



## **MEETING AGENDA**

The City of Beaufort

### **PLANNING COMMISSION**

1911 Boundary Street, Beaufort, SC 29902

Monday, April 21, 2025

City Hall, Council Chambers, 2<sup>nd</sup> Floor – 1911 Boundary Street, Beaufort, SC

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/82946211656?pwd=ptUAIxREgtKkhhb5Q99BbvuczR8i6WP.1>

Password: 239079 Meeting ID: 829 4621 1656 Call in Phone #: 1+929 205 6099

**STATEMENT OF MEDIA NOTIFICATION:** "In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place and agenda of this meeting."

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- I. Call to Order
- II. Pledge of Allegiance
- III. Review of Commission Meeting Minutes:
  - A. January 7, 2025 Worksession Minutes
  - B. January 13, 2025 Worksession Minutes
  - C. February 4, 2025 Worksession Minutes
  - D. March 17, 2025 Regular Meeting Minutes
  - E. March 24, 2025 Worksession Minutes
  - F. April 3, 2025 Worksession Minutes
- IV. Questions Relating to Military Operations
- V. Old Business:
  - A. **1026 Ribaut Road.** The Applicant, Larry Paragano, Nova Management, LLC, is requesting preliminary approval for a new 72 unit townhome and multi-family development located at 1026 Ribaut Road, identified as R120 005 000 0236 0000, R120 005 000 0266 0000, and R120 005 000 0278 0000. The properties are zoned T5-Urban Corridor District (T5-UC).

**VI. New Business:**

- A. Annexation.** The Applicant, Willie Mack Stansell, III, is requesting annexation of approximately 1.72 acres located at 3659 Trask Parkway into the jurisdiction of the City of Beaufort. The property is further identified as R100 026 000 0151 0000.
- B. Rezoning.** The Applicant, Willie Mack Stansell, III, is requesting rezoning of approximately 1.72 acres located at 3659 Trask Parkway to T5-Urban Corridor District/Regional Mixed-Use District (T5-UC)/(RMX) - City of Beaufort Zoning from Neighborhood Mixed-Use (C3NMU) - Beaufort County Zoning. The property is further identified as R100 026 000 0151 0000.
- C. Rezoning.** The Applicant, Beaufort County School District, is requesting rezoning of approximately 41.3 acres located at 30 Cougar Drive to Institutional & Campus District (IC) from Suburban District (T3-S). The property is further identified as R123 015 000 0110 0000.
- D. Pine Court.** The Applicant, Tarr Group, LLC, is requesting sketch plan approval for a 20 lot residential subdivision for modular homes located off Ribaut Road and Bowling Lane. The property is further identified as R120 007 000 0016 0000. The property is zoned T4-Neighborhood District (T4-N).

**VII. Discussion:**

- A. Worksession Meeting Date**

**VIII. Adjournment**

**Note:** If you have special needs due to a physical challenge, please call Julie Bachety at (843) 525-7011.



# Planning Commission

## Work Session Minutes – January 7, 2025

### **CALL TO ORDER**

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A work session of the Planning Commission was called to order by Chairman, Benjie Morillo and was held in-person on January 7, 2025, at 1:00 PM. An audio recording of the meeting was commenced.

### **ATTENDEES**

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All members were in attendance.

Staff in attendance: Curt Freese, Community Development Department Director, and Christopher Klement City Planner, Nicolas Navia City Planner, and Julie Bachety, Administrative Assistant II.

The commission continued its work on the proposed revisions to Chapters 7 and 9 of the City Code.

The work session adjourned at 5 pm.



# Planning Commission

## Work Session Minutes – January 13, 2025

### **CALL TO ORDER**

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A work session of the Planning Commission was called to order by Chairman, Benjie Morillo and was held in-person on January 13, 2025, at 1:00 PM. An audio recording of the meeting was commenced.

### **ATTENDEES**

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All members were in attendance.

The commission continued work on recommended revisions to Chapters 7 and 9 of the City Code.

Mr. Suter indicated he was interested in serving as the PC representative on the City's Waterfront Park Advisory committee.

The work session adjourned at 5 pm.



