. Ft
 10.94 Total Acres.
 397,425.1 Sq. Ft. Excluding
 Critical Area
 9.12 Acres Excluding
 Critical Area

123 018 000 0483 0000
 KING ANDERSON GROUP LTD
 S-3 (CITY OF BEAUFORT)

PLANTING NOTES:

1. INSTALL TRENCH EDGING IN ALL AREAS WHERE PLANT BEDS ARE ADJACENT TO LAWN AREAS, AND TRENCH EDGING AROUND ALL TREES LOCATED IN LAWN AREAS.
2. THE CONTRACTOR SHALL LOCATE ALL PROPOSED & EXISTING UTILITIES PRIOR TO THE BEGINNING OF WORK. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO UTILITIES THAT ARE DISTURBED AS A RESULT OF THE WORK.
3. THE CONTRACTOR SHALL MAINTAIN ALL GRASSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS, UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE & THROUGHOUT THE MAINTENANCE CONTRACT PERIOD IF APPLICABLE.
4. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION SHALL BE REPAIRED, GRADED, & GRASSED AT THE CONTRACTOR'S EXPENSE.
5. ALL TREE BARRICADES SHALL BE MAINTAINED AROUND THE DESIGNATED TREES AT ALL TIMES. ALL WORK IN THOSE AREAS SHALL BE DONE BY HAND.
6. PROVIDE EROSION CONTROL DEVICES WHERE EROSION KEEPS OCCURRING (SEE CIVIL PACKAGE FOR SITE EROSION CONTROL PLAN).
7. ALL PLANT BEDS SHALL RECEIVE DOUBLE-SHREDDED HARDWOOD MULCH TO A MINIMUM DEPTH OF 4".
8. CONTRACTOR SHALL RE-SPREAD EXISTING TOPSOIL STOCKPILED ON SITE, AND SHALL PROVIDE SUPPLEMENTAL TOPSOIL AS NEEDED. REFER TO SPECIFICATIONS FOR MORE DETAILED INFORMATION.
9. ALL PLANT BEDS SHALL RECEIVE A WEED INHIBITOR ("PREEN" OR EQUAL).

CITY OF BEAUFORT REQUIREMENTS:

- (5.5.1) BUFFER REQUIREMENTS:
 - 15' WIDE CORRIDOR BUFFER REQUIRES (3) OVERSTORY TREES, (6) UNDERSTORY TREES, AND SHRUBS WITH 25% COVERAGE.
 - 10' WIDE REAR BUFFER REQUIRES MINIMUM (2) OVERSTORY TREES FOR EVERY 100 LINEAR FEET OF BUFFER.
- (5.6.1) GENERAL REQUIREMENTS:
 - WHERE EXISTING UTILITIES RESTRAIN USE OF OVERSTORY TREES, EACH MAY BE SUBSTITUTED FOR (2) UNDERSTORY TREES.
- AIRPORT JUNCTION PUD:
 (FF-6) DESIGN STANDARDS AND DEVELOPMENT STANDARDS
 6. BUFFERS
 - VEGETATED BUFFER REQUIRED WITHIN THE ENTIRE 15' PERIMETER OF THE PUD PROPERTY, EXCEPT IT SHALL BE 10' WHERE PROPERTY ABUTS AIRPORT ROAD AND LOST ISLAND ROAD. ENTRY ROADS/DRIVEWAYS ARE PERMITTED TO CROSS THE BUFFER

TREE PRESERVATION NOTE:

WETLAND BUFFER AREAS ARE TO REMAIN UNDISTURBED.

BUFFER CALCULATIONS:

LOCATION	TYPE	REQUIREMENTS	PROPOSED	EXISTING	TOTAL	LENGTH
FRONT BUFFER SEA ISLAND PKWY	15' WIDE	3 OVERSTORY TREES	3	0	3	96'
		6 UNDERSTORY TREES 31 SHRUBS *	6 31	0 0	6 31	
REAR BUFFER SOUTH PROPERTY LINE	10' WIDE	1 OVERSTORY TREES	1	0	1	42'

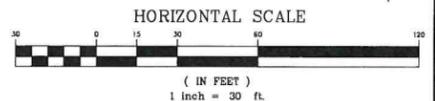
* (1,546 SF OF BUFFER) X 25% = 386.5
 (386.5) / (12.57) = 31 (4' O.C.) SHRUBS

BUFFER TYPES:

- U.S. HWY 21 BUFFER (PER 100 LF)
 (3) BROAD-LEAVED OVERSTORY TREES
 (6) UNDERSTORY TREES
 25% SHRUB COVERAGE
- 10' PERIMETER BUFFER (PER 100 LF)
 (2) BROAD-LEAVED OVERSTORY TREE

KEYNOTES:

1. IRRIGATION LIMITS - CONTRACTOR SHALL PROVIDE SHOP DRAWINGS PRIOR TO INSTALLING THE SYSTEM. EACH OUTLOT SHALL HAVE ITS OWN SYSTEM.



Airport Retail Investment, LLC
 Mount Pleasant, South Carolina
**AIRPORT JUNCTION
 SITE INFRASTRUCTURE PACKAGE**
 BEAUFORT
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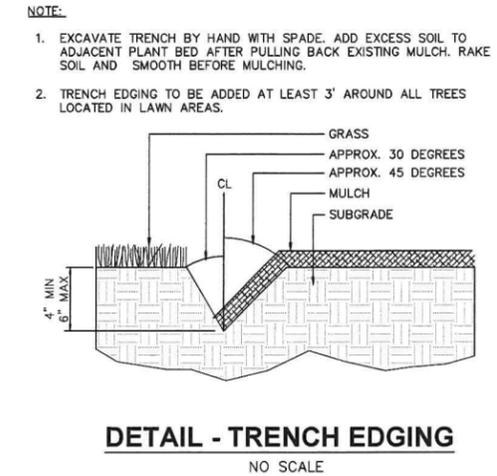
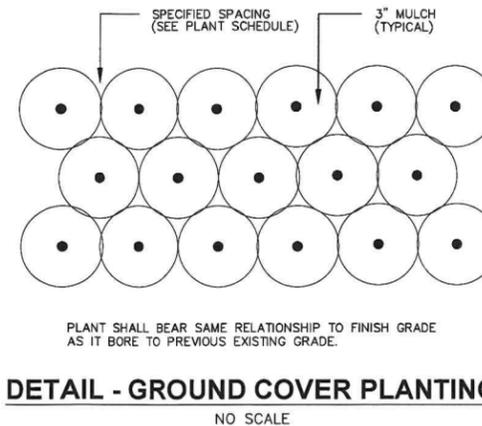
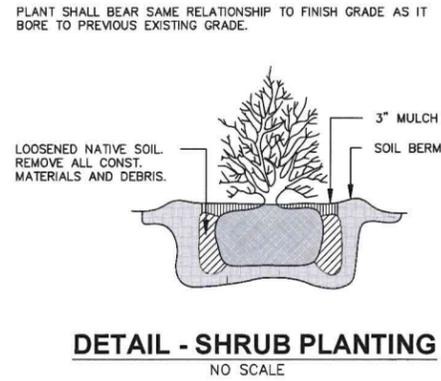
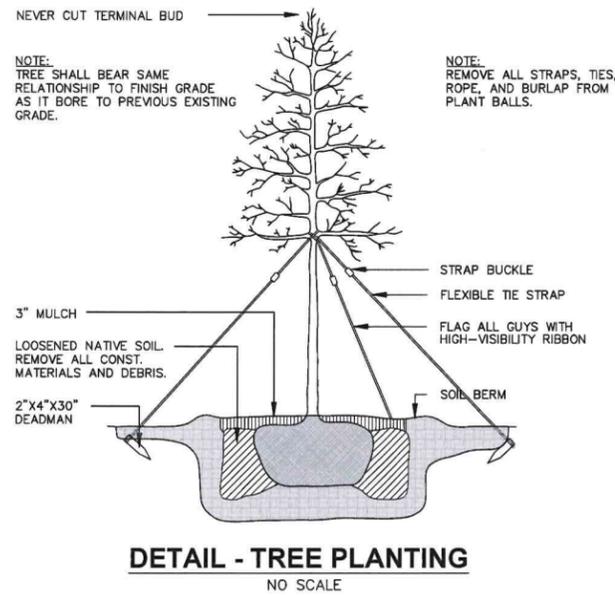


DATE: 04/25/2025
 ADC PROJECT #: 21470
 DESIGNED: NCM
 CHECKED: PWG
 DRAWN: NCM
 REVISION:

**LANDSCAPE PLAN
 PLANTING PLAN -
 AREA 2**

L202

PERMIT SET



TREE PROTECTION

- A- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING DAMAGE TO EXISTING TREES LOCATED ALONG ACCESS AND HAUL ROADS, AND ADJACENT TO, OR WITHIN BUILDING CONSTRUCTION SITES AND MATERIAL AND EQUIPMENT STORAGE AREAS. THOSE TREES TO BE SAVED SHALL BE FLAGGED BY THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- B- CONTRACTOR WILL PROVIDE NECESSARY BARRICADES AND FENCING SO AS TO DIVERT AND DIRECT VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM TREES. THE BARRICADES AND FENCING TYPE SHALL BE AS SHOWN ON THE CIVIL CONSTRUCTION DOCUMENTS.
- C- MATERIALS SHALL NOT BE STORED, NOR VEHICLES PARKED WITHIN THE DRIP-LINE OF THE TREES UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT OR OWNER.
- D- VEHICLES AND EQUIPMENT SHALL NOT BE DRIVEN OVER EXPOSED ROOTS AND ROADS SHALL NOT BE LOCATED WITHIN THE DRIP-LINE OF TREES UNLESS APPROVAL IS OBTAINED FROM THE LANDSCAPE ARCHITECT.
- E- ALL TREES INTENDED TO BE SAVED WHICH HAVE BEEN DAMAGED DUE TO CONSTRUCTION PRACTICES, SHALL BE INSPECTED AND TREATED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.
- F- NO CUTTING OR FILLING OF EXISTING GRADE, TRENCHING, OR PRUNING SHALL OCCUR UNLESS SPECIFICALLY DIRECTED BY THE CONSTRUCTION DOCUMENTS, OR THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT AND OWNER.
- G- NO BURNING OF TRASH IS ALLOWED WITHIN 75' OF EXISTING TREES. CARE SHALL BE TAKEN TO PREVENT ANY SMOKE DAMAGE TO TREES.

GENERAL PLANTING NOTES

- INSTALL TRENCH EDGING IN ALL AREAS WHERE PLANT BEDS ARE ADJACENT TO LAWN AREAS AS WELL AS ALL TREES LOCATED IN LAWN AREAS.
- ALL PLANT BEDS SHALL BE MULCHED WITH A MINIMUM OF 4" DOUBLE-SHREDDED HARDWOOD MULCH. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM ALL PLANT BEDS AND NEW CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN ALL GRASSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS, UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE & THROUGHOUT THE MAINTENANCE CONTRACT PERIOD IF APPLICABLE.
- ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION SHALL BE REPAIRED, GRADED, & GRASSED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL RE-SPREAD EXISTING TOPSOIL STOCKPILED ON SITE, AND SHALL PROVIDE SUPPLEMENTAL TOPSOIL AS NEEDED. REFER TO SPECIFICATIONS FOR MORE DETAILED INFORMATION.
- ALL PLANT BEDS SHALL RECEIVE A WEED INHIBITOR ("PREEN" OR EQUAL).
- QUANTITIES LISTED ARE AN ESTIMATE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR MUST VERIFY COUNT FROM PLAN. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. COMPENSATION BY OWNER SHALL NOT BE IN ORDER FOR MISCALCULATIONS. SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL OF LANDSCAPE ARCHITECT AND OWNER.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND ACCEPTANCE BY OWNER.
- PLANTING SHALL BE DONE ACCORDING TO SPECIFICATIONS DEVELOPED FROM THE MOST RECENT EDITION OF THE "BEST MANAGEMENT PRACTICES FOR TREE PLANTING" PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (WWW.ISA-ARBOR.COM), (ORD. 055-12HR; 10-16-12).
- THE HEIGHT-TO-TRUNK CALIPER RATIO, ROOT BALL SIZES, OR SPREAD RELATIONSHIP FOR ANY TREE TO BE PLANTED SHALL MEET THE CURRENT ASSOCIATION OF NURSERYMEN.

TREE MAINTENANCE

- FERTILIZATION**
FERTILIZE THE DRIP-LINE OF ALL TREES WITH A BALANCED FERTILIZER AT THE RATE OF 2 POUNDS OF NITROGEN PER 1000 SQUARE FEET. FERTILIZATION SHALL BE BY THE "DEEP ROOT FEEDING" METHOD AND SHALL BE APPLIED DURING SPRING AND FALL BY A CERTIFIED ARBORIST.
- INSECT AND DISEASE CONTROL**
ALL TREES SHALL BE INSPECTED ON A SEMI-ANNUAL BASIS FOR INSECT AND DISEASE INFESTATION. ANY NOTED INFESTATIONS SHALL BE TREATED WITH AN APPROVED PESTICIDE AS PER MANUFACTURER RECOMMENDATIONS.
- PRUNING**
TREES SHALL BE INSPECTED YEARLY BY A CERTIFIED ARBORIST AND PROPERLY PRUNED AS REQUIRED. ALL WEAK GROWTH SHALL BE REMOVED. ALL BRANCHES OVER 1" DIAMETER SHALL BE REMOVED BY THE DOUBLE CUT METHOD AND TREATED AS NECESSARY TO PREVENT INFECTION. NEVER TOP OR SHEAR EXISTING TREES.
- SOIL**
THE EXISTING SOIL SHALL BE TESTED AT REGULAR INTERVALS BY A QUALIFIED SOILS LABORATORY. SOIL AMENDMENTS SHALL BE ADDED AS DIRECTED BY THE LABORATORY TO ENSURE THE PROPER SOIL PH.

IRRIGATION NOTES

- THE CONTRACTOR IS ADVISED TO VISIT THE SITE AND VERIFY FIELD CONDITIONS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES. THE CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS REQUIRED FOR THE PERFORMANCE OF HIS WORK.
- ALL NEW PLANTED AND DISTURBED AREAS SHALL BE IRRIGATED BY AN AUTOMATIC LANDSCAPE IRRIGATION SYSTEM. SYSTEM SHALL BE DESIGNED BY IRRIGATION CONTRACTOR. SHOP DRAWINGS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL.
- NEW LANDSCAPE IRRIGATION SYSTEM SHALL BE INSTALLED. IRRIGATION CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE GENERAL CONTRACTOR.
- PIPE SLEEVES SHALL BE INSTALLED BY IRRIGATION CONTRACTOR AS NECESSARY. COORDINATE WITH GENERAL CONTRACTOR.
- IRRIGATION TIME CLOCK LOCATION SHALL BE COORDINATED WITH ARCHITECT AND LANDSCAPE ARCHITECT.
- ALL CATEGORIES OF EQUIPMENT (E.G. - VALVES, HEADS, ETC.) SHALL BE OF A SINGLE MANUFACTURER.
- PROVIDE MINI-CLICK (OR APPROVED EQUAL) RAIN SENSOR AND INTEGRATE WITH CONTROLLER.
- EXISTING ECOLOGY AND AESTHETICS WILL OFTEN CAUSE ADJUSTMENT OF THESE PLANS TO FIT SITE STAKE OUT BY CONTRACTOR AND FIELD ADJUSTMENT BY LANDSCAPE ARCHITECT ARE ABSOLUTELY NECESSARY.
- IRRIGATION SYSTEM SHALL BE MAINTAINED AND GUARANTEED BY CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND ACCEPTANCE BY OWNER.
- THE LOCATION OF ALL ABOVE GROUND AND BELOW GROUND UTILITIES IS THE RESPONSIBILITY OF IRRIGATION CONTRACTOR. DAMAGE TO UTILITIES AND PERSONAL INJURY AS A RESULT OF THE FAILURE TO DETERMINE AND/OR RESPECT UTILITY LOCATIONS IS THE SOLE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. UTILITY LOCATIONS ARE NOT SHOWN ON THESE PLANS.
- CONTRACTOR SHALL PROVIDE 3 COPIES OF SYSTEM AS BUILTS TO OWNER UPON COMPLETION.

PLANT SCHEDULE						
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	CALIPER	QTY
OVERSTORY TREES						
	QLH	QUERCUS LYRATA 'HIGHBEAM' / HIGHBEAM OVERCUP OAK	B&B	2.5' CAL. MIN.	SINGLE STEM	10
	QNI	QUERCUS NUTTALLI / NUTTALL OAK	B&B	2.5' CAL. MIN.	SINGLE STEM	1
	QVI	QUERCUS VIRGINIANA 'HIGH RISE' / HIGH RISE LIVE OAK	B&B	2.5' CAL. MIN.	SINGLE STEM	13
	TSB	TAXODIUM DISTICHUM 'SHAWNEE BRAVE' TM / BALD CYPRESS	B&B	2.5' CAL. MIN.	SINGLE STEM	3
UNDERSTORY TREES						
	IC	ILEX CASSINE / DAHOON HOLLY	CONTAINER	8' HT. MIN.	2" CAL. MIN.	26
	MYR	MYRICA CERIFERA / WAX MYRTLE	CONTAINER	6' HT. MIN.	2" CAL. MIN.	12
SHRUBS						
	ICBN	ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY	CONTAINER	24" HT. MIN.	@ 5" O.C.	67
	LCRB	LOROPETALUM CHINENSE RUBRUM 'BURGUNDY' / BURGUNDY LOROPETALUM	CONTAINER	24" HT. MIN.	@ 4" O.C.	49
	VS	VIBURNUM SUSPENSUM / SUSPENSUM VIBURNUM	CONTAINER	24" HT. MIN.	@ 5" O.C.	20
PALM						
	SABM	SABAL MINOR / DWARF PALMETTO ACCENT SHRUBS	CONTAINER	18" HT. MIN.	@ 4" O.C.	24
	SER	SERENOA REPENS / SILVER SAW PALMETTO ACCENT SHRUBS	CONTAINER	18" HT. MIN.	@ 3" O.C.	24

LANDSCAPE PLANT MATERIAL SHALL BE #1 QUALITY, AND MEET OR EXCEED ANLA STANDARDS. LANDSCAPE ARCHITECT SHALL REVIEW ALL PLANT MATERIAL PRIOR TO INSTALLATION, CONTACT LANDSCAPE ARCHITECT 48 HOURS PRIOR TO DELIVERY TO SCHEDULE PLANT REVIEW ON SITE. LANDSCAPE ARCHITECT/ OWNER RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL DEEMED UNFIT AND DOES NOT MEET THE HIGHEST STANDARDS.

Airport Retail Investment, LLC
Mount Pleasant, South Carolina

AIRPORT JUNCTION
SITE INFRASTRUCTURE PACKAGE

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SOUTH CAROLINA



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811 CONTRACTOR SHALL CONTACT 811 (1-888-721-7877) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
Know what's below. Call before you dig.

DATE:	04/25/2025
ADC PROJECT #:	21470
DESIGNED:	NCM
CHECKED:	FWG
DRAWN:	NCM
REVISION:	

LANDSCAPE PLANTING DETAILS, SCHEDULE & NOTES

L300

PERMIT SET

240/260 SEA ISLAND PARKWAY

ALDI Store Location (Outparcel “C”) – Project Narrative and Plan Set



ALDI

Store #179 – Lady’s Island

Lady’s Island, SC
Beaufort County

Design Narrative

April 28th, 2025

25 WOODS LAKE ROAD
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Project Manager: Larry Barthelemy, P
larryb@adcengineering.com
ADC Project No. 24143

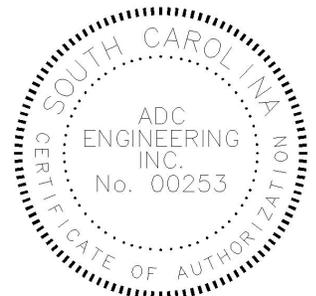


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The Design Narrative is comprised of the following elements:

Part I – Project Overview

Part II – Comprehensive SWPPP

Part III – Engineering Report

Part IV – Appendices

Appendix A – Site Maps

Appendix B – Drainage Maps / Watershed Maps / Wetlands Data

Appendix C – Calculations

PART I - PROJECT OVERVIEW

1.1 GENERAL

Project / Site Name:.....ALDI Store #179 - Lady's Island

Location:260 Sea Island Parkway, Lady's Island, SC 29907, Beaufort County

The proposed location for ALDI is within the Larger Common Plan, "Airport Junction Site Infrastructure Package." This site will be cleared and mass graded as part of that project.

T.M.S. #:R12301800002150000

Latitude / Longitude:32°24'20.24" N / 80°38'06.81" W

This project is located in the USGS Quadrangle Map - BEAUFORT, SC.

1.2 PROPOSED SITE IMPROVEMENTS

This project proposes to construct a new ALDI grocery store for Lady's Island. The proposed improvements will include a new parking lot, a loading dock, new drives and sidewalks, new storm drainage, new utilities, and a 19,432SF building.

1.3 EXISTING SITE/PARCEL INFORMATION

Zoning and Land Use

The site is part of the Airport Junction Planned Use Development (PUD). The developer also has a Development Agreement with the City of Beaufort establishing development and land use criteria for the property. The PUD and Development Agreement allow for all uses within the City's Highway Commercial (HC), General Commercial (GC) or Limited Industrial (LI) districts.

Setbacks / Buffers

Setback requirements are set forth in the PUD. All buildings shall be setback a minimum of 15' from the Airport Junction perimeter. The PUD also establishes setbacks from existing wetlands. Freshwater wetlands shall have 20' setbacks and saltwater wetlands shall have 30' setbacks. There are no internal building setbacks. Buffer requirements are set forth in the PUD. There is a front buffer of 15' and a side/rear buffer of 10'.

Wetlands:

There are no wetlands on the project site.

Flood / FEMA Information:

From scaling the FEMA Flood Insurance Rate Map 45013C0169G & 45013C0167G, dated March 23, 2021. The site lies within Flood Zone AE, elevation 11, which is a special flood zone with a chance of flooding in the 1% chance annual storm.

Earthwork / Soils

Based on the USDA Natural Resources Conservation Services (NRCS) Soils Survey, the existing site is primarily comprised of loamy fine sand. A Geotechnical Investigation was previously completed for this site on April 29th, 2025.

Refer to 'Appendix A – Site Maps' for additional information.