# Planning Commission

## Work Session Minutes – February 4, 2025

### CALL TO ORDER

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A work session of the Planning Commission was called to order by Chairman, Benjie Morillo and was held in-person in the Planning Conference Room on February 4 2025, at 3:00 PM. An audio recording of the meeting was commenced.

### ATTENDEES

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All members were in attendance except Bill Suter.

Staff in attendance: Curt Freese, Community Development Department Director, and Christopher Klement City Planner, Nicolas Navia City Planner, and Julie Bachety, Administrative Assistant II.

Michael Murphy, Contract Arborist for the City, Barbara Farrior and Jessie White were present and submitted public comments during the session.

The Commission completed its final recommendation re Chapters 7 and 9 and asked that staff be ready with a final draft of those chapters to consider at the next regular commission meeting.

The Commission moved on to consider proposed revisions to Chapter 5 of the City Code. Most of the work done involved the clarification of issues addressed in the Chapter, learning about how the revisions in the draft presented to the Commission came about, and exploration of details and facts pertaining to existing practices and technical issues relevant to Chapter 5. Plans were made to continue work on Chapter 5 at the next scheduled work session,

The work session adjourned at 5 pm.



# Planning Commission

## Meeting Minutes – March 17, 2025

### CALL TO ORDER

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3:30

A meeting of the Planning Commission was called to order by Chairman, Mike Tomy, and was held in-person on March 17, 2025, at 5:00 PM.

### ATTENDEES

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Members in attendance: Mike Tomy, Chairman, Bill Bardenwerper, Vice-Chairman, Benjie Morillo, Clinton Hallman, Kim McFann, Bill Suter, and Paul Trask.

Staff in attendance: Curt Freese, Community Development Director, Christopher Klement, Community Development Planner III.

### MINUTES

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3:52

#### **February 10, 2025 Regular Meeting Minutes**

**Motion:** Mr. Hallman made a motion to approve the minutes of the February 10, 2025 regular meeting. Mr. Morillo seconded the motion. The motion passed unanimously.

#### **March 3, 2025 Work session Minutes**

**Motion:** Mr. Hallman made a motion to approve the minutes of the March 3, 2025 work session. Mr. Morillo seconded the motion. The motion passed unanimously.

Ms. McFann noted there are some more outstanding work session minutes that have been prepared, and they will be on the agenda for approval at the next regular meeting.

*All Planning Commission meeting minutes are recorded and can be found on the City's website at <http://www.cityofbeaufort.org/AgendaCenter>.*

### QUESTIONS RELATING TO MILITARY OPERATIONS

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5:29

None.

- A. **Annexation and Rezoning.** The Applicant, Graham B. Trask, is requesting an annexation and rezoning of approximately 2.8 acres located at 3492 Trask Parkway, Beaufort, South Carolina, from Industrial S-1 (Beaufort County) to T-1 Natural Preserve District (City Zoning). The property is further identified as R100 025 000 012A 0000.

Christopher Klement presented the staff report and presentation.

Commissioner, Paul Trask stated for the record that the applicant is a second cousin of his and that he has no interest in the property, financial or otherwise, so does not feel the need to recuse himself. No objections to Commissioner Trask considering the application were raised.

Public Comment:

None.

Public Comment Closed.

**Motion:** Ms. McFann made a motion that the Petition of Annexation be granted. Mr. Hallman seconded the motion. The motion passed unanimously.

**Motion:** Mr. Suter made a motion to approve the rezoning from Industrial S-1 to T-1 Natural Preserve District. Mr. Hallman seconded the motion. The motion passed unanimously.

- B. **1026 Ribaut Road.** The Applicant, Larry Paragano, Nova Management LLC, is requesting **28:32** preliminary approval for a new 72 unit townhome and multi-family development located at 1026 Ribaut Road, identified as R120 005 000 0236 0000, R120 005 000 0266 000 and R120 005 000 0278 0000. This procedure was undertaken as a result of conditions contained in a previous approval of a previous development plan by the former MPC. The applicant is proposing a different development plan than the plan previously approved, and the applicant’s new plan changes type and locations of proposed development and changes in access to the site.