ALDI Store #179

Lady's Island

Lady's Island, SC
Beaufort County

Comprehensive SWPPP

April 28th, 2025

25 WOODS LAKE ROAD
SUITE 210
GREENVILLE, SC 29607
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Project Manager: Larry Barthelemy, P.E.
larryb@adcengineering.com
ADC Project No. 24143



Comprehensive Stormwater Pollution Prevention Plan (C-SWPPP) For Construction Activities:

Project/Site Name:

ALDI Store #179 – Lady's Island

Primary Permittee:

ALDI Inc. - Jefferson

Project Address/Location:

260 Sea Island Parkway
Lady's Island, SC 29907
Beaufort County

Permittee/Owner Contact:

1597 Dry Pond Road
Jefferson, GA 30549
706-708-0488
Al Keeler
Al.keeler@aldi.us

SWPPP Preparer:

ADC Engineering, Inc.
Larry Barthelemy, P.E.
25 Woods Lake Road, Suite 210
Greenville, South Carolina 29607
Ph: (864) 751-9121 / Fax: (843) 566-0162
Larryb@adcengineering.com

Day-to-Day Operator:

C-SWPPP Preparation Date:

April 28, 2025



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**C-SWPPP is acronym for Comprehensive Storm Water Pollution Prevention Plan*

***OS-SWPPP is acronym for On-Site Storm Water Pollution Prevention Plan*

ALDI Store #179 Lady's Island

Lady's Island, SC
Beaufort County

Engineering Report

April 28th, 2025

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Project Manager: Larry Barthelemy, P.E.
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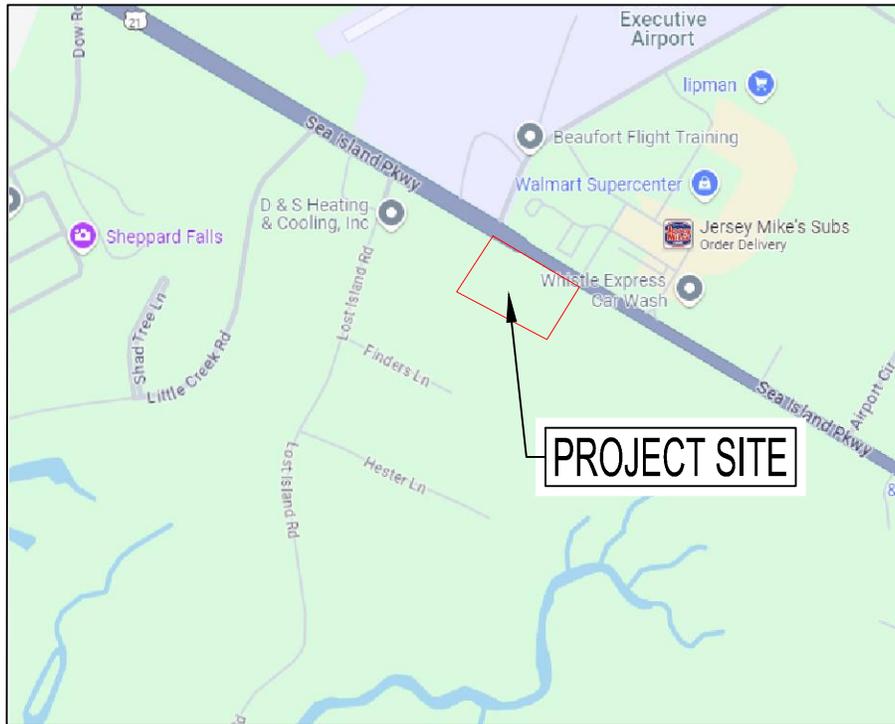


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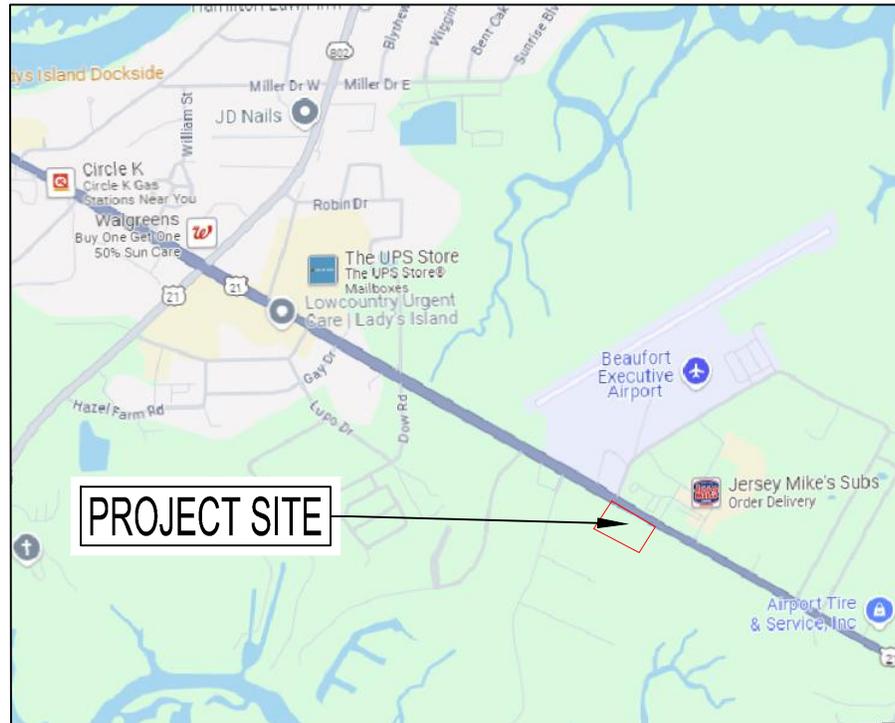
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Appendix A – Site Maps



DETAILED VICINITY MAP
SCALE: 1"=1,000'



OVERALL VICINITY MAP
SCALE: 1"=2,000'



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VICINITY MAPS

ALDI LADY'S ISLAND

A1

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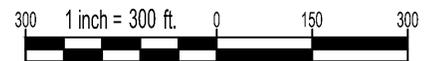
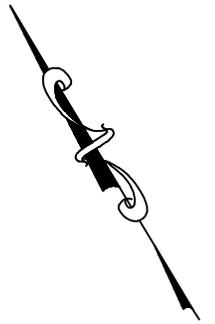
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PROJECT SITE



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AERIAL PHOTOGRAPH

ALDI LADY'S ISLAND

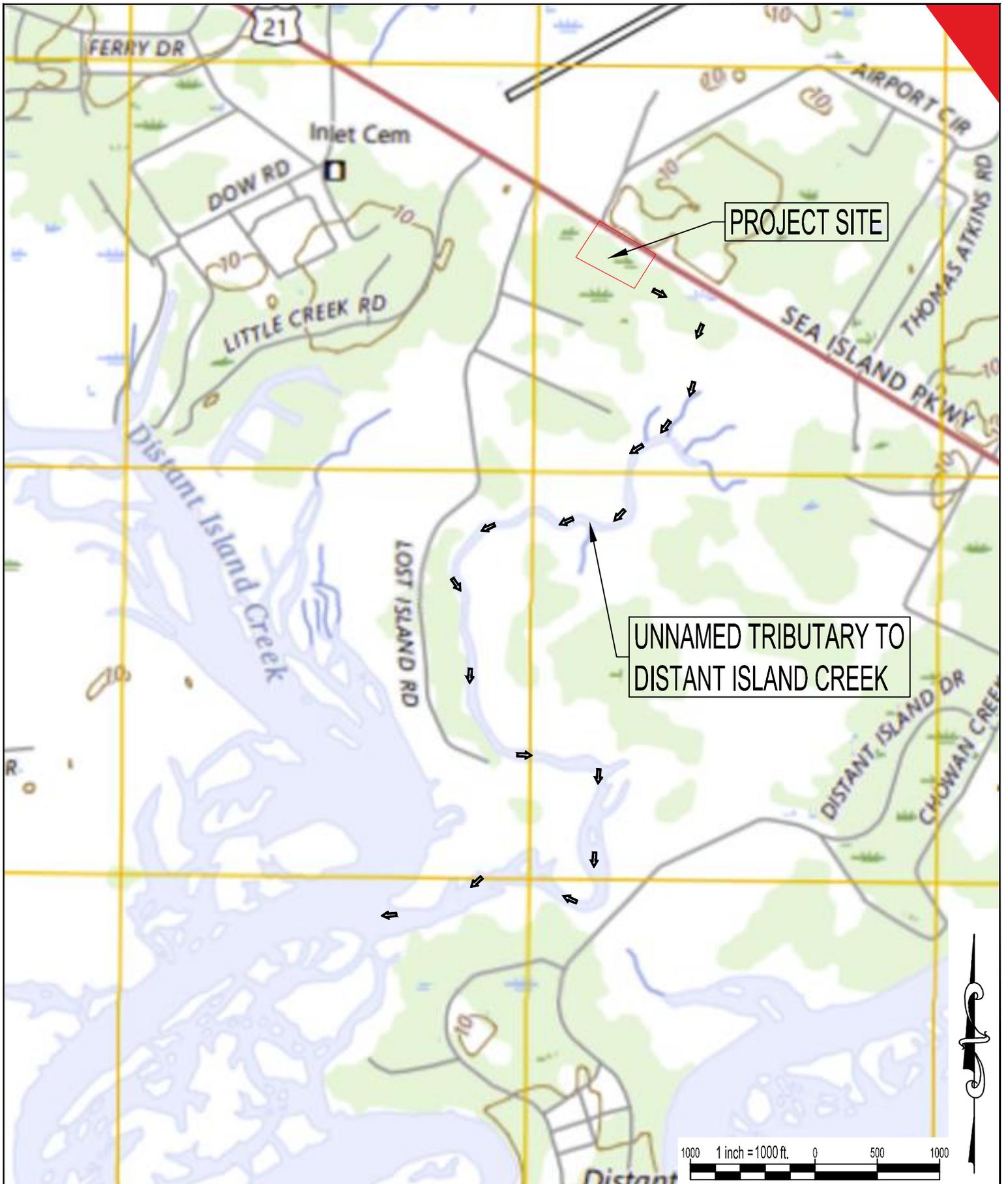
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DATE: 02/05/2025

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BEAUFORT QUADRANGLE

ALDI LADY'S ISLAND

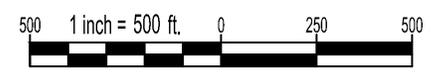
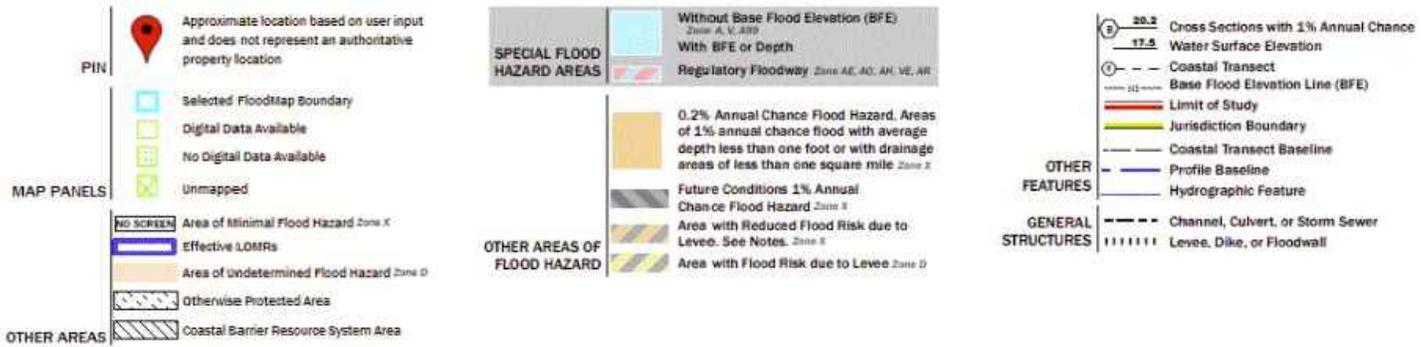
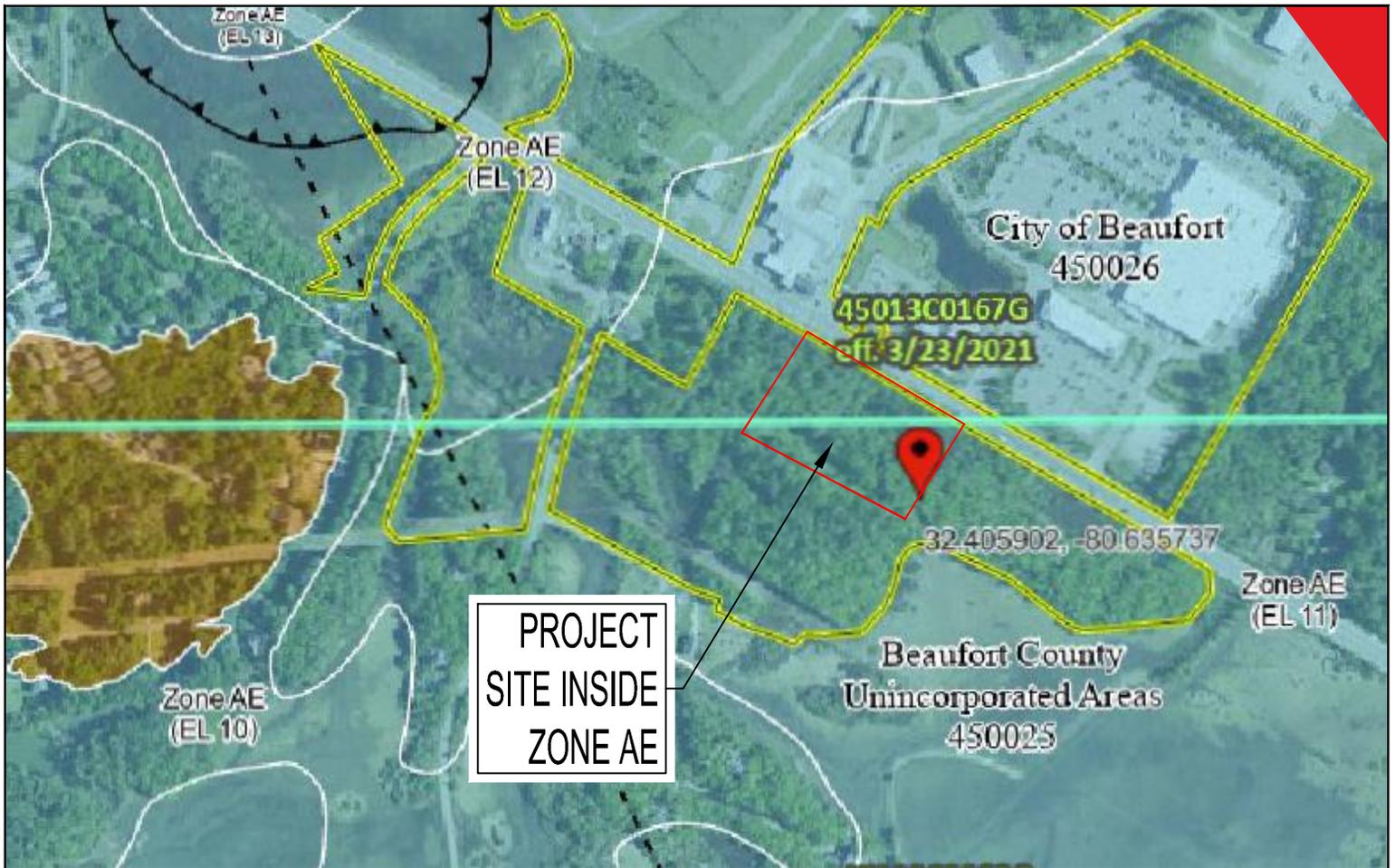
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DATE: 02/05/2025

BEAUFORT COUNTY, SOUTH CAROLINA

REF:

ADC PROJECT#: 24143



	25 WOODS LAKE ROAD SUITE 210 GREENVILLE, SC 29607 864-751-9121 ADCENGINEERING.COM	<h2 style="margin: 0;">FEMA FLOOD MAP</h2> <h3 style="margin: 0;">ALDI LADY'S ISLAND</h3>	A4
	DATE: 02/05/2025	BEAUFORT COUNTY, SOUTH CAROLINA	REF:



USDA Natural Resources Conservation Service

Web Soil Survey National Cooperative Soil Survey

1/21/2025 Page 1 of 3

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Bd	Bladen fine sandy loam	0.3	0.7%
CE	Capers association	15.2	36.9%
Rd	Ridgeland fine sand	0.6	1.5%
To	Tomotley loamy fine sand	6.2	15.1%
Wn	Williman loamy fine sand	18.9	45.8%
Totals for Area of Interest		41.3	100.0%



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USDA SOILS DATA

ALDI LADY'S ISLAND

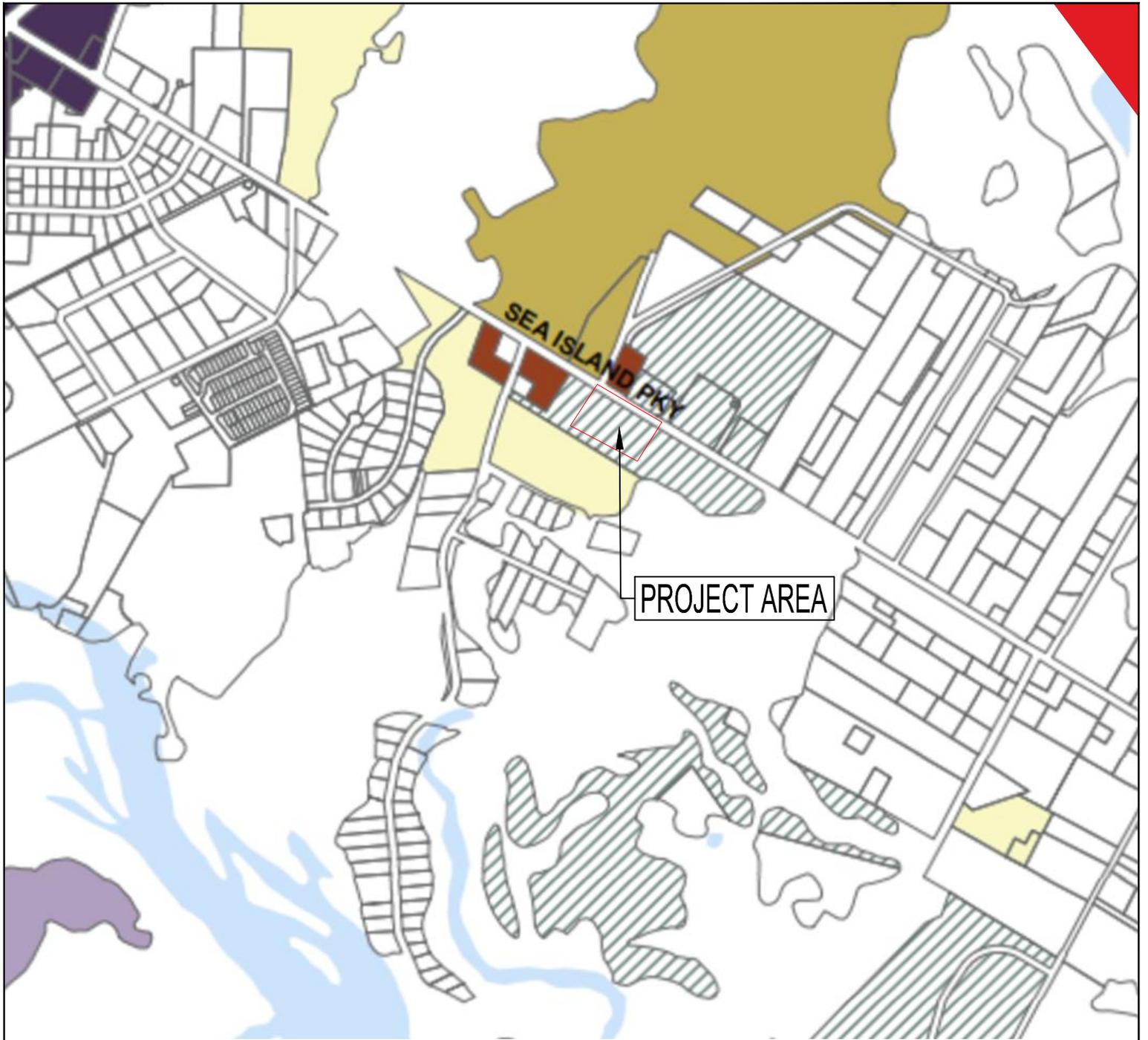
A5

DATE: 02/05/2025

BEAUFORT COUNTY, SOUTH CAROLINA

REF:

ADC PROJECT#: 24143



CITY OF BEAUFORT

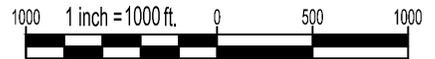
- - - HISTORIC DISTRICT - Conservation Neighborhood
- HISTORIC DISTRICT-Preservation Neighborhood
- Boundary Street Redevelopment
- Bladan Street Redevelopment
- Retail Overlay

ZONING

- /// LEGACY PUD (LPUD)
- T1
- T3-S
- T3-N
- T4-HN

- T4-N
- T4-NA
- T5-DC
- T5-UC
- T5-UC / RMX
- RMX
- IC
- MH
- LI
- MR

PROJECT SITE IS IN ZONES:
 RMX - REGIONAL MIXED USE
 LEGACY PUD - LEGACY PLANNED
 UNIT DEVELOPMENT



25 WOODS LAKE ROAD
 SUITE 210
 GREENVILLE, SC 29607
 864-751-9121
 ADCENGINEERING.COM

ZONING MAP

ALDI LADY'S ISLAND

A6

DATE: 02/05/2025

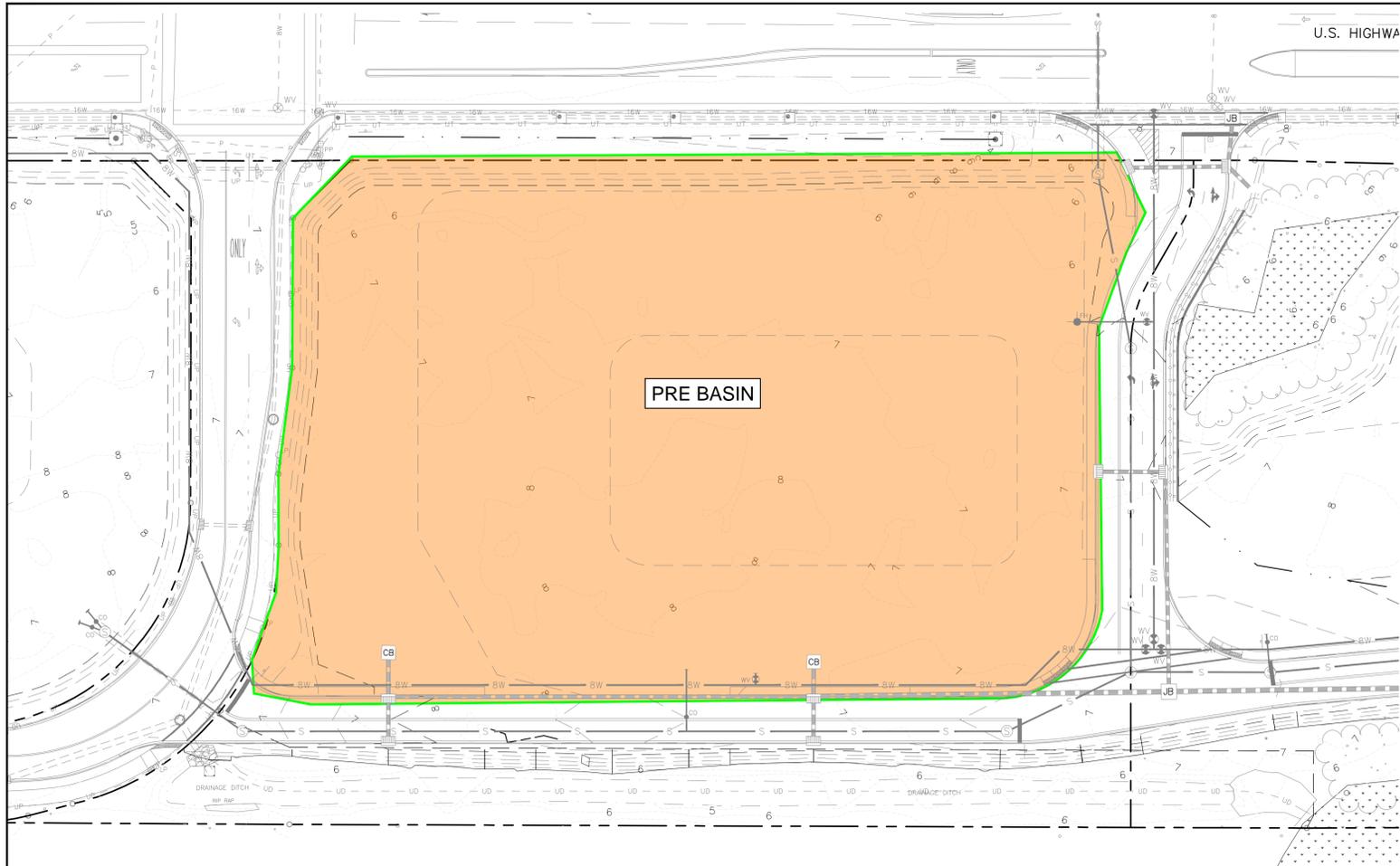
BEAUFORT COUNTY, SOUTH CAROLINA

REF:

ADC PROJECT#: 24143



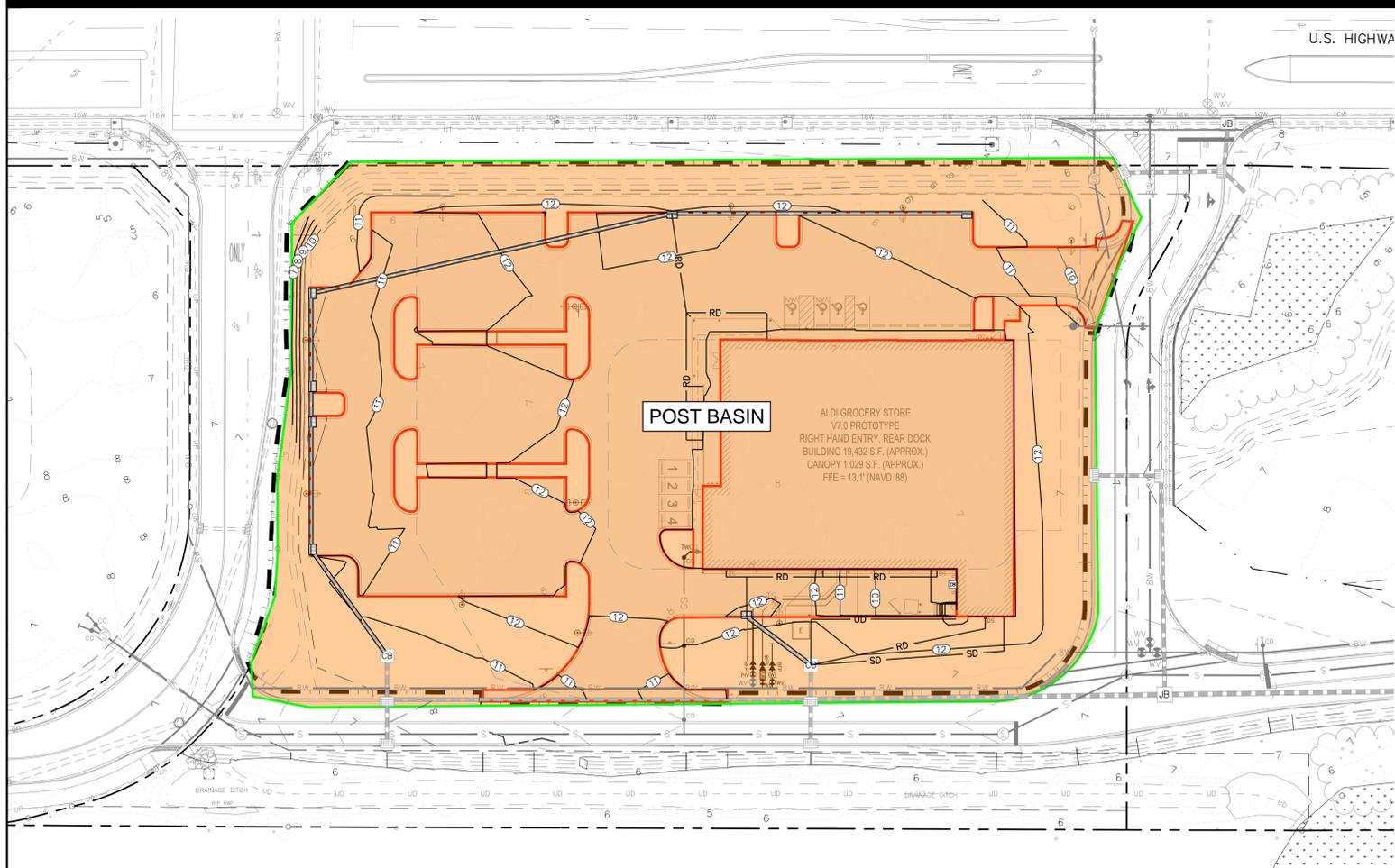
Appendix B – Drainage Maps / Watershed Maps / Wetlands Data



PRE-DEVELOPMENT CONDITIONS:

PRE BASIN	
ACERAGE (AC)	2.78
IMPERVIOUS AREA (AC)	0.00
PERVIOUS AREA (AC)	2.78
STORMWATER RUNOFF	
POI	PRE BASIN
2-YR (CFS)	4.2
10-YR (CFS)	7.8
25-YR (CFS)	10.2
100-YR (CFS)	14.3
WEIGHTED CN	79
TC (MIN.)	22.0

CIVIL LEGEND - DRAINAGE AREA:

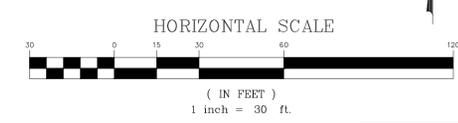


POST-DEVELOPMENT CONDITIONS:

POST BASIN	
ACERAGE (AC)	2.78
IMPERVIOUS AREA (AC)	1.70
PERVIOUS AREA (AC)	1.08
STORMWATER RUNOFF	
POI	POST BASIN
2-YR (CFS)	9.8
10-YR (CFS)	15.9
25-YR (CFS)	19.7
100-YR (CFS)	26.2
WEIGHTED CN	91
TC (MIN.)	6.0

****POST WATER QUALITY AND QUANTITY HAS BEEN ACCOUNTED FOR IN THE POND DESIGNED FOR THE LCP (AIRPORT JUNCTION OUTLOTS)**

CIVIL LEGEND - DRAINAGE AREA:



Aldi, Inc.
Jefferson, GA

**ALDI STORE #179
LADY'S ISLAND**

BEAUFORT
SOUTH CAROLINA



ADC ENGINEERING

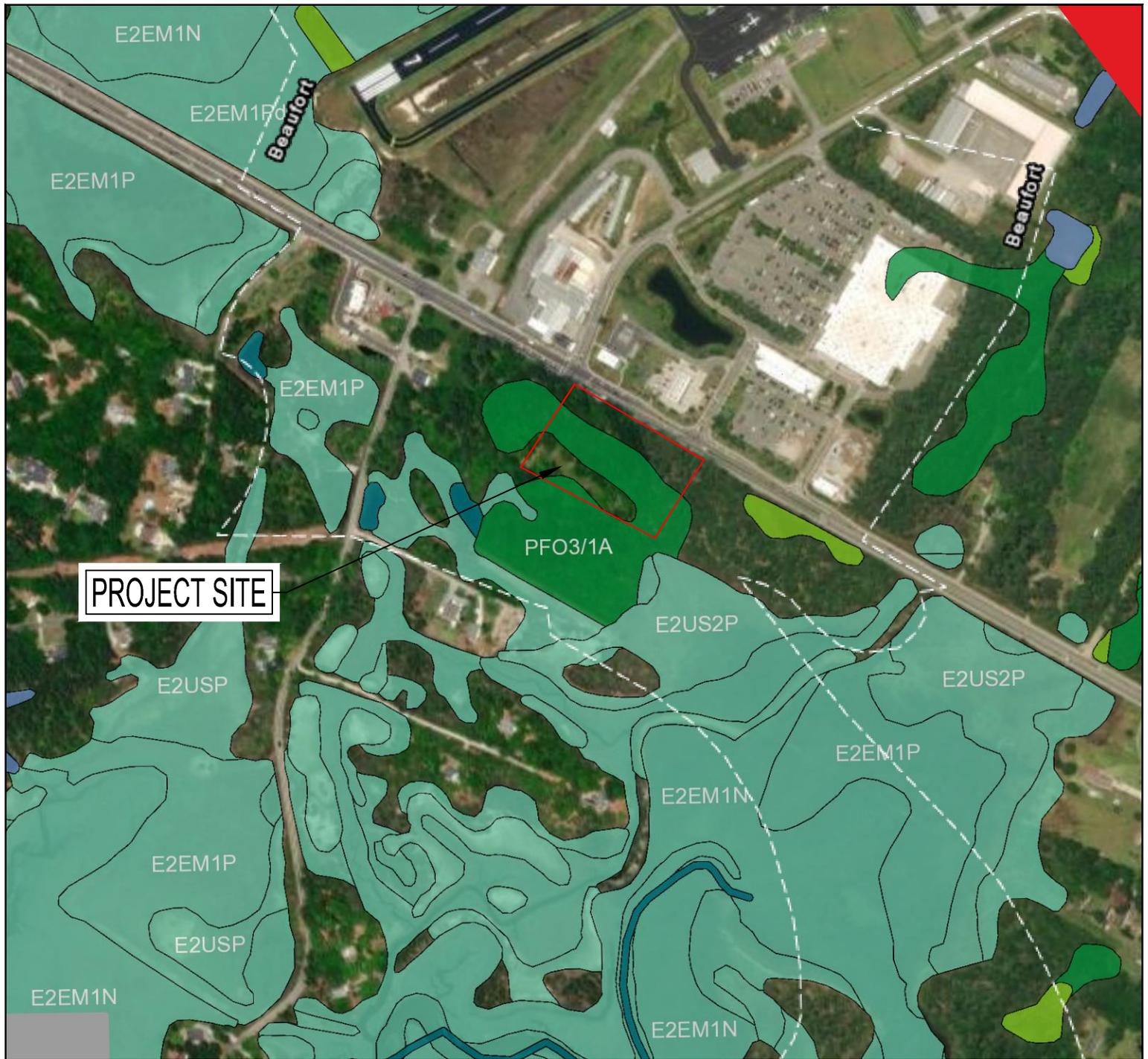
25 WOODS LAKE ROAD, SUITE 210
GREENVILLE, SC 29607
864-751-9121
ADCENGINEERING.COM

811 CONTRACTOR SHALL CONTACT 811 (1-888-721-7877) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
Know what's below. Call before you dig.

DATE:	04/28/2025
ADC PROJECT #:	24143
DESIGNED:	HP
CHECKED:	LKB
DRAWN:	HP
REVISION:	

DRAINAGE AREA PLAN

C330



August 30, 2024

Wetlands

- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland

- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond



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SUITE 210
GREENVILLE, SC 29607
864-751-9121
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DNR WETLANDS DATA

ALDI LADY'S ISLAND

B2

DATE: 02/05/2025

BEAUFORT COUNTY, SOUTH CAROLINA

REF:

ADC PROJECT#: 24143



Watershed and Water Quality Information

SC Department of Environmental Services

General Information

Applicant Name:

Permit Type: MS4

Address: 260 Sea Island Pkwy, Beaufort, SC, 29907

Latitude/Longitude: 32.405619 / -80.635223

MS4 Designation: Not in designated area

Monitoring Station: 15-23

Within Coastal Critical Area: Yes

Water Classification (Provisional):

Waterbody Name:

Entered Waterbody Name:

Parameter Description

NH3N	Ammonia	CD	Cadmium	CR	Chromium
CU	Copper	HG	Mercury	NI	Nickel
PB	Lead	ZN	Zinc	DO	Dissolved Oxygen
PH	pH	TURBIDITY	Turbidity	ECOLI	Escherichia coli (Freshwaters)
FC	Fecal Coliform (Shellfish)	BIO	Macroinvertebrates (Bio)	TP	(Lakes) Phosphorus
TN	(Lakes) Nitrogen	CHLA	(Lakes) Chlorophyll a	ENTERO	Enterococcus (Coastal Waters)
HGF	Mercury (Fish Tissue)	PCB	PCB (Fish)		

Impaired Status (downstream sites)

Station	NH3N	CD	CR	CU	HG	NI	PB	ZN	DO	PH	TURBIDITY	ECOLI	FC	BIO	TP	TN	CHLA	ENTERO	HGF	PCB	
15-23	X	X	X	X	X	X	X	X	X	X	X	X	F	X	X	X	X	X	X	X	X

F = Standards full supported A = Assessed at upstream station WnTN = Within TMDL, parameter not supported WnTF = Within TMDL, parameter full supported
 N = Standards not supported X = Parameter not assessed at station InTN = In TMDL, parameter not supported InTF = In TMDL, parameter full supported

Parameters to be addressed (those not supporting standards)

Fish Consumption Advisory

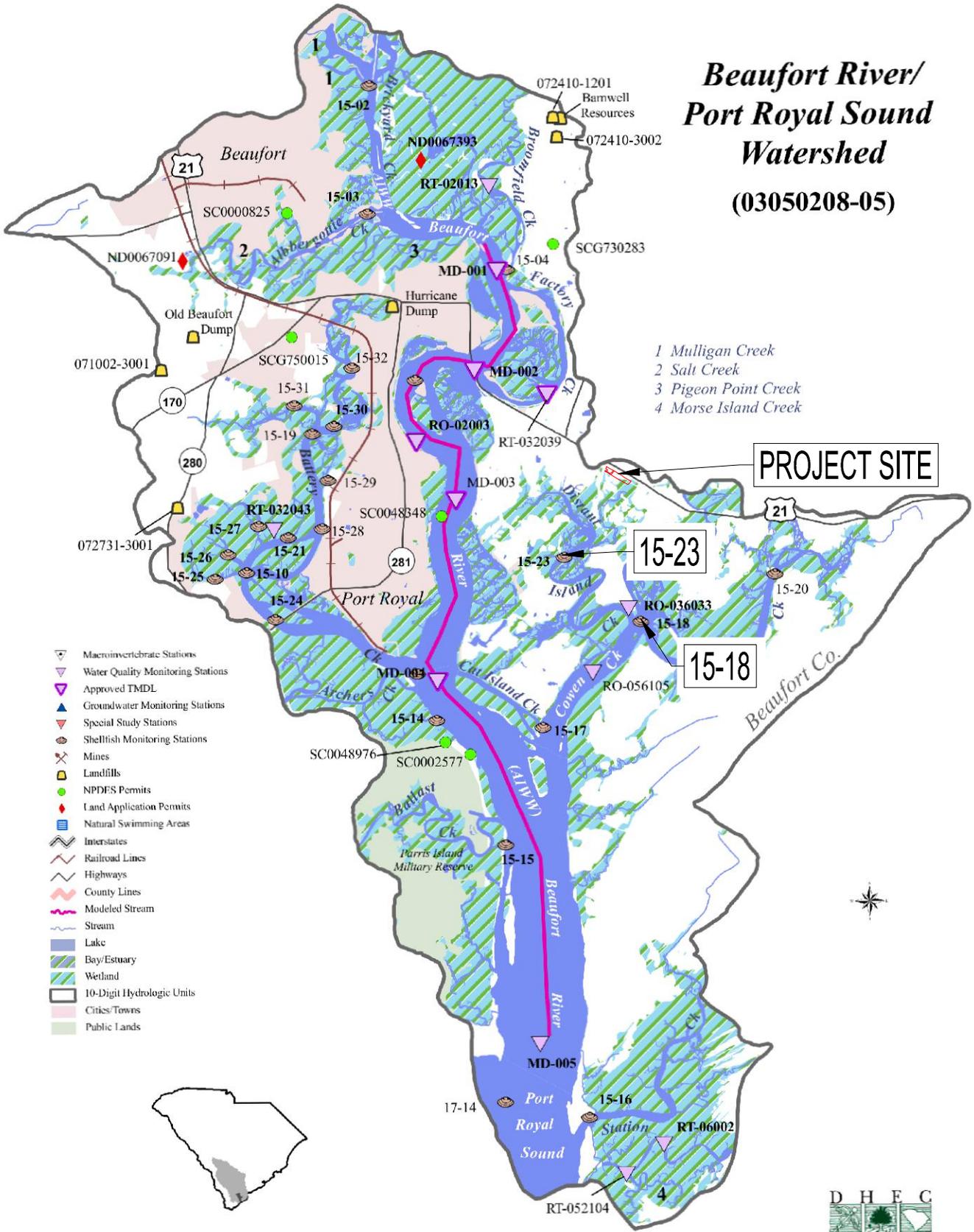
Waters of Concern (WOC)

TMDL Information - TMDL Parameters to be addressed

In TMDL Watershed: No
TMDL Report No:
TMDL Document Link:

TMDL Site:
TMDL Parameter:

Beaufort River/ Port Royal Sound Watershed (03050208-05)



- 1 Mulligan Creek
- 2 Salt Creek
- 3 Pigeon Point Creek
- 4 Morse Island Creek

PROJECT SITE

15-23

15-18

- ▽ Macroinvertebrate Stations
- ▽ Water Quality Monitoring Stations
- ▽ Approved TMDL
- ▲ Groundwater Monitoring Stations
- ▽ Special Study Stations
- Shellfish Monitoring Stations
- ✂ Mines
- Landfills
- NPDES Permits
- ◆ Land Application Permits
- Natural Swimming Areas
- Interstates
- Railroad Lines
- Highways
- County Lines
- Modeled Stream
- Stream
- Lake
- Bay/Estuary
- Wetland
- 10-Digit Hydrologic Units
- Cities/Towns
- Public Lands

0 1 2 4 Miles

10000 1 inch = 10000 ft. 0 5000 10000



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SUITE 210
GREENVILLE, SC 29607
864-751-9121
ADCENGINEERING.COM

WATERSHED BASIN MAP

ALDI LADY'S ISLAND

B4

DATE: 08/30/24

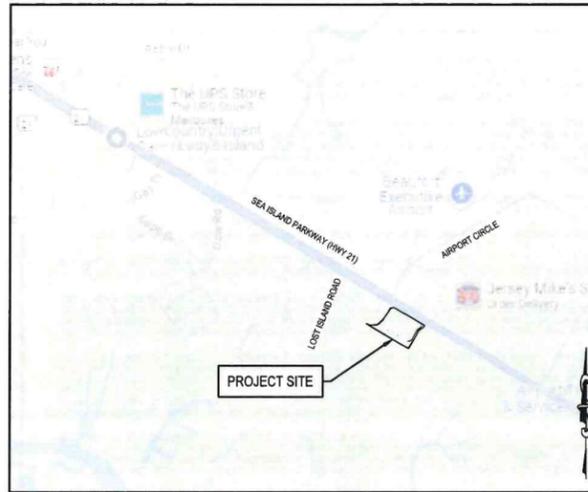
BEAUFORT COUNTY, SOUTH CAROLINA

REF:

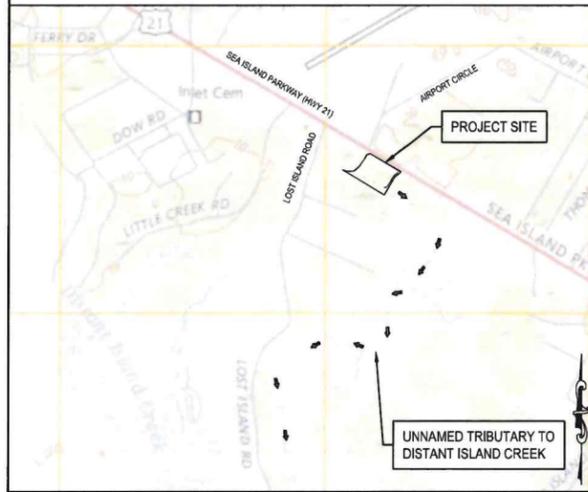
ADC PROJECT#: 24143

ALDI STORE #179 - LADY'S ISLAND

260 SEA ISLAND PARKWAY, BEAUFORT, SC 29907

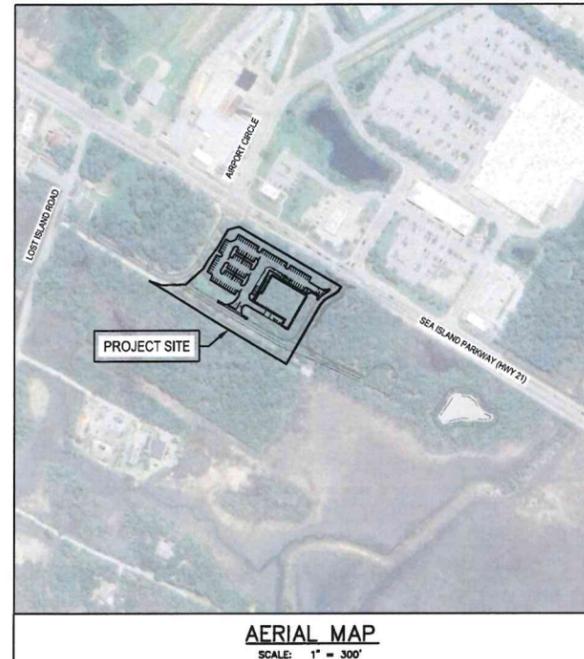


LOCATION MAP
SCALE: 1" = 1,000'



QUAD MAP
SCALE: 1" = 1,000'

CIVIL AND LANDSCAPE DRAWING LIST			
SHEET	TITLE	ISSUED	REVISED
C001	CIVIL COVER SHEET	4/28/2025	
C002	ALDI GENERAL NOTES	4/28/2025	
C003	ALDI GENERAL NOTES	4/28/2025	
C004	ALDI GENERAL NOTES	4/28/2025	
	TOPOGRAPHIC SURVEY (PROVIDED BY GASQUE & ASS., INC.)	7/10/2024	
C200	SITE PLAN	4/28/2025	
C220	VEHICLE CIRCULATION PLAN	4/28/2025	
C300	GRADING PLAN	4/28/2025	
C310	STORM DRAINAGE PROFILES	4/28/2025	
C331	DRAINING AREA PLAN	4/28/2025	
C400	UTILITY PLAN	4/28/2025	
C620	CIVIL DETAILS - SITE	4/28/2025	
C621	CIVIL DETAILS - SITE	4/28/2025	
C622	CIVIL DETAILS - SITE	4/28/2025	
C623	CIVIL DETAILS - SITE	4/28/2025	
C630	CIVIL DETAILS - STORM DRAINAGE	4/28/2025	
C631	CIVIL DETAILS - STORM DRAINAGE	4/28/2025	
C640	CIVIL DETAILS - UTILITY	4/28/2025	
C641	CIVIL DETAILS - UTILITY	4/28/2025	
C642	CIVIL DETAILS - UTILITY	4/28/2025	
C700	EROSION CONTROL NOTES	4/28/2025	
C710	EROSION CONTROL PLAN - INITIAL PHASE	4/28/2025	
C720	EROSION CONTROL PLAN - STABILIZATION PHASE	4/28/2025	
C740	CIVIL DETAILS - EROSION CONTROL	4/28/2025	
CT41	CIVIL DETAILS - EROSION CONTROL	4/28/2025	
L201	LANDSCAPE PLANTING PLAN	4/28/2025	
L300	LANDSCAPE PLANTING DETAILS, SCHEDULE & NOTES	4/28/2025	



AERIAL MAP
SCALE: 1" = 300'

PROJECT INFORMATION		
DEVELOPMENT DATA		
PROJECT NAME	ALDI STORE #179 - LADY'S ISLAND	
DEVELOPMENT DESCRIPTION	THE PROJECT INCLUDES: - NEW GROCERY STORE - NEW DRIVES, PARKING AND SIDEWALKS - NEW STORM DRAINAGE - NEW UTILITIES	
PROJECT OWNER	ALDI, INC. (AL KEELER 706-708-0488)	
PROJECT CIVIL ENGINEER	ADC ENGINEERING, INC. (LARRY BARTHELEMY 864-751-9122)	
PROJECT LANDSCAPE ARCHITECT	ADC ENGINEERING, INC. (FRED GUTHIER 864-751-9121)	
PROPERTY INFORMATION		
TMS	R123 018 000 0215	
ADDRESS	260 SEA ISLAND PKWY, BEAUFORT, SC 29907	
STREET CLASSIFICATION(S)	SEA ISLAND PKWY - SCDOT (US 21)	
NEW CONNECTOR ROAD	CITY OF BEAUFORT	
LOST ISLAND RD	BEAUFORT COUNTY	
FLOOD ZONE STATEMENT	THIS PROPERTY IS LOCATED IN FLOOD ZONE AE, BASE FLOOD ELEVATIONS DETERMINED, AS SHOWN ON PRELIMINARY FEMA COMMUNITY PANEL 45013C0169G & 45013C0167G, DATED MARCH 23, 2021.	
SUBDIVISION STATUS	SUBDIVISION TO BE COMPLETED IN THE FUTURE	
WETLAND STATUS	NO WETLANDS WITHIN PROJECT AREA.	
ZONING INFORMATION		
MUNICIPALITY	CITY OF BEAUFORT	
EXISTING ZONING	PUD (AIRPORT JUNCTION PLANNED UNIT DEVELOPMENT)	
PROPOSED ZONING	PUD (AIRPORT JUNCTION PLANNED UNIT DEVELOPMENT)	
ADJACENT ZONING		
NORTH	SEA ISLAND PKY (US 21)	
SOUTH	T3-S (SUBURBAN DISTRICT SINGLE-FAMILY RESIDENTIAL) & OCRM CRITICAL AREA	
EAST	AIRPORT JUNCTION PUD	
WEST	NEW CONNECTOR ROAD	
HEIGHT LIMITATION	5'	
SETBACKS		
SETBACKS	REQUIRED	PROVIDED
FRONT (SEA ISLAND PKWY)	15'	15'
REAR	15'	15'
SIDE (EAST)	0'	0'
SIDE (WEST)	0'	0'
BUFFERS	REQUIRED	PROVIDED
FRONT (SEA ISLAND PKWY)	15'	15'
REAR	10'	10'
SIDE (EAST)	0'	0'
SIDE (WEST)	0'	0'

UTILITY MATRIX FOR THIS PROJECT	
TELEPHONE	HARGRAY 5 BUCK ISLAND ROAD BLUFFTON, SC 29910 PHONE: 843-815-1680
ELECTRIC	DOMINION ENERGY 108 ROBERT SMALLS PKWY BEAUFORT, SC 29906 PHONE: 1-800-251-7234
SANITARY SEWER	BJWSA 6 SNAKE ROAD OKATIE, SC 29909 PHONE: 843-987-9200
WATER	BJWSA 6 SNAKE ROAD OKATIE, SC 29909 PHONE: 843-987-9200

ALDI #179 - LADY'S ISLAND
BJWSA PROJECT #: 2025-___

GENERAL NOTES:

- THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING 811 FOR UTILITY LOCATION AND DETERMINING THE EXACT LOCATION OF ALL UTILITIES PRIOR TO BEGINNING ANY WORK. IF UTILITIES OTHER THAN THOSE SHOWN HEREON ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY AND TAKE APPROPRIATE MEASURES TO PROTECT THE LINE(S) AND ENSURE CONTINUED SERVICE. DAMAGE CAUSED TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL VERIFY THE CONNECTION POINTS OF NEW UTILITIES TO EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL REVIEW AND STAMP APPROVED ANY AND ALL SHOP DRAWINGS AND SUBMITTALS PRIOR TO SUBMITTING TO THE ENGINEER FOR REVIEW.
- IN PERFORMING CONSTRUCTION OBSERVATION VISITS TO THE JOB SITE, THE ENGINEER SHALL HAVE NO CONTROL OVER NOR RESPONSIBILITY FOR THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES IN PERFORMING THE WORK.
- THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES IN PERFORMING THE WORK IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR, WHO IS ALSO RESPONSIBLE FOR COMPLYING WITH ALL HEALTH AND SAFETY PRECAUTIONS AS REQUIRED BY ANY REGULATORY AGENCY.
- CONTRACTOR IS RESPONSIBLE FOR ALL WORK SHOWN, UNLESS SPECIFICALLY INDICATED OTHERWISE.