Commissioner, Paul Trask noted he had a conflict on this item that his son owns a home on Oak Haven Street. Mr. Trask also noted he is a party to the Note and Mortgage on the house. He sought counsel and said he will have to reuse himself. Mr. Trask submitted a letter he prepared for the record and left the meeting.

Curt Freese presented the staff report and presentation.

Public Comment:

**Diane Farrelly, who resides at 2415 Oak Haven Street** commented on her own behalf and on behalf of the Haven Collective which is the neighborhoods on Oak Haven Street, Pine Haven Street, and other interested neighbors in the area who have followed proposed developments on the property since 2018. She read prepared remarks regarding the history of proposed development since 2018 when it was first introduced by the former owner, Sam Levin. Mr. Levin requested a rezoning of T4-N and T-3

properties to T5-UC. She referred to the Sketch Plan that was submitted to the Metropolitan Planning Commission (MPC) which was approved by the MPC with a number of conditions: One was the recommendation to not cut Oak Haven Street through to Ribaut Road and the other was that the developer was to work with the neighborhood in the design process. She cited Article 3 Administration Section 5-4020 and Section 5-4023. She is concerned with more traffic and the impact this would have on the Live Oak trees. She referred to the Traffic Impact Studies of 2022 and 2024. She is also concerned with environmental and wildlife.

**Patience Russell, who resides at 2417 Oak Haven Street,** complimented Ms. Farrelly on her presentation. She explained what it is like to live on Oak Haven Street. It is a very narrow street, and residents have to work around going in and out. She described it as a really sweet conclave. She feels the whole area would be better served if Oak Haven Street was not extended but was made a cut through for pedestrian traffic only and the Spanish Moss Trail could be accessible to the development's residents in that way. She recommended the Commissioners drive down the street to see what she was talking about.

**Marilyn Harcharik, who resides at 2416 Oak Haven Street,** said she is the second house on the right when you turn onto own Oak Haven Street. The first three houses on the right are new construction. The houses that went up in 1952 have very large lots and the houses are setback from the road very well. The lots that the three new houses are on used to be one lot and placed very far up to the road and very narrow. She has a detached garage but can't get there with her car. Most of her front yard is in the right-of-way. She is concerned with the number of units and is afraid that the numbers of cars coming down Oak Haven Street would be too much. She stated the density needs to be lowered significantly and suggested that the housing should not be too tall or too large and especially near the buffers. She invited the Commissioners to drive down here street and see how close existing housing is located.

**Barbara Bausch, who resides at 2403 Pine Haven Street,** said coming to this meeting tonight at 4:45 pm, she was the ninth car at the corner of Allison and Ribaut and at least one other car was behind her. This traffic makes it difficult for access to the parking lot on the SW corner of that intersection because cars are backed up almost to Myrtle Avenue. She referred to the Tree Listing and is concerned that 63 trees are being removed, and only 10 trees are being saved; she stated that she does not consider this tree preservation. New small trees will take forever to grow and will not provide the privacy that exists now.

**Samantha Patel, who resides at 2407 Pine Haven Street,** said she lives to the south side of the proposed plan. Her main concern is that this will be in her backyard. She requests that it not be higher than 2-stories because everyone will be looking down at our home there will be no privacy. She referred to the 3-story apartments that were built by the Dollar General and there is absolutely zero privacy.

**Kerry Walsh, who resides at 2411 Allison Road,** said she is on the other side of the road where the development is proposed. She said the area gets a lot of emergency traffic and is direct route for all emergency vehicles and this needs to be considered. She asked where the water drainage will be discussed because her house is 15 feet up from the marsh.

**Jessie White, who is with the Coastal Conservation League and resides at 308 Battery Creek Road,** clarified that in her previously submitted written remarks she had not checked the Code's definitions

and that some of her calculations re tree may be off. She also stated she had been under the impression the units would be freestanding rather than attached, which may change some of those calculations. She urged the applicant to consider individual stand-alone row homes instead of big block style row homes for the lots. She encouraged the applicant to utilize more of the green infrastructure alternatives. She stated a right in and right onto Ribaut Road access point would be beneficial. She recommended a speed bump or other physical traffic calmer or barrier on Oak Haven Street.. She recommended limiting the height on the lots that are closest to the neighboring individual homes and setting a cap on the overall height for the whole site.