GENERAL GRADING NOTES:

- OFFSITE BORROW NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR FROM SOURCES DEVELOPED BY THE CONTRACTOR.
- ALL NECESSARY BORROW/WASTE MATERIAL SHALL BE FROM/TAKEN TO A SCDES PERMITTED FACILITY.
- CONTRACTOR SHALL GRADE ALL AREAS TO DRAIN FOR POSITIVE FLOW PRIOR TO FINAL APPROVAL.
- THE DESIGN ADEQUACY AND SAFETY OF ALL BRACING, SHORING AND TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN THE SERVICES OF A QUALIFIED THIRD PARTY INSPECTOR WHO SHALL PERFORM INVESTIGATIONS TO VERIFY THAT ALL WORK IS ACCOMPLISHED IN ACCORDANCE WITH THE SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE ASBUILTS OF THE STORM DRAINAGE SYSTEM IAW CITY OF BEAUFORT AND SCDES REQUIREMENTS.
- CONTRACTOR TO NOTIFY ENGINEER IF UNSUITABLE MATERIAL IS DISCOVERED PRIOR TO REMOVAL.

TRAFFIC CONTROL NOTES:

- CONTRACTOR SHALL PERFORM ALL NECESSARY COORDINATION WITH SCDOT AND THE CITY OF BEAUFORT. FOR WORK INSIDE THE RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO PREPARATION OF AND OBTAINING APPROVAL OF ALL NECESSARY TRAFFIC CONTROL PLANS AS WELL AS PLANNING AND EXECUTION OF ALL NECESSARY COORDINATION MEETINGS.
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE APPROVED ENCROACHMENT PERMIT(S).
- CONTRACTOR SHALL MAINTAIN SCDOT SITE VISIBILITY TRIANGLES AT ALL ACCESS POINTS FOR THE DURATION OF CONSTRUCTION.
- ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD), CURRENT EDITION.

GENERAL UTILITY NOTES:

- ALL UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF SCDES AND BEAUFORT JASPER WATER AND SEWER AUTHORITY (BJWSA). WHERE ANY DISCREPANCIES EXIST BETWEEN THESE DOCUMENTS, THE MOST STRICT REQUIREMENTS SHALL BE ADHERED TO.
- THE CONTRACTOR SHALL PROVIDE ASBUILTS AND EASEMENTS PLATS OF THE NEW WATER AND SEWER SYSTEM IAW BJWSA REQUIREMENTS.
- GENERAL CONTRACTOR SHALL COORDINATE ALL SITE UTILITIES AND STORM DRAINAGE INSTALLATION SCHEDULES TO AVOID POTENTIAL UTILITY CONFLICTS. GRAVITY DEPENDENT UTILITIES SHALL BE INSTALLED PRIOR TO NON-GRAVITY DEPENDENT UTILITIES.
- CONTRACTOR SHALL CONTACT PALMETTO UTILITY LOCATION SERVICE AT 811 OR 1-888-721-7877 PRIOR TO ANY WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD LOCATING AND PROTECTING ALL UTILITIES. CONTACT THE ENGINEER IN THE EVENT THAT UTILITIES CONFLICT WITH NEW FACILITIES.

GENERAL SWPPP NOTES:

- ALL CONTRACTORS/SUBCONTRACTORS/PERSONS THAT WILL BE ENGAGED IS LAND DISTURBING ACTIVITIES SHALL COMPLY WITH ALL EROSION CONTROL AND STORMWATER POLLUTION PREVENTION REQUIREMENTS CONTAINED THROUGHOUT THE DRAWINGS, SWPPP, SPECIFICATIONS AND PERMITS.
- THE CONTRACTOR SHALL PLACE 4" OF TOPSOIL IN ALL DISTURBED AREAS NOT TO BE PAVED. THE CONTRACTOR SHALL ALSO PROVIDE TEMPORARY SEEDING AND PERMANENT STABILIZATION IN ALL AREAS INSIDE OR OUTSIDE THE LIMITS OF CONSTRUCTION THAT ARE DISTURBED BY THE CONTRACTOR'S OPERATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY FOR DESIGN, ADEQUACY AND IMPLEMENTATION OF ALL DEWATERING. ALL DEWATERING ACTIVITIES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STORMWATER POLLUTION PREVENTION PLAN.

GENERAL SURVEY NOTES:

- TOPOGRAPHIC AND BOUNDARY INFORMATION BY GASQUE & ASSOCIATES, INC., AND DESIGN DRAWINGS FOR THE AIRPORT JUNCTION - SITE INFRASTRUCTURE PACKAGE PROJECT.
- THE ELEVATIONS DEPICTED HEREON ARE BASED ON NAD83 DATUM. THE HORIZONTAL CONTROL IS BASED ON SCSPC NAD'83.
- ALL PROJECT STAKEOUT SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR TO BE PAID FOR BY THE CONTRACTOR. FOR STAKEOUT, DO NOT RELY SOLELY ON THE PHYSICAL SCALE AS SHOWN IN DRAWINGS. REFER TO THE GIVEN DIMENSIONS, SYMBOL LEGEND, KEYNOTES, AND REFERENCED DETAILS FOR CORRECT STAKEOUT.

CIVIL ABBREVIATIONS:

BTTM	BOTTOM	OC	ON CENTER
BM	BENCHMARK	ODSA	OPERATOR OF DAY TO DAY SITE ACTIVITIES
BMP	EROSION CONTROL BEST MANAGEMENT PRACTICES	PC	POINT OF CURVATURE
BW	BOTH WAYS	POA	POINT OF ANALYSIS
CB	CATCH BASIN	PP	POWER POLE
CI	CURB INLET	PT	POINT OF TANGENT
CGP	NPDES CONSTRUCTION GENERAL PERMIT SCR 100000	PVC	POLYVINYL CHLORIDE
CL	CENTERLINE	PVMT	PAVEMENT
CMP	CORRUGATED METAL PIPE	RAD	RADIUS
CO	CLEANOUT	RCP	REINFORCED CONCRETE PIPE
CONC	CONCRETE	RD	ROOF DRAIN
CY	CUBIC YARDS	REQD	REQUIRED
DCVA	DOUBLE CHECK VALVE ASSEMBLY	RPBP	REDUCED PRESSURE BACKFLOW PREVENTER
DI	DROP INLET	RW	RIGHT OF WAY
DIA	DIAMETER	SABC	STABILIZED AGGREGATE BASE COURSE
DIP	DUCTILE IRON PIPE	SF	SQUARE FEET
DS	DOWNSPOUT	SWPPP	STORM WATER POLLUTION PREVENTION PLAN
EL	ELEVATION	SB	SILT BARRIER
EXST	EXISTING	SCDES	SOUTH CAROLINA DEPARTMENT OF ENVIRONMENTAL SERVICES
EW	EACH WAY	SCDOT	SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION
FFE	FINISHED FLOOR ELEVATION	SD	STORM DRAINAGE
FG	FINISHED GRADE	SS	SANITARY SEWER SERVICE
FH	FIRE HYDRANT	STA	STATION
FM	FORCE MAIN	TELECOM	TELECOMMUNICATION
HDPE	HIGH DENSITY POLYETHYLENE	TBM	TEMPORARY BENCH MARK
JAW	IN ACCORDANCE WITH	TC	TOP OF CURB
IE	INVERT ELEVATION	TG	TOP OF GUTTER
JB	JUNCTION BOX	TP	TOP OF PAVEMENT
LF	LINEAR FEET	TYP	TYPICAL
LOD	LIMITS OF DISTURBANCE	VC	VITRIFIED CLAY
LP	LIGHT POLE	W	WATER
MAX	MAXIMUM	WI	WITH
MH	MANHOLE	WS	WATER SERVICE
MIN	MINIMUM	WV	WATER VALVE
MS4	MUNICIPAL SEPARATE STORM SEWER SYSTEM		
NOI	NOTICE OF INTENT		
NOT	NOTICE OF TERMINATION		
NTS	NOT TO SCALE		

Aldi, Inc.
Jefferson, GA

ALDI STORE #179
LADY'S ISLAND

BEAUFORT
SOUTH CAROLINA



ADC ENGINEERING

25 WOODS LAKE ROAD, SUITE 210
GREENVILLE, SC 29607
864-751-9121
ADCENGINEERING.COM

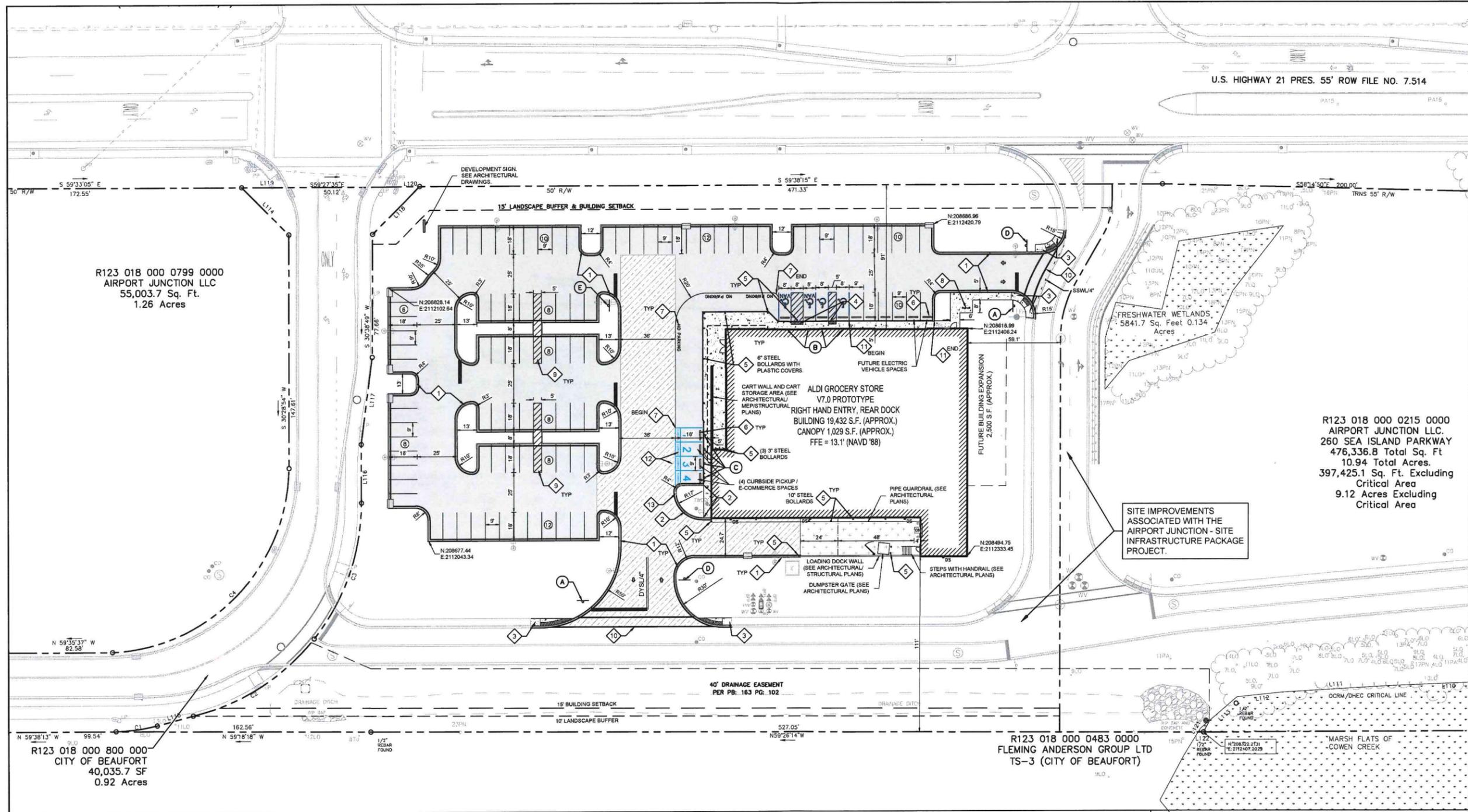


DATE: 04/28/2025
ADC PROJECT #: 24143
DESIGNED: HP
CHECKED: LKB
DRAWN: HP
REVISION:

CIVIL COVER SHEET

C001

PERMIT SET



U.S. HIGHWAY 21 PRES. 55' ROW FILE NO. 7.514

R123 018 000 0799 0000
AIRPORT JUNCTION LLC
55,003.7 Sq. Ft.
1.26 Acres

R123 018 000 0215 0000
AIRPORT JUNCTION LLC.
260 SEA ISLAND PARKWAY
476,336.8 Total Sq. Ft
10.94 Total Acres.
397,425.1 Sq. Ft. Excluding
Critical Area
9.12 Acres Excluding
Critical Area

SITE IMPROVEMENTS
ASSOCIATED WITH THE
AIRPORT JUNCTION - SITE
INFRASTRUCTURE PACKAGE
PROJECT.

40' DRAINAGE EASEMENT
PER PB: 163 PG. 102

R123 018 000 0483 0000
FLEMING ANDERSON GROUP LTD
TS-3 (CITY OF BEAUFORT)

R123 018 000 800 000
CITY OF BEAUFORT
40,035.7 SF
0.92 Acres

SITE NOTES:

- SEE SHEET C001 FOR CIVIL NOTES AND ABBREVIATIONS.
- STOP BARS AND CROSSWALKS SHALL BE THERMOPLASTIC IAW SCDOT SPECIFICATIONS.
- SEE THE AIRPORT JUNCTION - SITE INFRASTRUCTURE PACKAGE DRAWINGS FOR ADDITIONAL INFORMATION.
- DIMENSIONS GIVEN TO THE FACE OF CURB.

SIGN LEGEND

- (A) STOP SIGN (R1-1-30)
- (B) ACCESSIBLE PARKING SIGN - PLUS "VAN" WHERE INDICATED
- (C) CURBSIDE PICKUP PARKING SIGN (INSTALL IAW DETAIL A/C623)
- (D) CURBSIDE PICKUP DIRECTIONAL SIGN, STRAIGHT ARROW (INSTALL IAW DETAIL A/C623)
- (E) CURBSIDE PICKUP DIRECTIONAL SIGN, LEFT ARROW (INSTALL IAW DETAIL A/C623)

KEYNOTES:

- INSTALL NEW 18" CURB AND GUTTER IAW DETAIL F/C620.
- INSTALL VARYING HEIGHT CURB AND GUTTER IAW DETAIL F/C620. SEE SHEET C300 FOR VARYING CURB HEIGHTS. INSTALL YELLOW WARNING PAINT ALONG ALL CURBING THAT IS LESS THAN 6" HIGH.
- INSTALL NEW PEDESTRIAN RAMP WITH DETECTABLE WARNING PANEL IAW DETAILS E/C621 & D/C621.
- INSTALL NEW DETECTABLE WARNING PANEL IN SIDEWALK IAW DETAIL D/C621.
- INSTALL NEW BOLLARD IAW ARCHITECTURAL DRAWINGS.
 - 5.1 3" STEEL BOLLARDS IN CART STORAGE AREA
 - 5.2 6" STEEL BOLLARDS WITH PLASTIC COVERS IN FRONT OF STORE
 - 5.3 10" STEEL BOLLARDS IN TRUCK/SERVICE AREA.
- INSTALL NEW WHEEL STOP IAW DETAIL C/C621.
- INSTALL NEW NO PARKING STRIPING AND TEXT IAW DETAILS H/C622 AND J/C622.
- INSTALL NEW BIKE RACKS IAW DETAIL G/C622.
- INSTALL NEW 5' CART CROSS OVER STRIPING IAW DETAIL F/C622.
- INSTALL NEW CROSSWALK IAW DETAIL E/C622.
- INSTALL NEW INTEGRAL CURB AND WALK IAW DETAIL F/C621. SEE SHEET C300 FOR VARYING SIDEWALK HEIGHTS. INSTALL YELLOW WARNING PAINT ALONG TRANSITION FROM FLUSH SIDEWALK TO 6" SIDEWALK.
- INSTALL NEW E-COMMERCE PAVEMENT STRIPING IAW DETAIL A/C623.
- INSTALL CURB CUT FLUME IAW DETAIL B/C621.

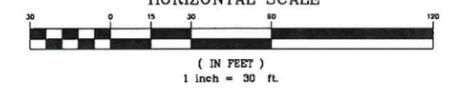
CIVIL LEGEND - SITE

- [Symbol] STANDARD DUTY ASPHALT PAVEMENT - INSTALL IAW DETAIL A/C620
- [Symbol] HEAVY DUTY ASPHALT PAVEMENT - INSTALL IAW DETAIL B/C620
- [Symbol] HEAVY DUTY CONCRETE PAVEMENT - INSTALL IAW DETAIL E/C620.
- [Symbol] CONCRETE SIDEWALK - INSTALL IAW DETAIL C/C620
- [Symbol] ACCESSIBLE PARKING SPACE AND AISLE - IAW DETAIL A/C622.
- [Symbol] 24" STOP BAR (THERMOPLASTIC) - INSTALL IAW DETAIL D/C622.
- [Symbol] CROSSWALK (THERMOPLASTIC) - INSTALL IAW DETAILS E/C622.
- [Symbol] INTERIOR TRAFFIC ARROW - INSTALL IAW DETAIL C/C622.
- [Symbol] DYSL/4" DOUBLE YELLOW SOLID LINE / 4" WIDE EACH (THERMOPLASTIC) - INSTALL IAW DETAIL B/C623.
- [Symbol] SSWL/4" SINGLE SKIP WHITE LINE / 4" WIDE (THERMOPLASTIC) - INSTALL IAW DETAIL B/C623.
- [Symbol] VAN "VAN" STRIPING - INSTALL IAW DETAIL I/C622.

- [Symbol] PARKING SPACES - STRIPE WITH 4" SINGLE SOLID LINES AS FOLLOWS:
 - STANDARD SPACES = WHITE
 - ADA PARKING SPACES = HANDICAP BLUE
 - CURBSIDE PICKUP = LIGHT BLUE (HEX CODE #00B4DC)
- [Symbol] NEW TRAFFIC SIGN - INSTALL PER PLAN AND IAW DETAILS A/C621 & A/C623
- [Symbol] PROPERTY LINE

Off-Street Parking Calculations

Use	Airport Junction PUD	Required
Required Parking		
Retail Bldg	1 per 300 Square Feet	19,432 = 65
Future Expansion	1 per 300 Square Feet	2,500 = 9
		TOTAL = 74
Parking Provided		
100		
ADA Parking Based on Actual Spaces Provided		
Total ADA Parking Spaces =		4
Van Accessible Spaces =		1
Provided Parking Summary		
Standard Spaces =		96
ADA Standard Spaces Based on Actual Parking Provided =		2
ADA Van Accessible Based on Actual Parking Provided =		2
PROPOSED NEW SPACES =		100



ALDI STORE #179
LADY'S ISLAND
BEAUFORT
SOUTH CAROLINA

Aldi, Inc.
Jefferson, GA



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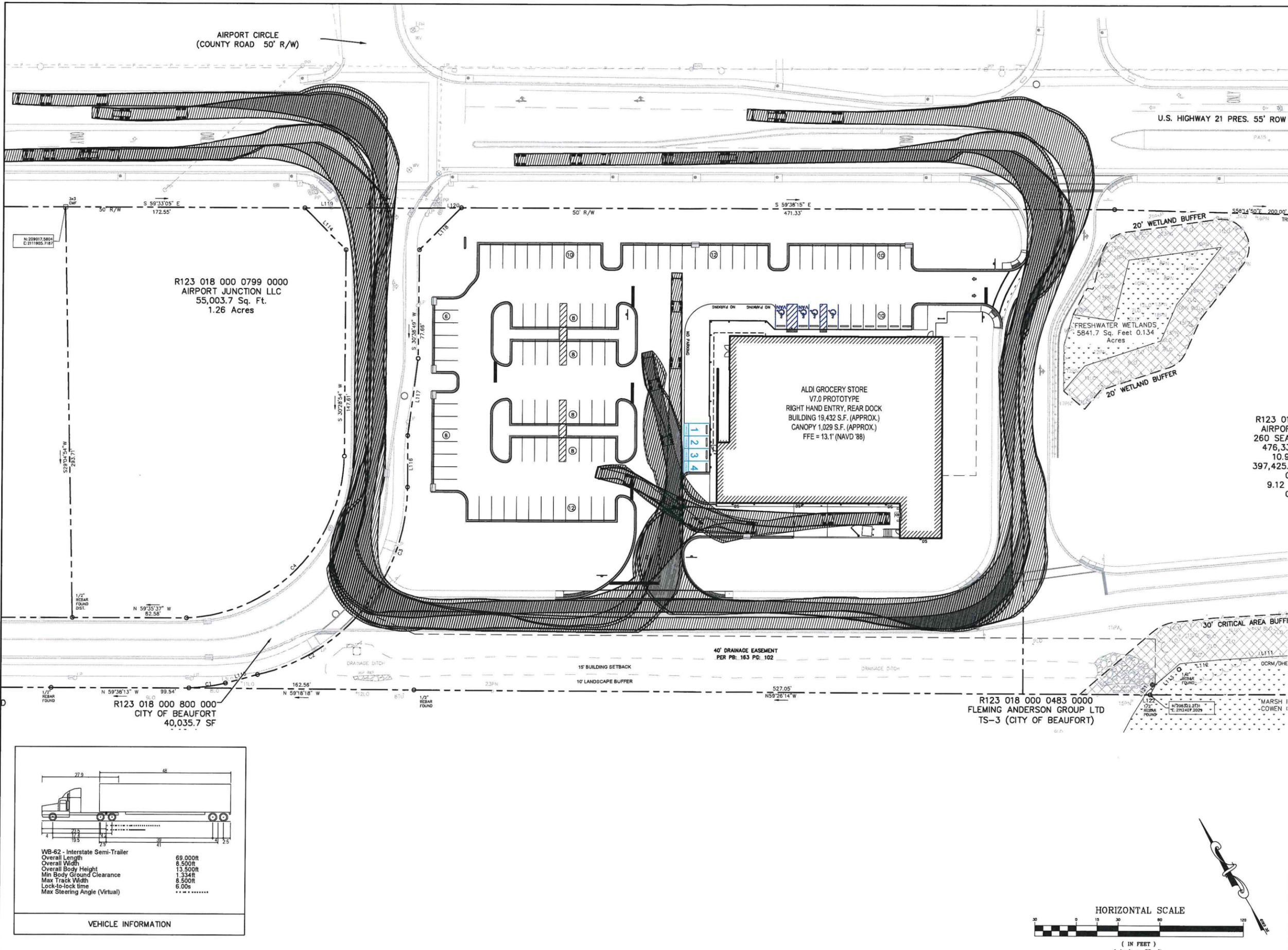


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SITE
PLAN

C200

PERMIT SET



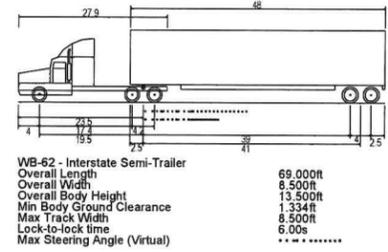
R123 018 000 0799 0000
 AIRPORT JUNCTION LLC
 55,003.7 Sq. Ft.
 1.26 Acres

ALDI GROCERY STORE
 V7.0 PROTOTYPE
 RIGHT HAND ENTRY, REAR DOCK
 BUILDING 19,432 S.F. (APPROX.)
 CANOPY 1,029 S.F. (APPROX.)
 FFE = 13.1' (NAVD '88)

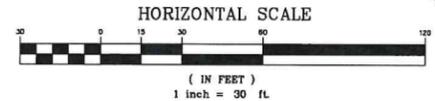
20' WETLAND BUFFER
 FRESHWATER WETLANDS
 5841.7 Sq. Feet 0.134
 Acres
 20' WETLAND BUFFER

R123 018 000 800 000
 CITY OF BEAUFORT
 40,035.7 SF

R123 018 000 0483 0000
 FLEMING ANDERSON GROUP LTD
 TS-3 (CITY OF BEAUFORT)



VEHICLE INFORMATION



Aldi, Inc.
 Jefferson, GA

ALDI STORE #179
 LADY'S ISLAND

BEAUFORT
 SOUTH CAROLINA



R123 01
 AIRPOF
 260 SEA
 476,3
 10.9
 397,425.
 9.12

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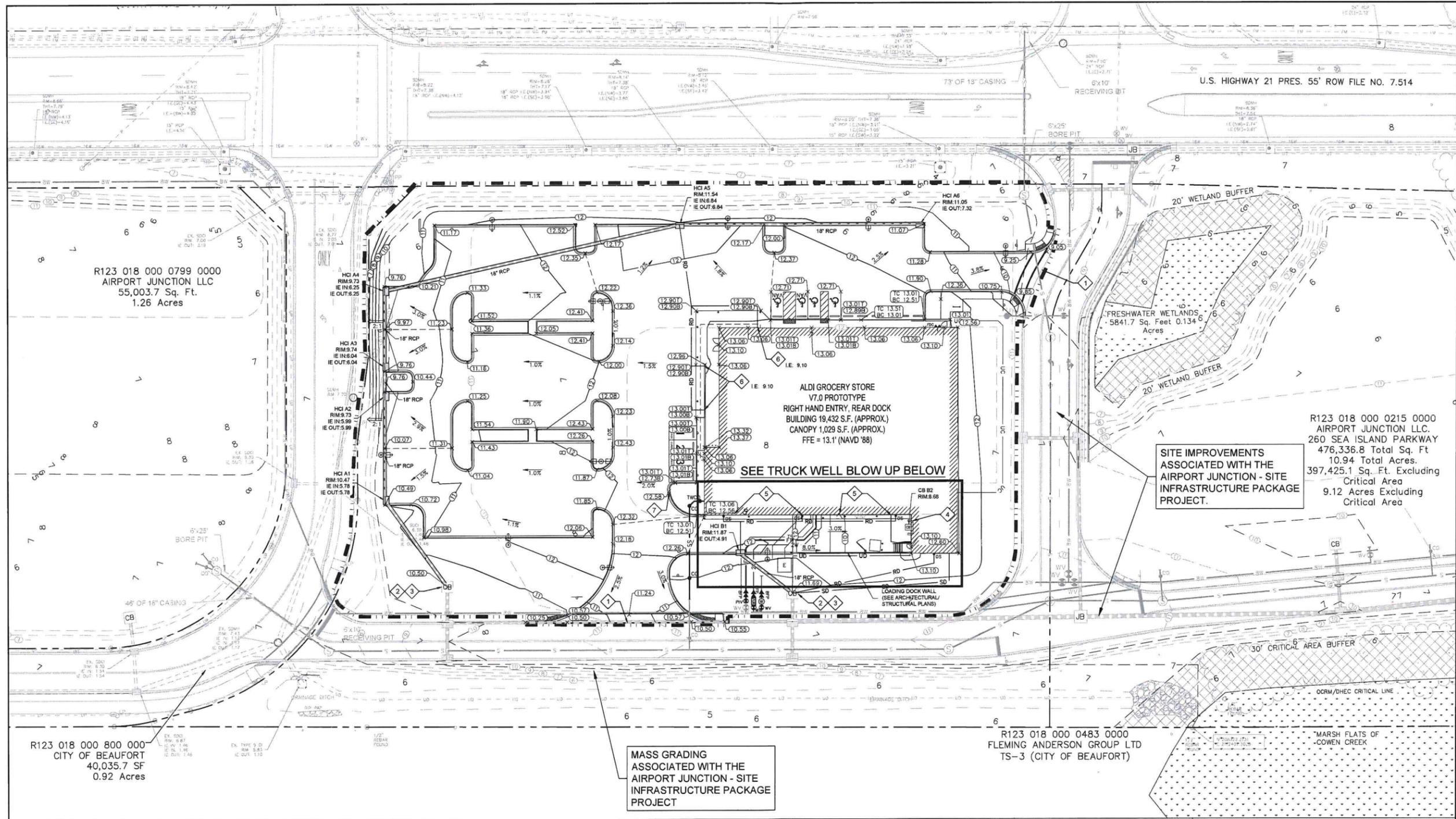
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VEHICLE
 CIRCULATION
 PLAN

C220

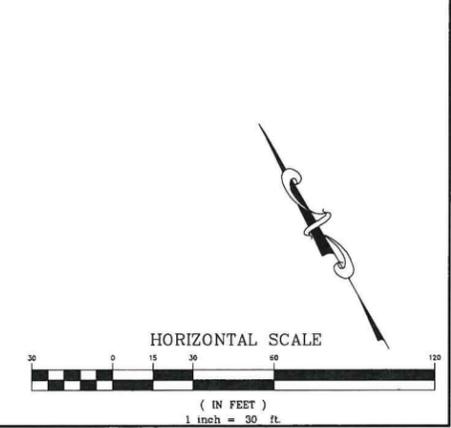
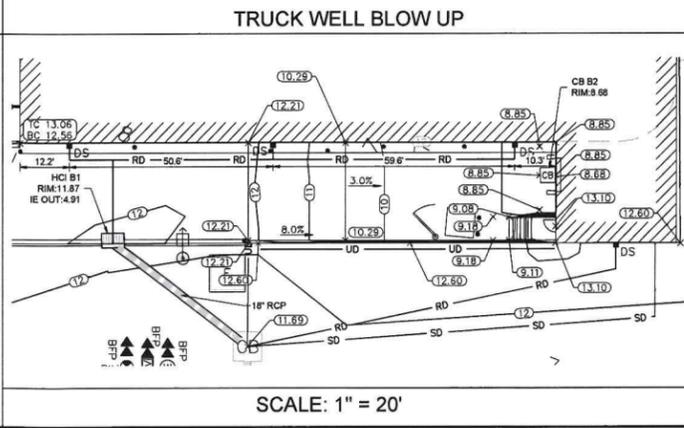
PERMIT SET



- GRADING AND DRAINAGE NOTES**
- SEE SHEET C001 FOR CIVIL NOTICES AND ABBREVIATIONS
 - ALL SPOTS GIVEN ARE TO BOTTOM OF CURB OR TOP OF ASPHALT UNLESS NOTED OTHERWISE.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL SITE UTILITIES AND STORM DRAINAGE INSTALLATION SCHEDULES TO AVOID POTENTIAL UTILITY CONFLICTS. GRAVITY DEPENDENT UTILITIES SHALL BE INSTALLED PRIOR TO NON-GRAVITY DEPENDENT UTILITIES
 - ADJUST EXISTING STORM AND UTILITY COVERS TO FINISH GRADE.
 - STORM DRAINAGE PIPING SHALL ENTER THE SIDES OF DRAINAGE STRUCTURES. NO CORNER PENETRATIONS ARE ALLOWED.
 - CLEAN OUT ALL SEDIMENT AND DEBRIS FROM ALL EXISTING AND NEW STORM DRAINAGE PIPES AND STRUCTURES.
 - PROVIDE STORM DRAINAGE AS-BUILTS IAW SCDES AND CITY OF BEAUFORT REQUIREMENTS.
 - SEE SHEET C310 FOR STORM DRAINAGE PROFILES.

- KEYNOTES**
- MATCH EXISTING PAVEMENT ELEVATIONS
 - CONNECT NEW STORM DRAINAGE TO EXISTING STORM DRAINAGE STRUCTURE.
 - ADJUST RIM OF EXISTING STRUCTURE TO REFLECT PROPOSED GRADES
 - INSTALL CATCH BASIN WITH INTERNAL PUMP OPTION AT TRUCK WELL IAW DETAIL B/C631. COORDINATE WITH ARCHITECTURAL/PLUMBING PLANS
 - CONNECT TO DOWNSPOUT IAW DETAIL D/C630.
 - CONNECT TO CANOPY ROOF DRAINS IAW DETAIL A/C631.
 - INSTALL CURB CUT FLUME IAW DETAIL B/C621.

- CIVIL LEGEND - GRADING AND DRAINAGE**
- CB CATCH BASIN - INSTALL IAW DETAIL B/C631
 - HOODED CURB INLET - INSTALL IAW DETAIL C/C630
 - STORM DRAINAGE PIPE (SEE PROFILE FOR SLOPE AND MATERIAL) - INSTALL IAW DETAIL B/C630.
 - DS DOWN SPOUT - SEE ARCHITECTURAL PLANS. CONNECT TO UNDERGROUND DRAINAGE SYSTEM IAW DETAIL D/C631
 - RD ROOF DRAIN - 6" CPP ROOF DRAINAGE PIPE WITH CLEANOUT - INSTALL @ A MINIMUM 1% SLOPE AND IAW DETAIL D/C630. INSTALL BENDS AND FITTINGS AS NECESSARY
 - SD STORM DRAIN - 2" PVC - INSTALL FROM INTERNAL SUMP PUMP. SEE ARCHITECTURAL AND PLUMBING PLANS FOR CONTINUATION.
 - NEW FINISHED GRADE SPOT ELEVATION
 - NEW FINISHED CONTOUR
 - EXISTING GRADE SPOT
 - EXISTING GRADE CONTOUR
 - MASS GRADING CONTOURS FROM AIRPORT JUNCTION SITE INFRASTRUCTURE
 - SLOPE AND SLOPE DIRECTION
 - PROPERTY LINE
 - LIMITS OF CONSTRUCTION/LIMITS OF DISTURBANCE



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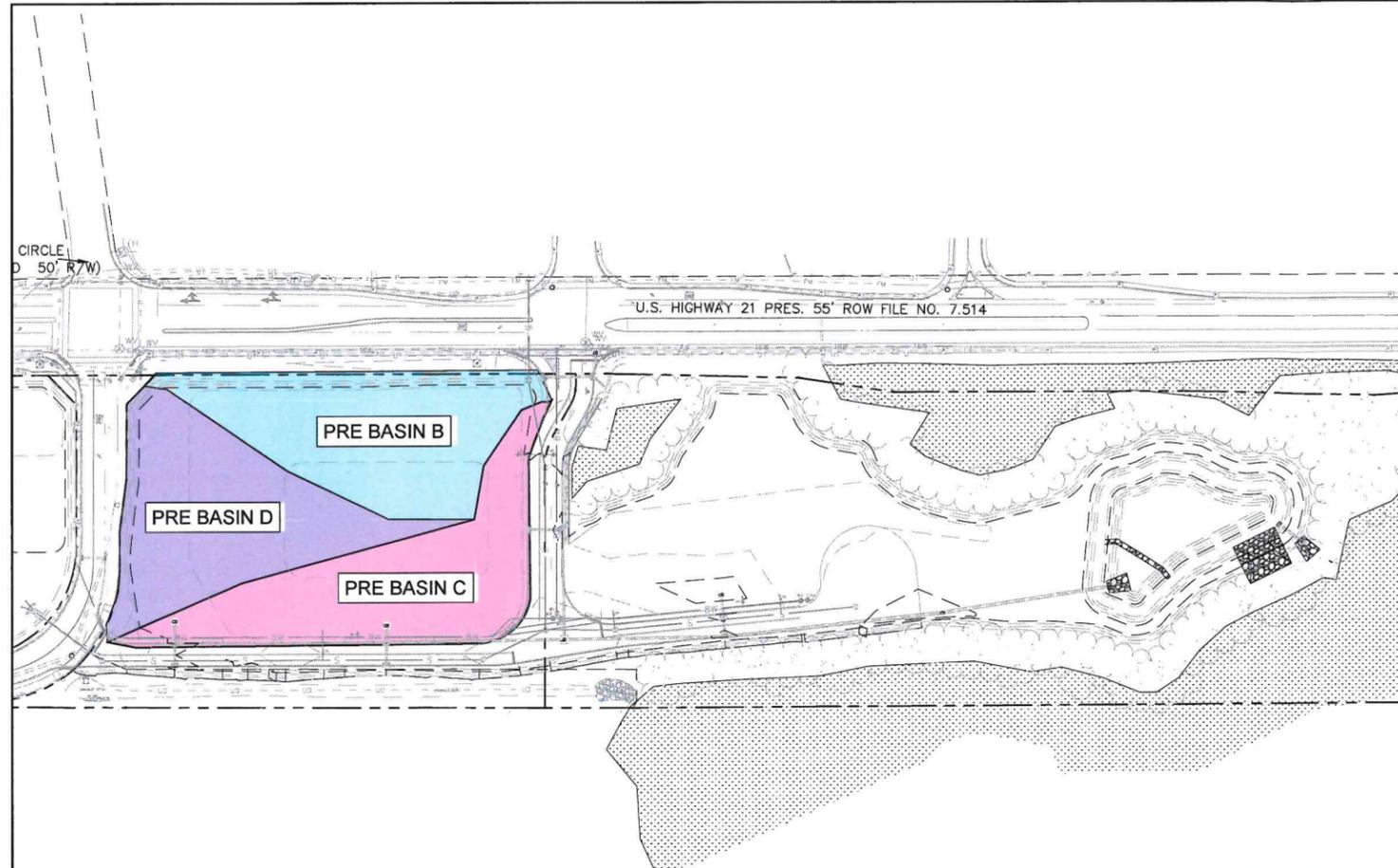
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GRADING PLAN

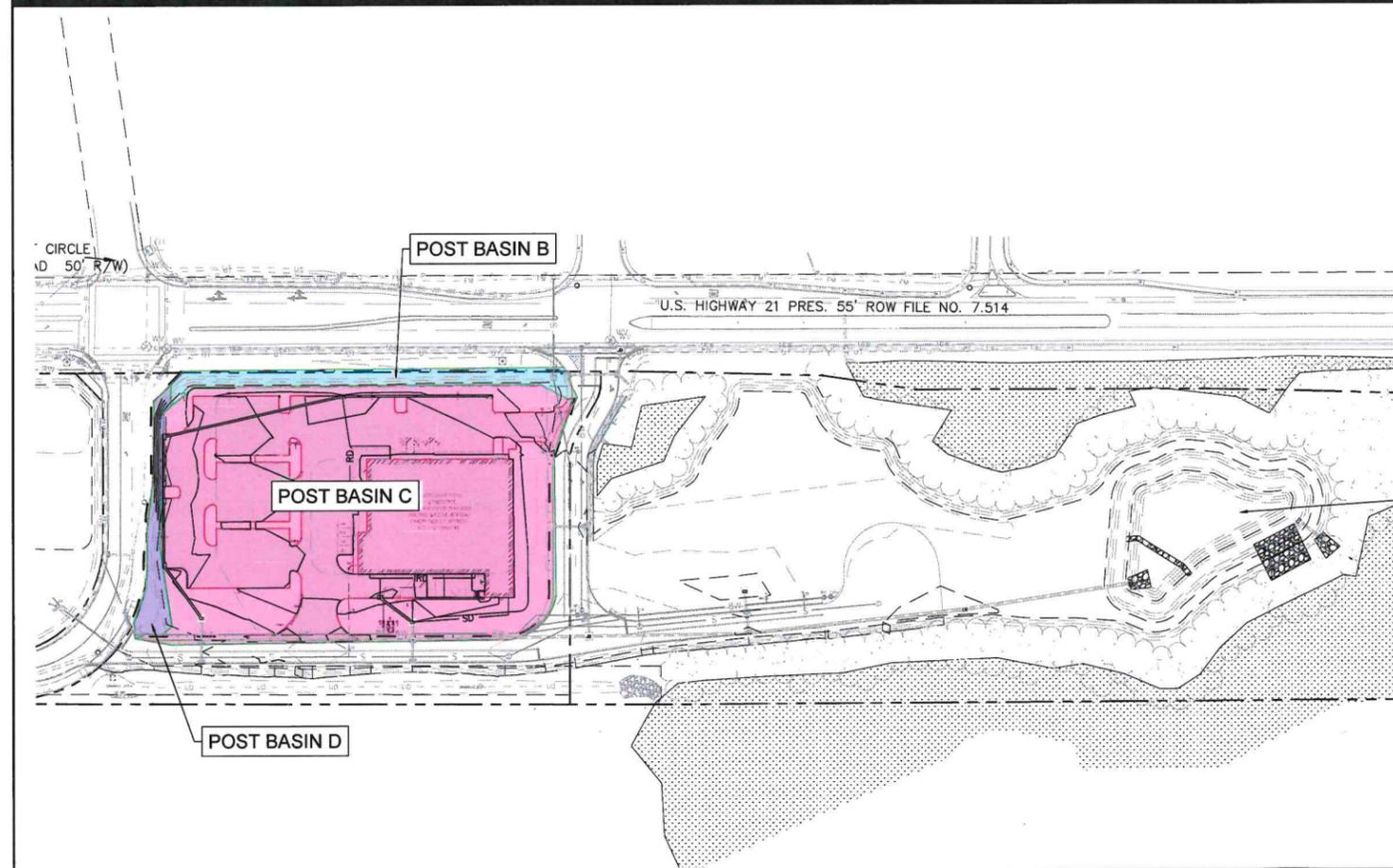
C300

PERMIT SET



PRE-DEVELOPMENT CONDITIONS:			
	PRE BASIN B	PRE BASIN C	PRE BASIN D
ACERAGE (AC)	0.92	0.93	0.93
IMPERVIOUS AREA (AC)	0.00	0.00	0.00
PERVIOUS AREA (AC)	0.92	0.93	0.93
STORMWATER RUNOFF			
POI	PRE BASIN B	PRE BASIN C	PRE BASIN D
2-YR (CFS)	1.4	1.4	1.4
10-YR (CFS)	2.6	2.6	2.6
25-YR (CFS)	3.4	3.4	3.4
100-YR (CFS)	4.7	4.8	4.8
WEIGHTED CN	79	79	79
TC (MIN.)	22.0	22.0	22.0

CIVIL LEGEND - DRAINAGE AREA:
 DRAINAGE AREA LIMITS [Green line]
 IMPERVIOUS AREA [Red outline]

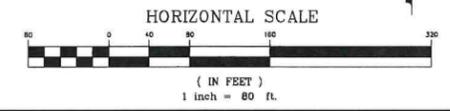


POST-DEVELOPMENT CONDITIONS:			
	POST BASIN B	POST BASIN C	POST BASIN D
ACERAGE (AC)	0.17	2.51	0.10
IMPERVIOUS AREA (AC)	0.00	1.70	0.00
PERVIOUS AREA (AC)	0.17	0.81	0.10
STORMWATER RUNOFF			
POI	POST BASIN B	POST BASIN C	POST BASIN D
2-YR (CFS)	0.4	9.2	0.2
10-YR (CFS)	0.8	14.7	0.5
25-YR (CFS)	1.0	18.1	0.6
100-YR (CFS)	1.4	23.9	0.8
WEIGHTED CN	79	93	79
TC (MIN.)	6.0	6.0	6.0

**POST WATER QUALITY AND QUANTITY HAS BEEN ACCOUNTED FOR IN THE POND DESIGNED FOR THE LCP (AIRPORT JUNCTION SITE INFRASTRUCTURE)

POND FOR LCP

CIVIL LEGEND - DRAINAGE AREA:
 DRAINAGE AREA LIMITS [Green line]
 IMPERVIOUS AREA [Red outline]



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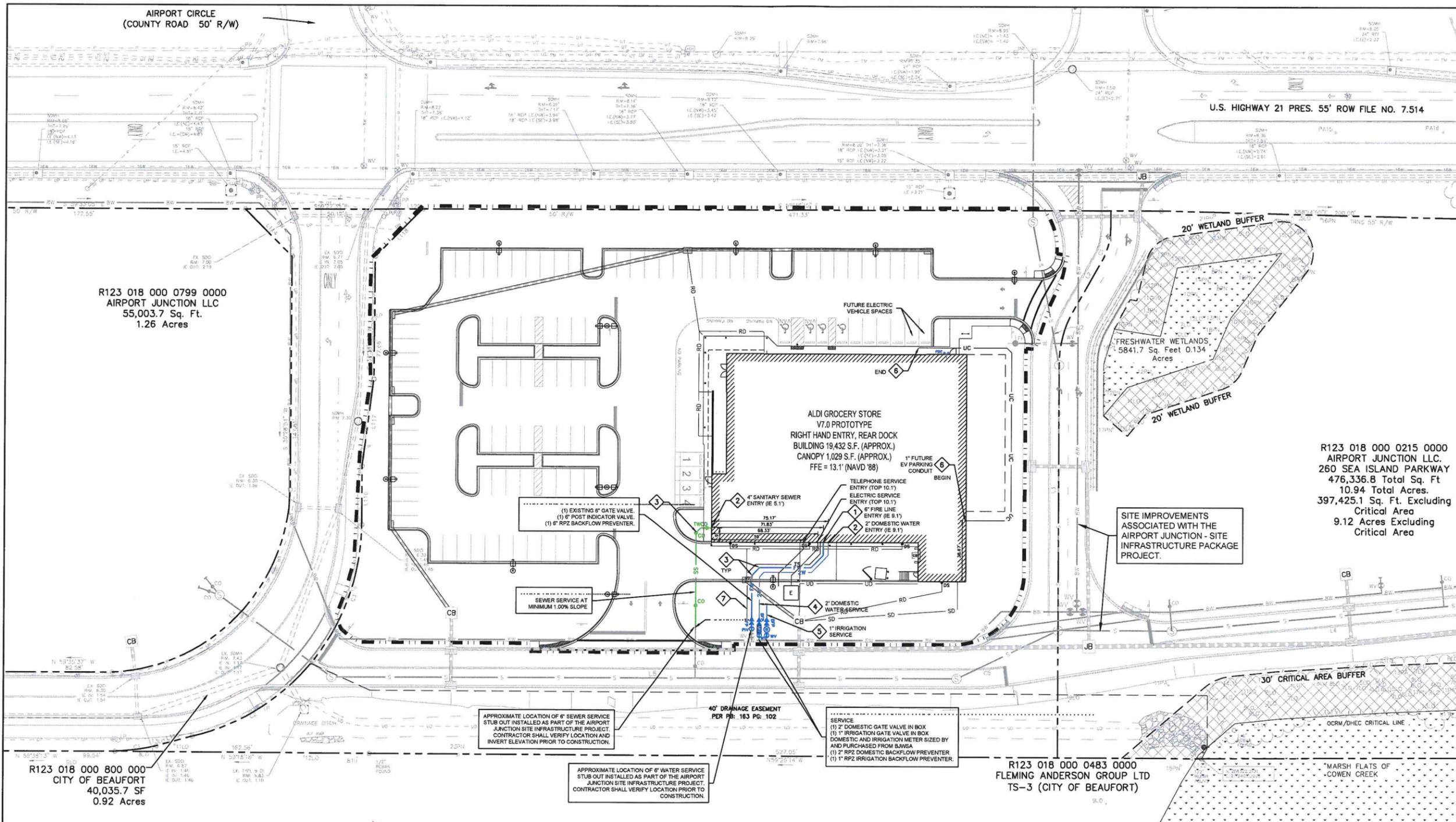