**Joe Ciccone, who resides at 2411 Oak Haven Street,** said he is the last house on the block. He stated he feels we are not going to please everyone, and something needs to happen on this property. It currently looks terrible. Residents purchased their houses and were looking at an already existing trailer park. He loved it when the daycare was open because it brought life to that area even though there was traffic all day. He loves the proposed plan, even if it will need to be tweaked, etc., but stated we need to get something done.

**Erich Hartmann, who resides at 328 Cottage Farm Drive,** said he's lived here for three years and moved from New York because he likes it here. He stated density is the main issue as well as traffic. People are getting stuck on Ribaut Road going left and right all the time. If a right turn lane is done on Allison, it will have to go all the way back to Myrtle. He referred to the apartments that were just put up on Robert Smalls Parkway as providing ample workforce housing in his opinion. He stated the plans for this development needs to be slimmed down. Single-family homes would be best.

Public comment was closed.

**Motion:** Mr. Bardenwerper made a motion to continue this public hearing to a date and prior to should the applicant submitting to staff a revised sketch plan with the following details to be presented and discussed at the continuation hearing:

1. Updated TIA, looking at nearby intersections with the generation and distribution numbers and with the levels of service including the seconds of delay;
2. Building mass and concept design of the townhomes;
3. Building setbacks and any limitation that the applicant would propose on building heights;
4. Plans if any for screening of property perimeters;
5. Topographical Overlay;
6. Stormwater arrows; and
7. Fire Marshall letter;

Mr. Hallman seconded the motion.

Ms. McFann asked Mr. Bardenwerper to amend his motion to ask the applicant to consider adjustments to the overall density (i.e. # of lots) and to reconsider the issue of access on Ribaut Road.

Mr. Bardenwerper accepted the amendments and amended his motion to include:

1. Application *consider* adjustments to the overall density; and
2. Applicant to *reconsider* the issue of access on Ribaut Road.

Mr. Hallman seconded the amended motion. The motion passed unanimously.

Larry Paragano with Nova Management LLC spoke and made some clarifications:

- He had not previously been aware of know about the Haven Collective.
- Sam Levine does not own the property he does.
- Proposed development on the property originally contemplated a 5-story apartment building, so the density he is proposing is already slimmed down
- Previously proposed and approved also were a parking garage, office/retail and a new daycare on the building up on Allison Road.
- His proposed development has now been scaled back tremendously. It was originally proposed with 76 townhouses, a fourplex and three duplexes.

Mr. Paragano doesn't believe a new TIA is going to yield anything different now than it did before. This is dramatically reduced from a 50,000 foot office building, a 10,000 daycare, and 42 townhouses or multi-family dwellings. Mr. Paragano said there are two problems he's seeing today: First, the City's zoning provides for a 5-story development, but he's not putting up a 5 of 4 story building. He stated he has not yet hired an architect, nor will there be one at the next meeting due to expense; he will answer all the Commissioners' questions. Two, there is a significant elevational challenge. He said Mr. Levin told him that the City and the neighborhood are not on the same page with access to Ribaut Road. Mr. Paragano said the City came to him a few weeks ago and told him to close off Ribaut Road. It was very difficult, but he agreed to it. Mr. Paragano said at this point we need to move forward and get the engineering done and architecture drawings done.

## OLD BUSINESS

2:49:50

**Beaufort Development Code Changes:** Amendments to the Landscaping, Parking, and Light Requirements of Section 5 of the Beaufort Development Code.

This will be continued to the worksession scheduled for Monday, March 24, at 1:00 pm. Ms. McFann stated the PC appreciates getting any citizen comments in writing well in advance of the session. Citizens are also welcome to come in-person and make a live public comment.