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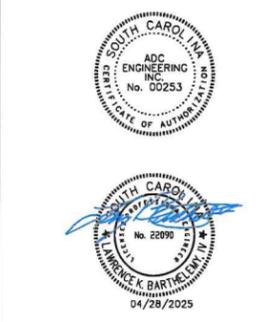
DRAINAGE AREA PLAN

C330

PERMIT SET



ALDI STORE #179
LADY'S ISLAND
BEAUFORT
SOUTH CAROLINA



R123 018 000 0215 0000
AIRPORT JUNCTION LLC.
260 SEA ISLAND PARKWAY
476,336.8 Total Sq. Ft
10.94 Total Acres.
397,425.1 Sq. Ft. Excluding
Critical Area
9.12 Acres Excluding
Critical Area

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UTILITY NOTES:

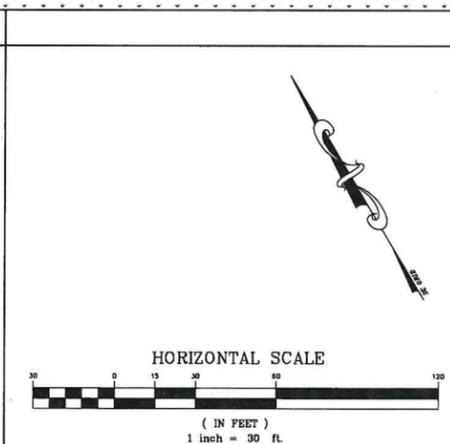
- SEE SHEET C001 FOR CIVIL NOTES AND ABBREVIATIONS
- GENERAL CONTRACTOR SHALL COORDINATE ALL SITE UTILITIES AND STORM DRAINAGE INSTALLATION SCHEDULES TO AVOID POTENTIAL UTILITY CONFLICTS GRAVITY DEPENDENT UTILITIES SHALL BE INSTALLED PRIOR TO NON-GRAVITY DEPENDENT UTILITIES.
- FIRE SERVICE LINE AND ALL ASSOCIATED FIRE SERVICE ITEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NFPA 24 REQUIREMENTS.
- ALL BACKFLOW PREVENTION SHALL BE IAW BEAUFORT JASPER WATER AND SEWER AUTHORITY (BJWSA) AND SCDES REQUIREMENTS. ALL ASSEMBLIES SHALL BE TESTED AND CERTIFIED BY A SCDES BACKFLOW PREVENTION ASSEMBLY CERTIFIED TESTER AFTER INSTALLATION. CONTRACTOR SHALL PROVIDE TEST RESULTS TO UTILITY PROVIDER.
- UTILITY CONTRACTOR SHALL PROVIDE WATER AND SEWER RECORD DRAWINGS AND EASEMENT PLATS IN ACCORDANCE WITH BJWSA REQUIREMENTS
- ALL WATER AND SEWER CONSTRUCTION SHALL BE IAW BJWSA REQUIREMENTS
- VERIFY UTILITY SERVICE LOCATIONS AND ELEVATIONS WITH PLUMBING PLANS PRIOR TO CONSTRUCTION.
- EXTEND A 1" PVC CONDUIT FOR THE TAMPER SWITCH FROM THE PIV AND BACKFLOW PREVENTER TO THE FIRE RISER

KEYNOTES

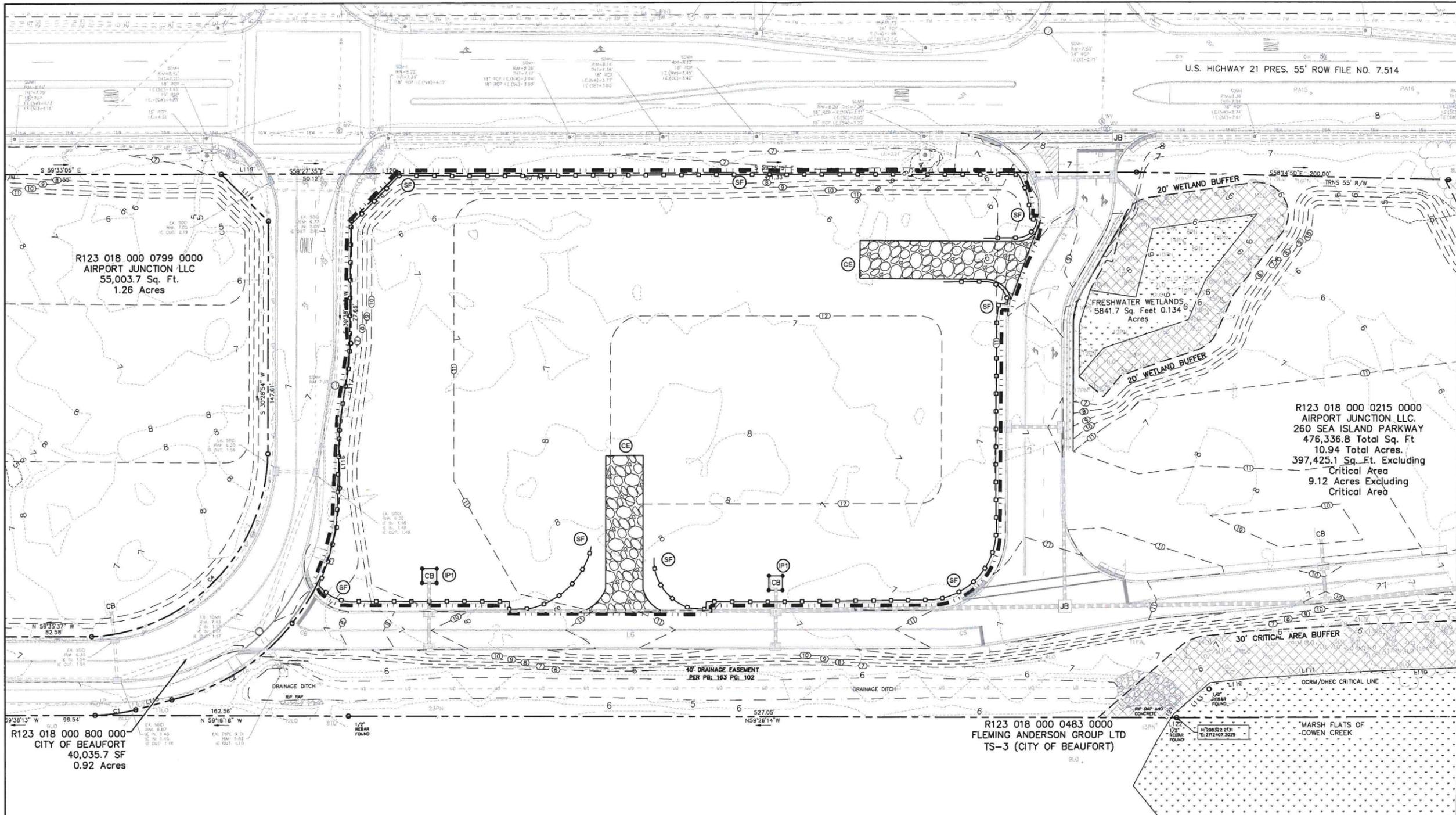
- INSTALL NEW 6" FIRE SPRINKLER SERVICE LINE. STUB-UP INSIDE BUILDING 12" ABOVE FFE WITH BLIND FLANGE IAW DETAIL G/C640. COORDINATE LOCATION AND ELEVATION WITH ARCHITECTURAL DRAWINGS AND FIRE PROTECTION DRAWINGS. FLUSH FIRE LINE IAW FIRE PROTECTION SPECIFICATIONS AND COORDINATE FLUSHING WITH FIRE PROTECTION ENGINEER AND GENERAL CONTRACTOR. PROVIDE ALL MATERIALS, INSTALLATION, TESTING, AND CERTIFICATIONS IAW NFPA REQUIREMENTS.
- SEE PLUMBING PLANS FOR CONTINUATION
- INSTALL BENDS AS NECESSARY.
- INSTALL NEW 2" DOMESTIC WATER SERVICE IAW DETAIL E/C640.
- INSTALL NEW 1" IRRIGATION SERVICE IAW DETAIL E/C641 AND BJWSA SPECIFICATIONS
- INSTALL (3) 4" PVC CONDUIT TO FUTURE ELECTRIC VEHICLE SPACES.
- INSTALL 1" PVC TAMPER SWITCH CONDUIT FROM FIRE RISER TO PIV AND BACKFLOW PREVENTER

CIVIL LEGEND - WATER AND SEWER

	GATE VALVE (MATCH LINE SIZE) - INSTALL IAW DETAIL C/C640.		NEW LIGHT POLE - INSTALL IAW ELECTRICAL PLANS. INSTALL LIGHT POLE BASE IAW DETAIL F/C641.
	POST INDICATOR VALVE (MATCH LINE SIZE) - INSTALL IAW DETAIL G/C641.		NEW TRANSFORMER - INSTALL NEW TRANSFORMER PAD IAW DETAIL A/C642. COORDINATE INSTALLATION WITH DOMINION ENERGY.
	BACKFLOW PREVENTER - INSTALL IAW DETAIL B/C640.		UNDERGROUND POWER LINE - COORDINATE THE INSTALLATION WITH DOMINION ENERGY.
	2" DOMESTIC WATER METER - INSTALL IAW BJWSA SPECIFICATIONS		UNDERGROUND COMMUNICATIONS LINE - COORDINATE THE INSTALLATION WITH UTILITY PROVIDER.
	WALL MOUNTED FIRE DEPARTMENT CONNECTION - INSTALL IAW FIRE PROTECTION DRAWINGS.		1" PVC CONDUIT FROM BUILDING TO FUTURE EV PARKING SPACES
	1" IRRIGATION WATER METER - INSTALL IAW DETAIL E/C641.		PROPERTY LINE
	SEWER CLEANOUT - INSTALL USING 70" MIN. SPACING AND IAW DETAIL A/C641.		LIMITS OF CONSTRUCTION/LIMITS OF DISTURBANCE
	TWO WAY SEWER CLEANOUT - INSTALL IAW DETAIL A/C641		
	2" HDPE (SDR 11) DOMESTIC WATER SERVICE - INSTALL IAW DETAIL E/C640.		
	1" HDPE (SDR 11) IRRIGATION SERVICE - INSTALL IAW DETAIL E/C641.		
	6" DIP FIRE SPRINKLER SERVICE - INSTALL IAW DETAILS A/C640 AND D/C640		
	1" PVC TAMPER SWITCH CONDUIT - INSTALL FROM FIRE RISER TO PIV AND BACKFLOW PREVENTER.		
	6" PVC (SDR 26) SEWER SERVICE - INSTALL AT A 1% MINIMUM SLOPE AND IAW DETAILS A/C641, B/C641 AND C/C641.		

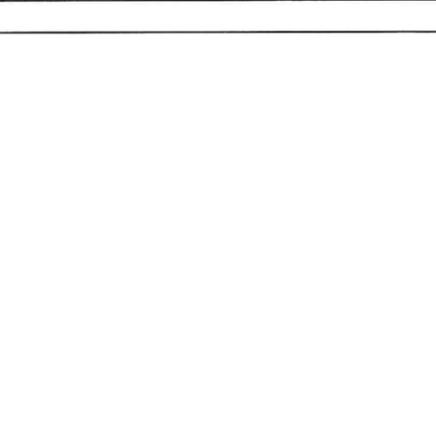


C400
PERMIT SET



EROSION CONTROL NOTES:

- SEE SHEET C001 FOR CIVIL NOTES AND ABBREVIATIONS
- SEE SHEET C700 FOR ADDITIONAL CONTROL NOTES
- ALL CONTRACTORS/SUBCONTRACTORS/PERSON THAT WILL BE ENGAGED IN LAND DISTURBING ACTIVITIES SHALL COMPLY WITH ALL EROSION CONTROL AND STORMWATER POLLUTION PREVENTION REQUIREMENTS CONTAINED THROUGHOUT THE DRAWINGS, SPECIFICATIONS AND PERMITS
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLETING ALL BMP INSPECTIONS IAW SWPPP, CITY OF BEAUFORT, AND SCDES REQUIREMENTS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM EXISTING AND NEW STORM DRAINAGE SYSTEM WITHIN THE LIMITS OF DISTURBANCE.
- DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURE TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF-SITE

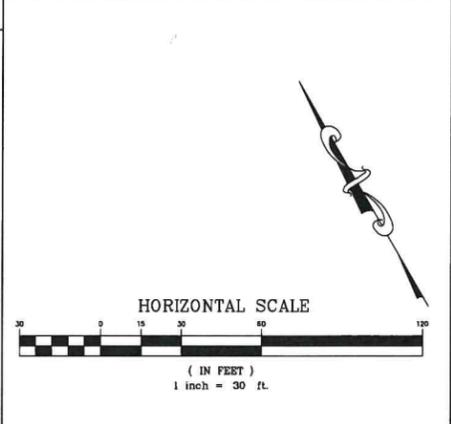


CIVIL LEGEND - EROSION CONTROL

- CE CONSTRUCTION ENTRANCE - INSTALL IAW DETAIL A/C740. CONTRACTOR CAN INSTALL A SINGLE OR MULTIPLE ENTRANCES AS NEEDED.
- SF REINFORCED SILT FENCE - INSTALL IAW DETAIL C/C740.
- TS TEMPORARY SEEDING - INSTALL IAW DETAIL A/C741 AND CONSTRUCTION GENERAL PERMIT.
- PS PERMANENT STABILIZATION - INSTALL IAW LANDSCAPE PLANS.
- IP1 SEDIMENT TUBE INLET PROTECTION - INSTALL IAW DETAIL E/C740.
- CW CONCRETE WASHOUT - INSTALL IAW DETAIL B/C740.
- ECB EROSION CONTROL BLANKET - INSTALL IAW DETAIL B/C741.
- WETLANDS WHICH ARE TO REMAIN UNDISTURBED AND PROTECTED.
- LIMITS OF DISTURBANCE

SEQUENCE OF CONSTRUCTION - INITIAL PHASE:

- RECEIVE NPDES APPROVAL FROM SCDES
- NOTIFY REGIONAL SCDES EQC OFFICE AND CITY OF BEAUFORT 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- PRIOR TO ANY LAND DISTURBANCE ACTIVITY CONDUCT A SWPPP PRE-CONSTRUCTION CONFERENCE. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT SWPPP PRE-CONSTRUCTION MEETING WITH SWPPP PREPARING ENGINEER, SCDES, OWNER AND ALL LAND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
- INSTALL SILT FENCE AND CONSTRUCTION ENTRANCES AS SHOWN ON THE PLANS.
- INSTALL INLET PROTECTION AS SHOWN ON THE PLANS.
- MAINTAIN BEST MANAGEMENT PRACTICES THROUGHOUT CONSTRUCTION
- COMPLETE INSPECTION REPORTS IAW CONSTRUCTION GENERAL PERMIT.



Aldi, Inc.
Jefferson, GA

**ALDI STORE #179
LADY'S ISLAND**

BEAUFORT
SOUTH CAROLINA



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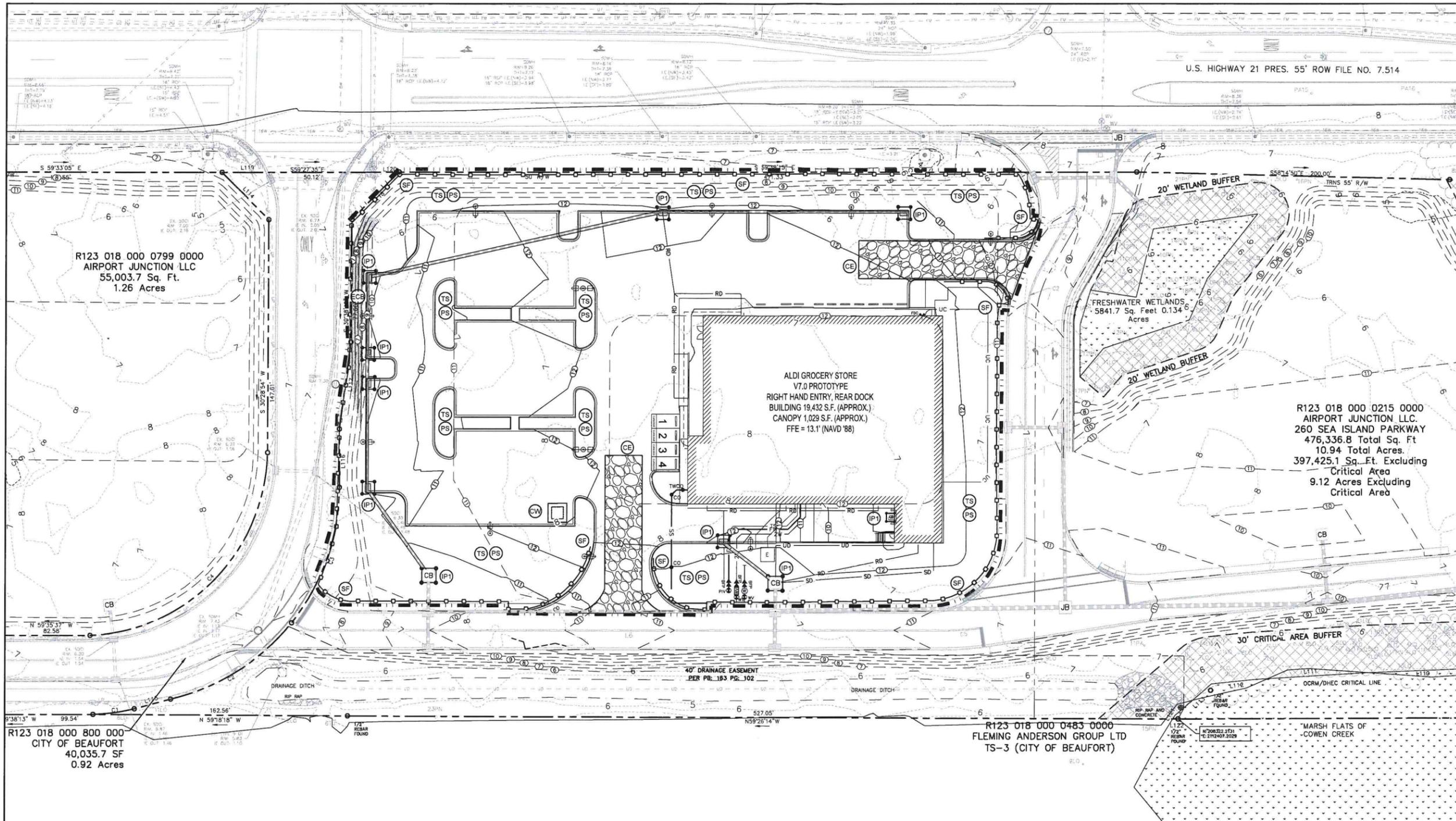
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EROSION CONTROL PLAN - INITIAL PHASE

C710

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CONTRACTOR SHALL CONTACT 811 (888-724-8177) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.

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EROSION CONTROL NOTES:

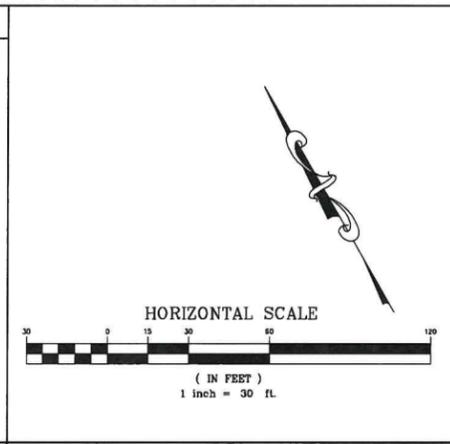
- SEE SHEET C001 FOR CIVIL NOTES AND ABBREVIATIONS
- SEE SHEET C700 FOR ADDITIONAL CONTROL NOTES.
- ALL CONTRACTORS/SUBCONTRACTORS/PERSON THAT WILL BE ENGAGED IN LAND DISTURBING ACTIVITIES SHALL COMPLY WITH ALL EROSION CONTROL AND STORMWATER POLLUTION PREVENTION REQUIREMENTS CONTAINED THROUGHOUT THE DRAWINGS, SPECIFICATIONS AND PERMITS
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLETING ALL BMP INSPECTIONS IAW SWPPP, CITY OF BEAUFORT, AND SCDES REQUIREMENTS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM EXISTING AND NEW STORM DRAINAGE SYSTEM WITHIN THE LIMITS OF DISTURBANCE
- DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURE TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF-SITE.

CIVIL LEGEND - EROSION CONTROL

- CE CONSTRUCTION ENTRANCE - INSTALL IAW DETAIL AC740. CONTRACTOR CAN INSTALL A SINGLE OR MULTIPLE ENTRANCES AS NEEDED.
- SF REINFORCED SILT FENCE - INSTALL IAW DETAIL C/C740.
- TS TEMPORARY SEEDING - INSTALL IAW DETAIL A/C741 AND CONSTRUCTION GENERAL PERMIT.
- PS PERMANENT STABILIZATION - INSTALL IAW LANDSCAPE PLANS.
- IP1 SEDIMENT TUBE INLET PROTECTION - INSTALL IAW DETAIL EC740.
- CW CONCRETE WASHOUT - INSTALL IAW DETAIL B/C740.
- ECB EROSION CONTROL BLANKET - INSTALL IAW DETAIL B/C741.
- WETLANDS WHICH ARE TO REMAIN UNDISTURBED AND PROTECTED.
- LIMITS OF DISTURBANCE

SEQUENCE OF CONSTRUCTION - STABILIZATION PHASE:

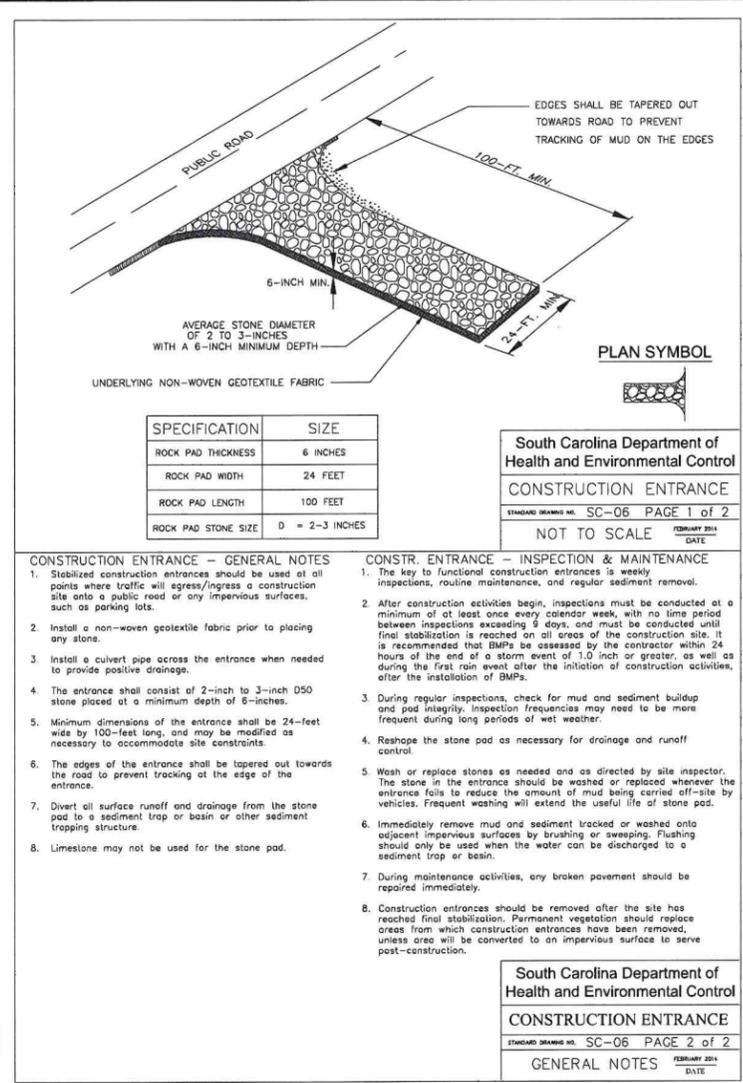
- GRADE SITE AND ESTABLISH BUILDING PAD.
- ADJUST SILT FENCE AND OTHER BMPS AS THE SITE IS BROUGHT UP TO GRADE.
- BEGIN BUILDING CONSTRUCTION.
- BEGIN INSTALLATION OF PERMANENT STORM DRAINAGE SYSTEM. INSTALL INLET PROTECTION AS THE DRAINAGE STRUCTURES ARE INSTALLED.
- BEGIN INSTALLATION OF UTILITIES.
- TEMPORARILY SEED DISTURBED AREAS IAW THE PLANS, DETAILS AND THE CONSTRUCTION GENERAL PERMIT.
- FINE GRADE SITE TO ELEVATIONS GIVEN ON GRADING PLANS.
- PAVE SITE.
- INSTALL/COORDINATE REMAINING UTILITIES.
- COMPLETE ANY REMAINING GRADING.
- PERMANENTLY STABILIZE REMAINING DISTURBED AREAS IAW LANDSCAPE PLAN AND DETAILS.
- MAINTAIN BEST MANAGEMENT PRACTICES THROUGHOUT CONSTRUCTION.
- REMOVE SEDIMENT AND DEBRIS FROM ALL STORM DRAINAGE AND STRUCTURES.
- PREPARE THE STORMWATER AS-BUILTS. SCHEDULE AN ONSITE INSPECTION WITH THE ENGINEER AND OWNER AFTER THE SITE IS FULLY STABILIZED.
- REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL AFTER APPROVAL OF THE ENGINEER AND THE INSPECTOR. STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE BEST MANAGEMENT PRACTICES.
- CONTINUE INSPECTION REPORTS IAW CONSTRUCTION GENERAL PERMIT UNTIL THE SITE IS STABILIZED AND THE PERMIT MAY BE TERMINATED.
- CERTIFIED STORMWATER AS-BUILTS AND NOTICE OF TERMINATION CAN BE SUBMITTED UPON A MINIMUM OF 70% UNIFORM SITE STABILIZATION.



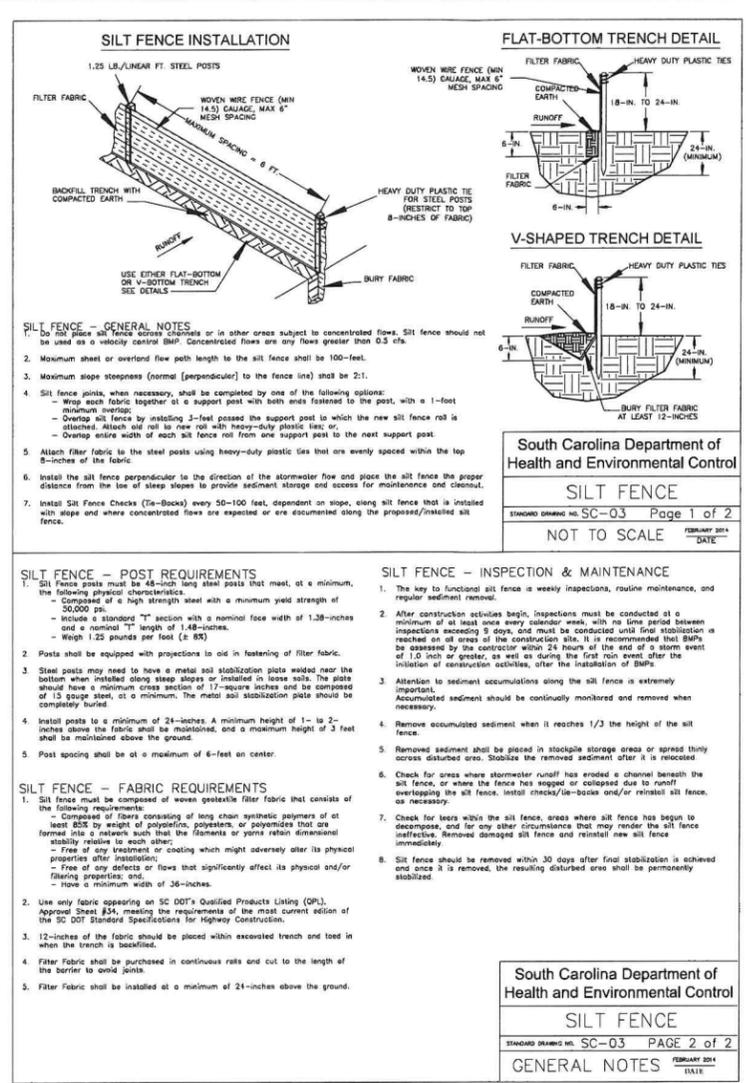
EROSION CONTROL PLAN - STABILIZATION PHASE

C720

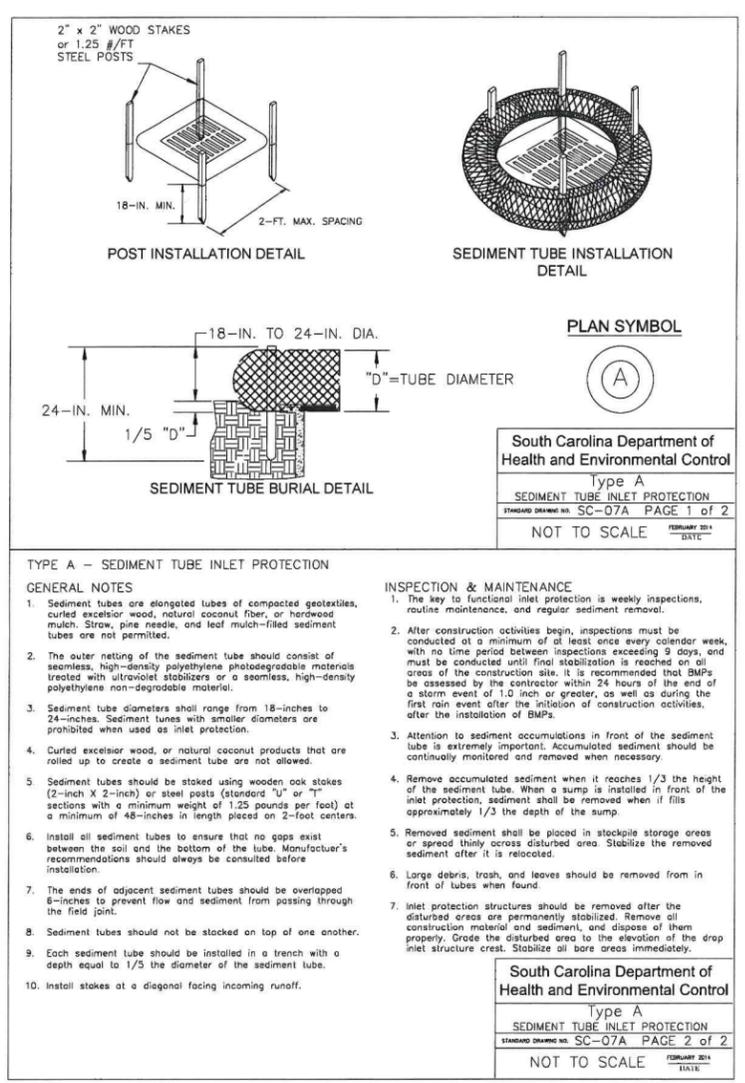
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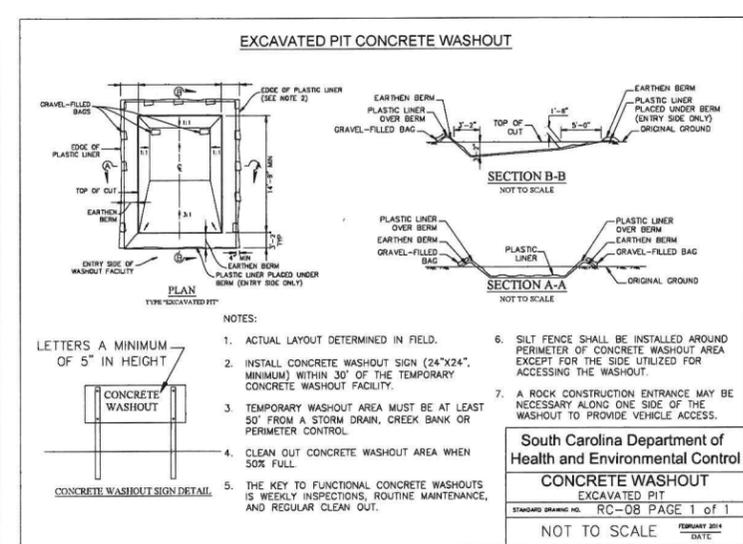
A CONSTRUCTION ENTRANCE



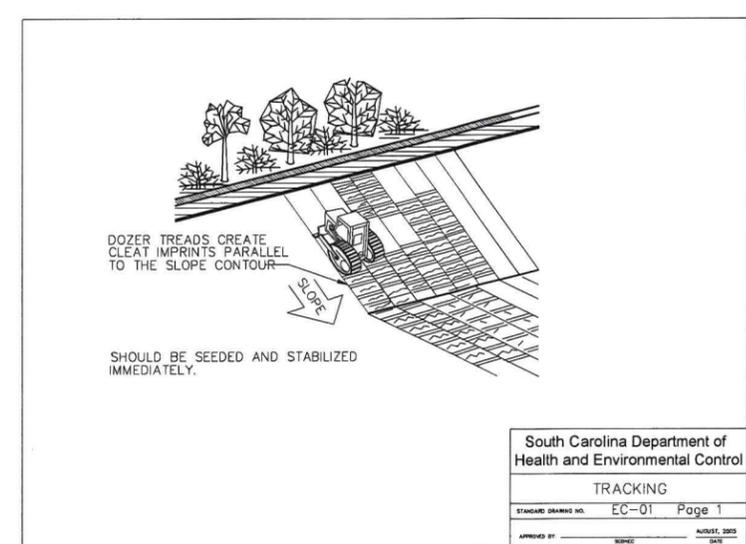
C REINFORCED SILT FENCE



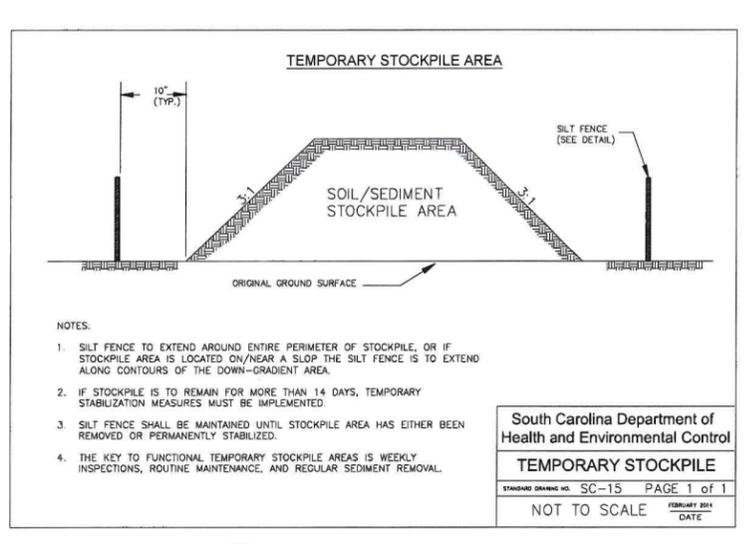
E SEDIMENT TUBE INLET PROTECTION



B EXCAVATED PIT CONCRETE WASHOUT



D TRACKING



F TEMPORARY STOCKPILE

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ADC ENGINEERING

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South Carolina Department of Health and Environmental Control
Type A
SEDIMENT TUBE INLET PROTECTION
STANDARD DRAWING NO. SC-07A PAGE 2 of 2
FEBRUARY 2014 DATE
NOT TO SCALE

South Carolina Department of Health and Environmental Control
TEMPORARY STOCKPILE
STANDARD DRAWING NO. SC-15 PAGE 1 of 1
FEBRUARY 2014 DATE
NOT TO SCALE

811 Know what's below. Call before you dig.

DATE: 04/28/2025
ADC PROJECT #: 24143
DESIGNED: HP
CHECKED: LXB
DRAWN: HP
REVISION:

CIVIL DETAILS
- EROSION CONTROL

C740

NOTES:

1. THE GENERAL CONTRACTOR IS REQUIRED TO, AT A MINIMUM, INITIATE SOIL STABILIZATION MEASURES IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT LIKELY RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. DIVERSION CHANNELS/DITCHES SHALL BE STABILIZED WITHIN 7 DAYS OF INSTALLATION.
2. THE GENERAL CONTRACTOR HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETE SOIL PREPARATION, SEEDING, MULCHING, AND ANY OTHER REQUIRED ACTIVITIES RELATED TO THE PLANTING AND ESTABLISHMENT OF VEGETATION. THE GENERAL CONTRACTOR ALSO HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETELY INSTALL NON-VEGETATED MEASURES, IF UTILIZED.
3. ALL DISTURBED AREAS MUST BE STABILIZED TEMPORARILY WITH THE USE OF FAST-GERMINATING ANNUAL GRASS/GRAIN VARIETIES APPROPRIATE FOR SITE SOIL AND CLIMATE CONDITIONS. MULCH IS REQUIRED FOR ALL SEEDING APPLICATIONS, AND ALL MULCH APPLICATIONS MUST INCLUDE A SUITABLE FORM OF MULCH ANCHORING TO MINIMIZE MOVEMENT OF MULCH BY WIND OR WATER.

SCDHEC TEMPORARY SEEDING - COASTAL													
SPECIES	LBS/AC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
SANDY, DROUGHTY SITES													
BROWNTOP MILLET	40												
RYE, GRAM	58												
WELL DRAINED, CLAYEY/LOAMEY SITES													
BROWNTOP MILLET OR JAPANESE MILLET	40												
RYE, GRAM OR ORTS	75												

SCDHEC PERMANENT SEEDING - COASTAL													
SPECIES	LBS/AC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
SANDY, DROUGHTY SITES													
BROWNTOP MILLET	10												
BAHAGRASS	40												
BROWNTOP MILLET	10												
BAHAGRASS	40												
SERICEA LESPEDEZA	40												
BROWNTOP MILLET	10												
ATLANTIC COASTAL PINE GRASS	15												
BROWNTOP MILLET	10												
SWITCHGRASS (ALABAMA)	PLS												
LITTLE BLUESTEM	20												
SERICEA LESPEDEZA	20												
BROWNTOP MILLET	10												
WEeping LOVEGRASS	5												
WELL DRAINED, CLAYEY/LOAMEY SITES													
BROWNTOP MILLET	10												
BAHAGRASS	40												
RYE, GRAM	10												
BAHAGRASS	40												
CLOVER CRIMSON (ANNUAL)	5												
BROWNTOP MILLET	10												
BAHAGRASS	30												
SERICEA LESPEDEZA	40												
BROWNTOP MILLET	10												
BERNALDA COMMON	10												
SERICEA LESPEDEZA	40												
BROWNTOP MILLET	10												
BERNALDA COMMON	10												
ROBE, LESPEDEZA (ANNUAL)	10												
BROWNTOP MILLET	10												
BAHAGRASS	20												
BERNALDA COMMON	40												
SERICEA LESPEDEZA	40												
BROWNTOP MILLET	10												
MULET/SWITCHGRASS	10												
LITTLE BLUESTEM	5												
INDIANGRASS	5												
	PLS												

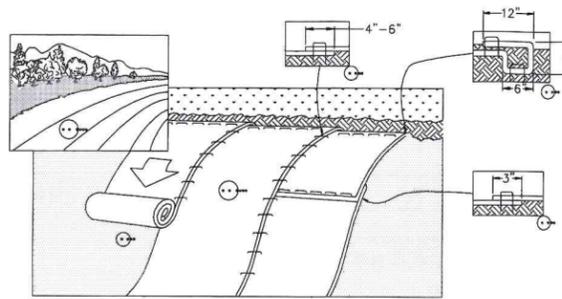
SEEDING PREPARATION:

- A. TILL AREA TO BE SEED TO A DEPTH OF 4".
- B. APPLY 10-10-10 FERTILIZER AT A RATE OF 11.5 POUNDS PER 1,000 SQUARE FEET.
- C. THE FERTILIZER SHALL BE WORKED INTO THE TOP 4 INCHES OF SOIL PRIOR TO SEEDING.

STRAW MULCH:

- A. APPLY STRAW MULCH BY HAND OR MACHINE AT A RATE OF 1.5-2.0 TONS PER ACRE (90 POUNDS PER 1,000 SF) THEN TACKED WITH EMULSIFIED ASPHALT.
4. ALTERNATIVE STABILIZATION MEASURES TO SEEDING, SUCH AS ANCHORED MULCH APPLICATION (WITHOUT SEEDING), MAY BE UTILIZED DURING PERIODS WHEN VEGETATIVE GROWTH IS UNLIKELY (E.G. WINTER MONTHS).
 5. IT IS NOT ACCEPTABLE TO ALLOW BARE SOIL TO REMAIN EXPOSED AT ANY TIME DURING THE YEAR, REGARDLESS OF WEATHER/TEMPERATURE/SITE CONDITIONS.
 6. ALTERNATIVE STABILIZATION MEASURES INCLUDE, BUT ARE NOT LIMITED TO: ANCHORED STRAW/HAY MULCH, WOOD CELLULOSE FIBER MULCH, SPRAY-ON SOIL GLUES/BINDERS, AND ROLLED EROSION CONTROL PRODUCTS.
 7. ALL ROLLED EROSION CONTROL PRODUCTS SHALL HAVE CURRENT QDOR(TM) STATUS ISSUED BY THE EROSION CONTROL TECHNOLOGY COUNCIL (ECTC) PLUS ANY STATE OR AGENCY-SPECIFIC REQUIREMENTS. EVIDENCE OF QDOR(TM) APPROVAL SHALL ACCOMPANY THE PRODUCT SHIPPED TO THE JOBSITE FOR READY IDENTIFICATION BY THE CONTRACTOR OR AGENCY INSPECTOR.
 8. ROLLED EROSION CONTROL PRODUCTS (NETS, BLANKETS, TURF REINFORCED MATES) AND VEGETATED AREAS NOT MEETING REQUIRED VEGETATIVE DENSITIES FOR FINAL STABILIZATION MUST BE INSPECTED DAILY. RILLING, RUTTING AND OTHER SIGNS OF EROSION INDICATE THE SPECIFIED EROSION CONTROL DEVICE IS NOT FUNCTIONING OR INSTALLED PROPERLY AND/OR ADDITIONAL EROSION CONTROL DEVICES ARE WARRANTED.

TS PS (A) **TEMPORARY & PERMANENT SEEDING NOTES**



INSTALLATION NOTES:

1. BLANKET SHALL BE NORTH AMERICAN GREEN, ERONET SC-250 OR APPROVED EQUAL. INSTALL IAW MANUFACTURER'S RECOMMENDATIONS.
2. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
3. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH AS SHOWN IN DETAIL 2. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
4. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURER'S RECOMMENDATION.
5. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
6. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
7. PLACE STAPLES/STAKES PER MANUFACTURER'S RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.
8. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
9. FOLLOW EROSION CONTROL TECHNOLOGY COUNCIL SPECIFICATION FOR PRODUCT SELECTION.

MAINTENANCE NOTES:

1. INSPECT, CLEAN AND PROPERLY MAINTAIN THE BLANKET DAILY UNTIL GROUND COVER IS ESTABLISHED.
2. EROSION MUST NOT OCCUR BENEATH THE BLANKET.
3. REPAIR ALL BLANKETS THAT ARE DAMAGED OR THAT IS NOT IN CLOSE CONTACT WITH THE GROUND.
4. REMOVE TRASH & DEBRIS FROM BLANKETS DAILY.

ECB (B) **EROSION CONTROL BLANKET**
NOT TO SCALE

Aldi, Inc.
Jefferson, GA

ALDI STORE #179
LADY'S ISLAND

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SOUTH CAROLINA



ADC
ENGINEERING

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864-751-9121
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DATE: 04/28/2025

ADC PROJECT #: 24143

DESIGNED: HP

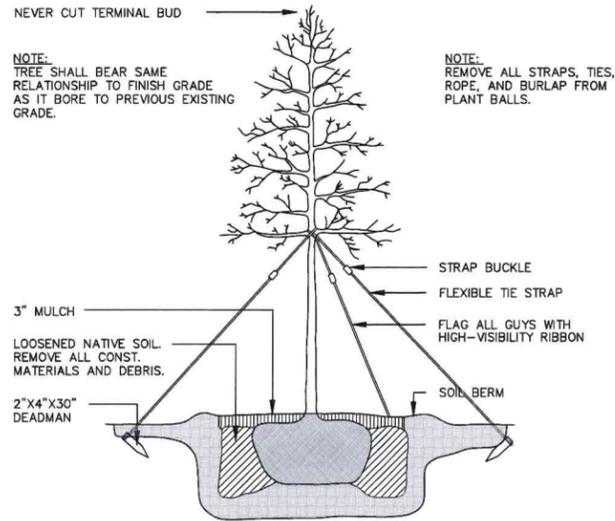
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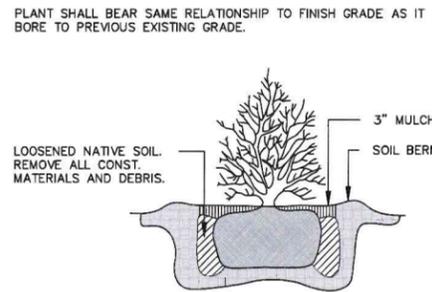
REVISION:

CIVIL DETAILS
- EROSION CONTROL

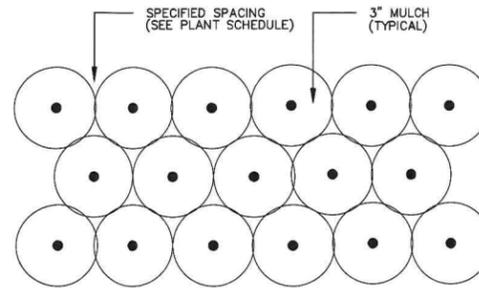
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DETAIL - TREE PLANTING
NO SCALE



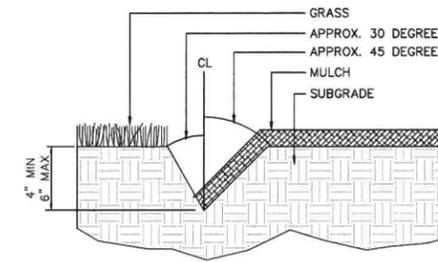
DETAIL - SHRUB PLANTING
NO SCALE



DETAIL - GROUND COVER PLANTING
NO SCALE

NOTE:

- EXCAVATE TRENCH BY HAND WITH SPADE. ADD EXCESS SOIL TO ADJACENT PLANT BED AFTER PULLING BACK EXISTING MULCH. RAKE SOIL AND SMOOTH BEFORE MULCHING.
- TRENCH EDGING TO BE ADDED AT LEAST 3' AROUND ALL TREES LOCATED IN LAWN AREAS.