## DISCUSSION

2:51:11

### A. Joint Meeting between HDRB and the Planning Commission

Mr. Freese said it was brought up at the Strategic Plan Session that the Planning Commission (PC) and the Historic District Review Board (HDRB) should meet to go over the Chapter 9 proposed changes to the Code that the PC finished work on last year that City Council has not yet acted upon. Mr. Freese said the HDRB members are able to attend the PC's next regular meeting on April 21. The Commissioners unanimously requested something in writing from the HDRB to facilitate discussion at the meeting. Mr. Freese said there was concern from City Council that the HDRB was not part of the process. Commission members stated that HDRB interests were represented, and comments were considered at previous work sessions on Chapter 9, and that the proposed changes were previously submitted to the HDRB without response. Mr. Freese said he will contact the HDRB Chairman to set

up something with him and his Vice-Chairman and the PC's Chairman and Vice-Chairman in the hope of them being able to make a plan for the orderly conduct of the Joint Meeting .

## **ADJOURNMENT**

**2:53:30**

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**Motion:** Ms. McFann made a motion for adjournment at 6:36 pm seconded by Mr. Hallman. The motion passed unanimously. The meeting adjourned at 7:57 pm.

DRAFT



# RECUSAL STATEMENT

**Member Name:** Paul Trask

**Meeting Date:** 03/17/25

**Agenda Item:** Section V Number: B

**Topic:** 1026 Ribaut Road

*The Ethics Act, SC Code §8-13-700, provides that no public official/board member may knowingly use his office to obtain an economic interest for himself, a family member of his immediate family, an individual with whom he is associated, or a business with which he is associated. No public official/board member may make, participate in making, or influence a governmental decision in which he or any such person or business has an economic interest. Failure to recuse oneself from an issue in which there is or may be conflict of interest is the sole responsibility of the council member/board member. (1991 Op. Atty. Gen. No. 91-37.) A written statement describing the matter requiring action and the nature of the potential conflict of interest is required.*

**Justification to Recuse:**

         **Professionally employed by or under contract with principal**

X **Owns or has vested interest in principal or property**

         **Other:** \_\_\_\_\_

**Date:** 03/17/25

  
**Member Signature**

L. Paul Trask, Jr.  
608 Bladen Street  
Beaufort, SC 29902  
843-694-7122

Monday, March 17, 2025

Mr. Mike Tomy, Chairman – hand delivery

Re: Planning Commission meeting 03/17/2025 agenda item V.B. 1026 Ribaut Road

Dear Mike,

With respect to the 1026 Ribaut Road application and out of an abundance of caution, I must recuse myself from participating in tonight's meeting.

The reason is because my son, Stuart L. Trask owns a house at 2414 Oak Haven Street which is very close to the project and because I am personally a party to the existing note and mortgage on that property.

Pursuant to the statute, I am delivering this written notice for the record and I will leave the chamber when you open the matter.

Sincerely,

A handwritten signature in black ink, appearing to read "L. Paul Trask, Jr.", with a long horizontal line extending to the right.

L. Paul Trask, Jr.



# Planning Commission

## Work Session Minutes – March 24, 2025

### CALL TO ORDER

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A work session of the Planning Commission was called to order by Vice Chairman Bill Bardenwerper and was held in-person in the Planning Conference Room on March 24, 2025, at 1:00 PM. An audio recording of the meeting was commenced as was a Zoom video conference.

### ATTENDEES

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All members were in attendance, but Mr. Tomy's arrival was slightly delayed until 1:20 pm.

Staff in attendance: Curt Freese, Community Development Department Director, and Christopher Klement, Planner III, Nicolas Navia, Planner I, and Julie Bachety, Administrative Assistant II.

Michael Murphy, City Arborist, Jessie White of the Coastal Conservation League and Diane Farrelly were present and submitted public comments during the session.

The Commission continued work on Chapter 5 proposed changes and "Parking Lot Issues", i.e. issues deferred from the last work session, were discussed including definitions of "clear cutting" and appropriate penalty issues. The commission discussed and Staff, Mr. Murphy and Mr. Bardenwerper offered to redraft several sections for the next work session.

Staff advised that the proposed changes already processed by the PC have been in the hands of the City Attorney for review since February, prior to submission to the City Council. Discussion was held re the status of additional input from the HRB re chapters already completed by the PC, and how to efficiently gather and process that prior to submission to the City Council. It was agreed that Staff would facilitate a meeting between the chairpersons of the PC and the HRB so that the chairpersons could discuss issues and logistics and that this would take place on 4/9/25 at 1 p.m..