DETAIL - TRENCH EDGING
NO SCALE

TREE PROTECTION

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING DAMAGE TO EXISTING TREES LOCATED ALONG ACCESS AND HAUL ROADS, AND ADJACENT TO, OR WITHIN BUILDING CONSTRUCTION SITES AND MATERIAL AND EQUIPMENT STORAGE AREAS. THOSE TREES TO BE SAVED SHALL BE FLAGGED BY THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- B. CONTRACTOR WILL PROVIDE NECESSARY BARRICADES AND FENCING SO AS TO DIVERT AND DIRECT VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM TREES. THE BARRICADES AND FENCING TYPE SHALL BE AS SHOWN ON THE CIVIL CONSTRUCTION DOCUMENTS.
- C. MATERIALS SHALL NOT BE STORED, NOR VEHICLES PARKED WITHIN THE DRIP-LINE OF THE TREES UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT OR OWNER.
- D. VEHICLES AND EQUIPMENT SHALL NOT BE DRIVEN OVER EXPOSED ROOTS AND ROADS SHALL NOT BE LOCATED WITHIN THE DRIP-LINE OF TREES UNLESS APPROVAL IS OBTAINED FROM THE LANDSCAPE ARCHITECT.
- E. ALL TREES INTENDED TO BE SAVED WHICH HAVE BEEN DAMAGED DUE TO CONSTRUCTION PRACTICES, SHALL BE INSPECTED AND TREATED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.
- F. NO CUTTING OR FILLING OF EXISTING GRADE, TRENCHING, OR PRUNING SHALL OCCUR UNLESS SPECIFICALLY DIRECTED BY THE CONSTRUCTION DOCUMENTS, OR THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT AND OWNER.
- G. NO BURNING OF TRASH IS ALLOWED WITHIN 75' OF EXISTING TREES. CARE SHALL BE TAKEN TO PREVENT ANY SMOKE DAMAGE TO TREES.

GENERAL PLANTING NOTES

- INSTALL TRENCH EDGING IN ALL AREAS WHERE PLANT BEDS ARE ADJACENT TO LAWN AREAS AS WELL AS ALL TREES LOCATED IN LAWN AREAS.
- ALL PLANT BEDS SHALL BE MULCHED WITH A MINIMUM OF 4" DOUBLE-SHREDDED HARDWOOD MULCH. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM ALL PLANT BEDS AND NEW CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN ALL GRASSSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS, UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE & THROUGHOUT THE MAINTENANCE CONTRACT PERIOD IF APPLICABLE.
- ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION SHALL BE REPAIRED, GRADED, & GRASSSED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL RE-SPREAD EXISTING TOPSOIL STOCKPILED ON SITE, AND SHALL PROVIDE SUPPLEMENTAL TOPSOIL AS NEEDED. REFER TO SPECIFICATIONS FOR MORE DETAILED INFORMATION.
- ALL PLANT BEDS SHALL RECEIVE A WEED INHIBITOR ("PREEN" OR EQUAL).
- QUANTITIES LISTED ARE AN ESTIMATE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR MUST VERIFY COUNT FROM PLAN. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. COMPENSATION BY OWNER SHALL NOT BE IN ORDER FOR MISCALCULATIONS. SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL OF LANDSCAPE ARCHITECT AND OWNER.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND ACCEPTANCE BY OWNER.
- PLANTING SHALL BE DONE ACCORDING TO SPECIFICATIONS DEVELOPED FROM THE MOST RECENT EDITION OF THE "BEST MANAGEMENT PRACTICES FOR TREE PLANTING"-PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (WWW.ISA-ARBOR.COM). (ORD. 055-12HR; 10-16-12)
- THE HEIGHT-TO-TRUNK CALIPER RATIO, ROOT BALL SIZES, OR SPREAD RELATIONSHIP FOR ANY TREE TO BE PLANTED SHALL MEET THE CURRENT ASSOCIATION OF NURSERYMEN.

TREE MAINTENANCE

- FERTILIZATION**
FERTILIZE THE DRIP-LINE OF ALL TREES WITH A BALANCED FERTILIZER AT THE RATE OF 2 POUNDS OF NITROGEN PER 1000 SQUARE FEET. FERTILIZATION SHALL BE BY THE "DEEP ROOT FEEDING" METHOD AND SHALL BE APPLIED DURING SPRING AND FALL BY A CERTIFIED ARBORIST.
- INSECT AND DISEASE CONTROL**
ALL TREES SHALL BE INSPECTED ON A SEMI-ANNUAL BASIS FOR INSECT AND DISEASE INFESTATION. ANY NOTED INFESTATIONS SHALL BE TREATED WITH AN APPROVED PESTICIDE AS PER MANUFACTURER RECOMMENDATIONS.
- PRUNING**
TREES SHALL BE INSPECTED YEARLY BY A CERTIFIED ARBORIST AND PROPERLY PRUNED AS REQUIRED. ALL WEAK GROWTH SHALL BE REMOVED. ALL BRANCHES OVER 1" DIAMETER SHALL BE REMOVED BY THE DOUBLE CUT METHOD AND TREATED AS NECESSARY TO PREVENT INFECTION. NEVER TOP OR SHEAR EXISTING TREES.
- SOIL**
THE EXISTING SOIL SHALL BE TESTED AT REGULAR INTERVALS BY A QUALIFIED SOILS LABORATORY. SOIL AMENDMENTS SHALL BE ADDED AS DIRECTED BY THE LABORATORY TO ENSURE THE PROPER SOIL PH.

IRRIGATION NOTES

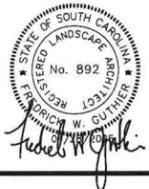
- THE CONTRACTOR IS ADVISED TO VISIT THE SITE AND VERIFY FIELD CONDITIONS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES. THE CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS REQUIRED FOR THE PERFORMANCE OF HIS WORK.
- ALL NEW PLANTED AND DISTURBED AREAS SHALL BE IRRIGATED BY AN AUTOMATIC LANDSCAPE IRRIGATION SYSTEM. SYSTEM SHALL BE DESIGNED BY IRRIGATION CONTRACTOR. SHOP DRAWINGS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL.
- NEW LANDSCAPE IRRIGATION SYSTEM SHALL BE INSTALLED. IRRIGATION CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE GENERAL CONTRACTOR.
- PIPE SLEEVES SHALL BE INSTALLED BY IRRIGATION CONTRACTOR AS NECESSARY. COORDINATE WITH GENERAL CONTRACTOR.
- IRRIGATION TIME CLOCK LOCATION SHALL BE COORDINATED WITH ARCHITECT AND LANDSCAPE ARCHITECT.
- ALL CATEGORIES OF EQUIPMENT (E.G. - VALVES, HEADS, ETC.) SHALL BE OF A SINGLE MANUFACTURER.
- PROVIDE MINI-CLICK (OR APPROVED EQUAL) RAIN SENSOR AND INTEGRATE WITH CONTROLLER.
- EXISTING ECOLOGY AND AESTHETICS WILL OFTEN CAUSE ADJUSTMENT OF THESE PLANS TO FIT SITE STAKE OUT BY CONTRACTOR AND FIELD ADJUSTMENT BY LANDSCAPE ARCHITECT ARE ABSOLUTELY NECESSARY.
- IRRIGATION SYSTEM SHALL BE MAINTAINED AND GUARANTEED BY CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND ACCEPTANCE BY OWNER.
- THE LOCATION OF ALL ABOVE GROUND AND BELOW GROUND UTILITIES IS THE RESPONSIBILITY OF IRRIGATION CONTRACTOR. DAMAGE TO UTILITIES AND PERSONAL INJURY AS A RESULT OF THE FAILURE TO DETERMINE AND/OR RESPECT UTILITY LOCATIONS IS THE SOLE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. UTILITY LOCATIONS ARE NOT SHOWN ON THESE PLANS.
- CONTRACTOR SHALL PROVIDE 3 COPIES OF SYSTEM AS BUILTS TO OWNER UPON COMPLETION.

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	CALIPER	QTY
OVERSTORY TEES						
+	UP	QUERCUS LYRATA 'HIGHBEAM' / OVERCUP OAK	B&B	2.5" CAL. MIN.	SINGLE STEM	10
.	QN	QUERCUS NUTTALLI / NUTTALL OAK	B&B	2.5" CAL. MIN.	SINGLE STEM	12
.	QP	QUERCUS PHELLOS / WILLOW OAK	B&B	2.5" CAL. MIN.	SINGLE STEM	10
+	QV	QUERCUS VIRGINIANA 'HIGH RISE' / HIGH RISE LIVE OAK	B&B	2.5" CAL. MIN.	SINGLE STEM	5
UNDERSTORY TREES						
.	CV	CHIONANTHUS VIRGINICUS / WHITE FRINGE TREE	CONTAINER	8' HT. MIN.	2" CAL. MIN.	7
.	IC	ILEX CASSINE / DAHOON HOLLY	CONTAINER	8' HT. MIN.	2" CAL. MIN.	10
+	LI	LAGERSTROEMIA INDICA / CRAPE MYRTLE	CONTAINER	8' HT. MIN.	2" CAL. MIN.	12
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPACING	QTY
SHRUBS						
.	ICB	ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY	CONTAINER	24" HT. MIN.	⊙ 5' O.C.	33
.	IPS	ILLICIAM PARVIFLORUM 'FLORIDA SUNSHINE' / SUNSHINE ANISE	CONTAINER	24" HT. MIN.	⊙ 5' O.C.	11
.	LJ	LIGUSTRUM JAPONICUM / WAXLEAF LIGUSTRUM	CONTAINER	30" HT. MIN.	⊙ 6' O.C.	23
.	LCR	LOROPETALUM CHINENSE 'CRIMSON FIRE' / CRIMSON FIRE LOROPETALUM	CONTAINER	18" HT. MIN.	⊙ 4' O.C.	40
.	PT	PITOSPORUM TOBIRA 'MOJO' / MOJO-DWARF PITOSPORUM	CONTAINER	18" HT. MIN.	⊙ 3' O.C.	15
.	PM	PODOCARPUS MACROPHYLLUS VAR. MAKI / PODOCARPUS	CONTAINER	24" HT. MIN.	⊙ 5' O.C.	20
.	RI	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	CONTAINER	18" HT. MIN.	⊙ 4' O.C.	24
.	VS	VIBURNUM SUSPENSUM / SUSPENSUM VIBURNUM	CONTAINER	24" HT. MIN.	⊙ 5' O.C.	32
PALM						
.	SABM	SABAL MINOR / DWARF PALMETTO ACCENT SHRUBS	CONTAINER	18" HT. MIN.	⊙ 4' O.C.	28
.	SER	SERENOA REPENS / SILVER SAW PALMETTO ACCENT SHRUBS	CONTAINER	18" HT. MIN.	⊙ 3' O.C.	27
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONTAINER	SIZE	SPACING	QTY
GROUND COVERS						
	SEED	CYNODON DACTYLON / BERMUDA GRASS SEED	SEED	HYDRO-SEED		34,207 SF
	SOD	CYNODON DACTYLON / BERMUDA GRASS APPROXIMATE AREA ONLY. LIMITS OF DISTURBANCE MAY CHANGE.	SOD	SOD		5,561 SF

LANDSCAPE PLANT MATERIAL SHALL BE #1 QUALITY, AND MEET OR EXCEED ANLA STANDARDS. LANDSCAPE ARCHITECT SHALL REVIEW ALL PLANT MATERIAL PRIOR TO INSTALLATION. CONTACT LANDSCAPE ARCHITECT 48 HOURS PRIOR TO DELIVERY TO SCHEDULE PLANT REVIEW ON SITE. LANDSCAPE ARCHITECT / OWNER RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL DEEMED UNFIT AND DOES NOT MEET THE HIGHEST STANDARDS.

Aldi, Inc.
Jefferson, GA
ALDI STORE #179
LADY'S ISLAND
BEAUFORT
SOUTH CAROLINA



ADC ENGINEERING
25 WOODS LAKE ROAD, SUITE 210
GREENVILLE, SC 29607
864-751-9121
ADCENGINEERING.COM



DATE: 04/28/2025
ADC PROJECT #: 24143
DESIGNED: NCM
CHECKED: FWG
DRAWN: NCM
REVISION:

LANDSCAPE PLANTING DETAILS, SCHEDULE & NOTES

L300

240/260 SEA ISLAND PARKWAY

**Staff review comments for Overall
Site Plan (Larger Common Plan) &
New ALDI Store Location
(Airport Junction, Lady's Island)**

Mr. John Badgett (Fire Marshal)

Staff review comments

Fire Comments for Aldi Site

1. Fire sprinkler plans must be reviewed and approved by the SC Fire Marshal's Office prior to installation.
2. A Fire Sprinkler System Specification Sheet (FSSSS) and Certificate of Compliance (COC) must be provided for the fire sprinkler drawings. IFC 901.2
3. Site access/apparatus roads shall be established prior to vertical construction. Fire access roads shall be designed and maintained to support the imposed loads of fire apparatus and be surfaced to provide all weather driving conditions in accordance with IFC Sec. 503
4. Provide an approved water supply for fire protection prior to bringing combustible materials on site. IFC 3313
5. An additional fire hydrant is required for fire protection in the vicinity of the southwest entrance. IFC 507.5.1
6. Buildings equipped with a standpipe or fire sprinkler system installed shall have a fire hydrant within 100 feet of FDC. SCIFC 2021 507.5.1.1
7. All control valves including PIV and backflow preventer must be electrically supervised IFC 903.4
8. This office will witness the underground pressure test of the fire protection main from PIV into building and FDC line. All joints will be exposed for testing. NFPA 13 10.10.2.2.1
9. This office will witness the underground flushing of the fire protection main from PIV into building and FDC line. NFPA 13 10.10.2.1.1
10. A copy of the NFPA Underground Test Certificate must be provided to this office after installation and testing. NFPA 13 10.10.1
11. This office will witness all fire protection system acceptance testing IFC 901.5
12. Knox Box is required; the location shall be approved by this office. IFC 506.1

Mr. Bruce Skipper (Building Dept.)

Staff review comments

Project: Aldi/Airport Junction Comments

Date: 6/27/2025

Good morning, Christopher,

The only comments I have about the Aldi building site at the Airport Junction are regarding the amount of fill material being proposed for the site. It appears that the existing grades are between 6'-8' feet. The Aldi building is scheduled to have a Finished Floor Elevation of 13.1' (1988 Datum). This would require approximately 5' - 7' of fill material being placed on site. This path forward would not follow the City of Beaufort's Flood Damage Prevention Ordinance. A copy of the ordinance that pertains to fill has been attached. I am not aware of any measures have been demonstrated to comply with this section of the ordinance.

(11)

Fill. An applicant shall demonstrate that other methods of elevation were considered and that fill is the only alternative to raising the building to meet the residential and nonresidential construction requirements of [section 5-4032\(1\)](#) or [5-4032\(2\)](#) to the most restrictive of the minimum design elevation of thirteen (13) feet or base flood elevation plus 1' of freeboard and that the amount of fill used will not affect the flood storage capacity or adversely affect adjacent properties. In the special flood hazard area, as defined in [section 5-4032](#), the maximum amount of fill shall not exceed three (3) feet without written approval by the administrator. The following provisions shall apply in the special flood hazard zone:

(a)

Fill may not be placed in the floodway unless it is in accordance with [section 5-4032\(5\)](#) and (11).

(b)

Fill may not be placed in tidal or nontidal wetlands without the required state and federal permits.

(c)

Fill must consist of soil and rock materials only. Dredged material may be used as fill only upon certification of suitability by a registered professional geotechnical engineer. Landfills, rubble fills, dumps, and sanitary fills are not permitted in the floodplain.

(d)

Fill used to support structures must comply with ASTM Standard D-698, and its suitability to support structures certified by a registered, professional engineer.

(e)

Fill slopes shall be no greater than two (2) horizontal to one (1) vertical. Flatter slopes may be required where velocities may result in erosion.

(f)

The use of fill shall not increase flooding or cause drainage problems on neighboring properties.

(g)

Fill may not be used for structural support in the coastal high hazard areas.

(h)

Will meet the requirements of FEMA Technical Bulletin 10-01, ensuring that structures build on fill in or near special flood hazard areas are reasonably safe from flooding.

(i)

All off-site fill shall be tested for Total Petroleum Hydrocarbons (TPH), Benzene, Toluene, Ethyl Benzene, and Xylene (BTEX) and full Toxicity Characteristic Leaching Procedure (TCLP) including ignitability, corrosivity and reactivity. Fill shall contain a maximum of 100 parts per million (ppm) of total hydrocarbons (TPH) and a maximum of 10 ppm of the sum of Benzene, Toluene, Ethyl Benzene and Xylene and shall pass the TCPL test. Determine TPH concentrations by using EPA 600/4-79/020 method 418.1. Determine BTEX concentrations by using EPA SW-846. 3-3 Method 5030/8020. Perform TCLP in accordance with TCLP from a composite sample of material from the borrow site, with at least one (1) test from each borrow site. Within 24 hours of conclusion of physical tests, submit three (3) copies of the test results, including calibration curves and results of calibration tests and approved by our storm water staff before being placed on site within the City of Beaufort's jurisdiction. A geo tech firm could also provide the testing and third party testing as an alternate for the city's storm water staff.

Community Development Dept.

Staff review comments

Planning Review Comments – New ALDI Store

at 260 Sea Island Parkway, Beaufort (Lady's Island), SC 29907

General information: PIN: R123 018 000 0215 0000; Square footage of new building: 19,432; Parking spaces provided on-site: 100; PUD setbacks from existing wetlands: 20' from freshwater; 30' from saltwater; Perimeter setback: 15'; front buffer setback: 15'; side/rear buffer setback: 10'; Flood Zone: AE at 11' elevation

- The current lot and addressing at 260 Sea Island Pkwy. will incorporate parcels “C” thru “F” within overall Airport Junction Commercial Development Project → **will need to be formally subdivided**
- Since the BFE in Beaufort lies at 13' and the site elevation is between 6-8', the new ALDI store will need to be elevated at least 7' (**with a FFE of 13.1' shown on the submitted plans**) → **exceeds max. amount of permissible fill (= max. 3 ft.) as per Beaufort Flood Damage Prevention Ordinance** (also see Building Dept. comments by Bruce Skipper)
- **Landscaping Plan for ALDI Store site falls in line with overall LCP Landscaping Plan for overall Airport Junction HC outparcel sites → would have been nice to incorporate more of the existing Specimen/Landmark trees, esp. Live Oaks & Sabal Palmettos into the Landscaping Plan**

Mr. Jason Hetrick (McCormick Taylor)

**Stormwater, Erosion and Sediment
Control review comments**

Stormwater and Erosion and Sediment Control Comments

Airport Junction Site Infrastructure Package

Received: June 16, 2025

Comments Submitted: 6/30/2025

1. The water quality computations could not be located within the report. Please provide those for review.
2. It is noted that Basins A, D, and E will have on site water quality BMPs when they are developed and will not rely on the proposed BMPS of the general site plan, specifically, the proposed detention pond in Basin C1.
3. It appears that Post Basin E drains into Post Basin D via the proposed storm drain system. Please confirm this, if not, the existing ditch and culvert along Lost Island Road will need to be verified to have adequate capacity.
4. Provide computations that support the existing drainage ditch that Post Basin E and D discharge into is of adequate size to convey the design storms without impacting the proposed infrastructure or the adjacent private property. To meet the variance request, it must be demonstrated that this channel will be able to adequately convey the increased runoff from these basins.
5. As a result of the proposed fill being placed on the lot, within the FEMA regulated flood zone, please provide a certification of no impact, or a CLOMR/LOMR/LOMA if the fill is determined to impact the flood plain elevations.
6. Given the proposed grading of the stormwater pond, it will have an embankment along three of the four sides of the pond and the marsh areas. Please provide geotechnical information supporting that this berm/embankment will remain stable when retaining water and will not allow seepage through the embankment. Specify the type of fill material to be used in constructing the embankment so that it will retain water and not result in piping or seepage.
7. It appears that the legend for the drainage pipe profiles regarding the HGL is incorrect, the brown line should be the 100-year storm event, the blue, 25-year, and the green, the 10-year event.
8. Reviewing the storm drain design, the HGL computations were based off the crown of pipe. However, the outfall will be submerged, and the permanent pool elevation is at an elevation of 5.62 ft. At minimum, the HGL shall use this elevation as the tailwater condition. Ideally, the corresponding storm event water surface elevation should be utilized as the tailwater condition for the HGL computations as that would be mimic the most post construction environment.
9. The weir profile for the stormwater basin depicts the riprap extending beyond the fill slope. The plan view does not depict the riprap extending this far, please revise the plan view to match the cross section.
10. Please provide the length the riprap should extend beyond the toe of slope
11. Please provide the depth of riprap within the riprap weir.
12. Provide the dimensions and the depth of the riprap outfall protection on the plans.

13. The drainage ditch that will intercept the western portion of the site appears to have a berm at the outflow point and an underdrain. Can this be clarified?
14. Given the steep slope and amount of fill placed along the silt fence along the drainage ditch and the road, please utilize belted silt fence, or a double road of silt fence.

**Ms. Britannee Bishop, Mr. Kevin
Sullivan (Beaufort County Engineering)**

**Transportation related review
comments**

Transportation related comments by County Transportation Engineers Brittane Bishop & Kevin Sullivan:

Hi Chris,

Due to the fiscal constraints to complete all the 2018 Transportation Sales Tax (TST) projects on Lady's Island, staff has made a recommendation to County Council at a workshop on Thursday, June 26 to rescope projects to fit within our current budget. Below is the description of each project and you may listen to the workshop here at approximately 2:44:00. This recommendation has not yet been approved through our formal processes as it will require a Resolution to codify.

Lady's Island Corridor Traffic Improvements:

1. US 21/SC 802 Intersection ("The Heart") - Safety and capacity improvements, including restriping, signal upgrades, and the addition of dual turn lanes in both directions on Sea Island Parkway. Includes resurfacing and median improvements in all four approaches to the intersection.
2. US 21 Widening near Wal-Mart - Approximately 4,000 linear feet of widening to create four travel lanes through the US 21/Airport Frontage Road intersection. Includes turn lane and signal improvements.
3. Lady's Island Middle School Access - New access road to the Lady's Island Middle School connecting to US 21 at a new signalized intersection at Gay Drive. o Removal of the existing Cougar Drive entrance. Construction of a 5-foot sidewalk along Robin Drive from the school to Sam's Point Way.
4. Hazel Farm Road and Gay Drive - Paving of the unpaved section of Hazel Farm Road. Construction of a roundabout at Hazel Farm Road and Gay Drive. Resurfacing of Hazel Farm Road and Gay Drive from SC 802 to US 21.
5. Sunset Boulevard and Miller Drive West - Reduce the speed limit from 35 mph to 30 mph. Realign the intersection of Sunset Boulevard and Miller Drive West for a perpendicular approach. Install a 3-way stop and raised intersection. Add two speed humps on Miller Drive East. Resurface both roads from US 21 to SC 802.
6. Airport Frontage Road – Phase 2 - Complete design, permitting, right-of-way acquisition, and wetland mitigation. Construction will not be undertaken at this time.

Please let me know if you have any further questions about the 2018 TST program.

Thank you,

Brittanee Bishop
Program and Finance Manager
Beaufort County Engineering
(843) 255-2692 Office
(843) 986-4078 Mobile
brittanee.bishop@bcgov.net

Chris,

Comments are as follows:

1. Applicant should be aware of the County's Plan to make improvements on Sea Island Drive from Sams Point Road to Airport Frontage Road - it may not allow the applicant full access to Sea Island Parkway. Brittanee Bishop has all the details for this project; she is cc'd.
2. Applicant should make sure trucks can adequately make all the proposed turns within their lane and/or safely through access points proposed.
3. Applicant should reassess the proposed connection within the curve of Airport Frontage Road; it appears problematic. Have sight distances been reviewed? It doesn't appear that southbound traffic on Airport Frontage would have adequate visibility to make left turns in. Recommend if this connection remains within the curve it should be right in, right out only with concrete medians to limit access. A roundabout might also work here.

KEVIN SULLIVAN, AICP
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**Ms. Maria Short (Meadors
Architecture)**

**Architecture & Design related review
comments**

Architectural Review Comments (Meadors Architecture, Charleston, SC)

Christopher,

Our comments are below. Again, these are only recommendations since they are in a PUD and not required to follow the Beaufort Development Code, but following these recommendations would align them better with the requirements of the Beaufort Code.

1. Staff recommends they add another double door to the vestibule, on the north façade to introduce a pedestrian access on the primary, street-fronting façade.
2. Staff recommends they change the colors of the bollards from ASHTO safety yellow to a more neutral color, in keeping with the Beaufort Code.
3. Staff recommends changing the fiber cement panels to be smooth-finished, instead of a faux wood-grain texture.

There may be requirements associated with a UDO, but we only have a copy of the revised UDO from 2012, and I am not seeing any architectural requirements pertinent to this project. However, I am not very familiar with the UDO or any other previous versions of it.

Best,

Maria Short

Meadors Architecture

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1261 RIBAUT ROAD

**Georgia Skin & Care –
Pre-Con Meeting**