The next work session was scheduled for 2 – 5 p.m. 4/3/25.

The next regular meeting will occur April 24, 2025 at 5 p.m.

The work session adjourned at 5 pm.



# Planning Commission

## Work Session Minutes – April 3, 2025

### CALL TO ORDER

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A work session of the Planning Commission was called to order by Chairman Mike Tomy and was held in-person in the Planning Conference Room on April 3, 2025, at 1:00 PM. A scheduling change occurred prior to the meeting changing the start time from 2 PM to 1 PM. An audio recording of the meeting was commenced as was a Zoom video conference.

### ATTENDEES

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**All members were in attendance** except for Clinton Hallman, and Mr. Bardenwerper's arrival was delayed until 2 PM.

**Staff in attendance:** Curt Freese, Community Development Department Director, and Christopher Klement, Community Development Department Planner III, Nicolas Navia, Community Development Department Planner I.

Jessie White of the Coastal Conservation League and Diane Farrelly were present and submitted public comments during the session. Graham Trask was present via Zoom and also presented public comments on various topics including enforcement issues and mitigation fees. City Council Member Josh Scallate also was present for a portion of the meeting.

The Commission discussed issues regarding the pace of the work of the Commission on the code revisions. The Commission continued to work on Chapter 5 proposed changes. "Parking Lot Issues", i.e. issues deferred from the last work session, were discussed. Additional revisions by staff re: buffers and setbacks tables were discussed. Mr. Bardenwerper's proposed rewrite re: clear cutting and penalties was discussed. City Arborist Mr. Murphy was not present, so his rewrites were deferred. Other changes and corrections through the end of Chapter 5 were discussed. The staff was able to make many changes to the draft in real time during the session. Some additional rewriting by staff regarding buffers and setbacks was agreed to take place prior to the next work session.

The meeting between the chairpersons of the PC and the HRB so the chairpersons could discuss issues and logistics regarding additional HRB input on Chapters of the proposed chapter redrafts already completed by the PC will take place on 4/9/25 at 1 p.m..

The next regular meeting will occur April 21, 2025 at 5 p.m.

The work session adjourned at 5 pm.

DRAFT

**1026 Ribaut Road**

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**Preliminary Plat and Sketch Plan  
Revision Request**



# STAFF REPORT: Development Design Review

## Sketch Plan Revision/Preliminary Plat

DATE: April 21, 2025

<b>GENERAL INFORMATION</b>		
Applicant:	Larry Paragano, Nova Management LLC.	
Address/Parcel Number:	1026 Ribaut Rd/ R120 005 000 0236 0000; R120 005 000 0266 0000; R120 005 000 0278 0000	
Applicant's Request:	To obtain Sketch Plan revision and Preliminary plat approval for a new 72 unit townhome development.	
<b>ZONING DISTRICT INFORMATION</b>		
	<u>T5-UC</u>	
Lot Width at Setback:	N/A	
Max Lot Coverage:	100%	
Min. Frontage Build Out	60% minimum	
Front Setback	0'-15' max	
Side Setback	0 ft; 0-15 ft corner/alley	
Rear Setback	5 ft	
Building Height:	2 stories min; 5 stories max	
<b>SURROUNDING ZONING, LAND USE AND REQUIRED BUFFERS</b>		
<u>Adjacent Zoning</u>	<u>Adjacent Land Uses</u>	<u>Adjacent Buffer Required</u>
North: T4-N/IC	Medical Office Building/Homes	N/A
South: T-5 UC/T-3 S	Medical Offices/Single Family Homes	N/A
East: T5-UC	Hospital	N/A
West: T-4 N/T-3 S	Single Family Homes	N/A

**Background:** The applicant is seeking preliminary plat approval for a 72 unit development, with four duplex lots, and the remaining 64 units made up of fee simple townhouses. The project was first applied for in 2019, and major changes to sketch have occurred in this six year timeframe. The project was submitted for the PC in January and February and withdrawn to make changes recommended by Staff as described on pages 5-6 of this report and then tabled on the March 17, 2025. The Applicant met with Staff and surrounding neighbors and then submitted new materials as of Friday April 11, 2025.

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## March 17, 2025 PC Conditions/Recommendations:

The following conditions and recommendation were made at the March 17, 2025 meeting. Staff has provided an update in red as to compliance.

1. Updated TIA, looking at nearby intersections with the generation and distribution numbers and with the levels of service including the seconds of delay;

Applicant provided new traffic memo, as well as new traffic counts of March 2025. The TIA depicts A levels at each intersection.

2. Building mass and concept design of the townhomes;

Applicant has provided four townhouse architectural elevations/style, and two duplex types. They have also depicted where each type would be located on site.

3. Building setbacks and limitation that the applicant would propose on building heights;

Applicant has not provided reduced building heights. They are allowed as per the underlying zoning code.

4. Plans if any for screening of property perimeters;

New landscape plans with screening are now provided. The submittal landscape plan includes the addition of overstory trees (live oak , magnolia), understory trees (holly , palmetto's) and large shrubs (wax myrtle, yellow anise, sabal minor and viburnum). The proposed planting is to provide infill and provide a buffer along the perimeter property lines.

5. Topographical Overlay;

The applicant has provided the attached grading and drainage plan illustrating the existing topography, proposed drainage patterns, stormwater collection, and drainage outfall

6. Stormwater arrows; and

See stormwater plan.

7. Fire Marshall letter;

Letter as per 4/11/25 by Fire Marshall is included with submittal.

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## Recommendations:

1. Application consider adjustments to the overall density; and

The applicant has reduced the density significantly from the previous options with +/-230 apartment units, parking garage and commercial uses.

2. Applicant to reconsider the issue of access on Ribaut Road.

The applicant has considered the Ribaut road access and determined the following-

- The proposed access from Ribaut Road may adversely affect the existing live oak canopy and result in a reduction of the park's overall size.
- The access from Ribaut Road would necessitate the closure of the center median to eliminate left-turn ingress. This modification could introduce additional conflicts and raise safety concerns related to existing traffic patterns on Ribaut Road.
- The updated traffic study indicates that traffic circulation can be effectively accommodated via Allison Road, utilizing the existing signalized intersection.

## Sketch Plan:

The development received Sketch Plan approval by the Metropolitan Planning Commission (MPC)

December 20, 2021. The Sketch Plan was approved with the following conditions:

1. Future design review submittals shall incorporate any traffic mitigation measures identified in the forthcoming Traffic Impact Analysis;
2. Future design review submittals shall include street sections for Oak Haven Street and Myrtle Street that meet the requirements of Beaufort Code Appendix C: Street Infrastructure Plans; and
3. Future design review submittals shall meet the two-story building height requirements of Section 2.6.3 for all buildings within 250 feet of the Significant Intersection of Allison Road and Ribaut Road.
4. The project and preliminary plat comes back to the MPC for design review approval.
5. Recommendation to consider not extending Oak Haven Street through the subject property.

The formerly approved sketch plan retains much of the same street layout with 39 townhouses, 57,000 sq. ft. of medical office/retail space with over 250 parking spaces to serve the commercial areas. Please see a copy of the approved Sketch Plan in the file. The new revised plan removes the office retail space, the office space to the Northwest, the commercial parking lots, and instead substitutes townhouses and four small multi-family buildings in these locations.

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**Access/TIA:** The site has two access points: 1) Allison Road: a northern access point with the construction of Myrtle Road which provides a north/south road that accesses Allison Road and Oak Haven. 2) Extension of Oak Haven to the new Myrtle Road. This access does not extend to Ribaut Road. Staff and the developer discussed removing the Ribaut Road access point, due to concerns with the spacing on a major arterial road, site distance on the entrance, and thru traffic for residents in the adjoining subdivision. The majority of the townhouses are served by rear alleyways with the exception of Lots 65-67.

A TIA was prepared when the project was approved with the addition 57,000 sq. ft. of office/retail space in 2022. Staff require an update of this plan, and it was provided in October 2024, reviewed by SCDOT, the County Engineering Department and City Staff. The conclusions are below:

- 1) The site is proposed to install a full access driveway on Ribaut Road at the location of an existing driveway and close two driveway accesses to the south. (this drive has been removed)
- 2) The access plan will widen and improve Myrtle Road at its intersection with Allison Road and provide an extension of Oak Haven Road to connect to Battery Creek Road. The development would also eliminate an existing driveway on Allison Road, located 100 ft east of the signal at Ribaut Road, that currently serves a parking lot.
- 3) With construction of the project, all of the studied intersections should continue to function adequately. The site access can function adequately with one ingress and one egress lane.
- 4) Based on the projected volumes, auxiliary turn lanes are not warranted on Allison Road, Ribaut Road, or Battery Creek Road. With the existing alternative routes in the vicinity, the extension of Oak Haven Road to Ribaut Road is not anticipated to induce significant volumes of cut-through traffic.

The SCDOT approval included the following:

- ✓ The Ribaut/Allison Mixed Use TIA is accepted with no external mitigation required beyond the consolidation of accesses on Ribaut and Allison utilized an existing curb cut on Boundary Street/US 21. The existing curb cut would allow both an in and out. No improvements, or turning restrictions are proposed

**New TIA Memo:**

A new TIA memo was performed using March 2025 counts. The TIA supports the plan as submitted:

“The capacity analysis of the Allison Road & Ribaut Road signal was performed using the updated 2025 counts. A 1% growth rate was applied assuming a 2027 build out year. The minor amount of traffic generated by the development should have minimal impact on the signal. The intersection should continue to function adequately. Both the 2022 original study and the 2024 update memo were accepted by SCDOT with no external mitigation required. This 2025 update represents a smaller development than both of the previous assessments. No mitigation is recommended for the current plan.”

**Table 2 – Intersection Capacity Analysis Results**

Intersection	Approach	LOS/Delay (seconds)					
		2025 Existing Conditions		2027 No-Build Conditions		2027 Build Conditions	
		AM	PM	AM	PM	AM	PM
Ribaut Road & Allison Road (Signalized)	EB	C/33	C/24	C/33	C/24	C/33	C/24
	WB	C/24	C/29	C/24	C/29	C/24	C/29
	NB	A/5	A/5	A/5	A/5	A/6	A/5
	SB	A/5	A/5	A/5	A/5	A/6	A/6
	<i>Overall</i>	<i>A/8</i>	<i>A/8</i>	<i>A/8</i>	<i>A/8</i>	<i>A/9</i>	<i>A/9</i>

**Compatibility with Adjacent Zoning:**

The site in question is adjacent to medical office uses to the North and South zoned T-5 UC and IC, the hospital and emergency room to the East zoned IC, and a single family neighborhood to the West zoned T-3S. The T-5 UC district follows the North South properties fronting Ribaut Road, except for the Hospital’s properties, which are zoned Institutional Campus.

**Parking:**

Staff notes, the 250 plus parking spaces which were to serve the medical offices, retail, and overflow for the hospital are entirely removed from this request. The majority of parking will be handled within each townhouse lot. However, early on when this project came back to the TRC, Staff asked the applicant to add and then delineate where guest parking would be, and to distribute such parking throughout the site. The Applicant has delineated the guest spaces with red circles in the conceptual plan included in the packet.

**Trees/Lot Frontage**

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Significant discussion in past Sketch Plan submittals was had regarding the significant tree canopy fronting Ribaut Road. The code, Section 2.4.1, requires a 60% build out or building frontage on any primary street (such as Ribaut Road). To address this concern in previous Sketch Plan submittals, a park/open space with trail was proposed for the Southeastern portion of the lot which fronts Ribaut Road. Staff has accepted this proposal for the new preliminary plat/sketch plan. Leaving this area as a separate open space parcel saves many specimen trees, provides a significant buffer to the development and for the public, and also resolves the frontage requirement of 2.4.1.

Staff notes, the Applicant's tree mitigation and retention plan. A significant number of Landmark & Specimen trees (esp. Live Oaks) will be preserved and incorporated within the proposed Park & Open Space area as well as part of the streetscaping. Specifically, the tree survey shows a removal of 245" of caliber of Landmark and removal of 32" in caliber (DBH) of Specimen trees. However, a total of 2,421" in caliber of mostly Live Oak trees (both Landmark & Specimen) are being preserved.

### **TRC/Staff Design Review**

Numerous TRC meetings have been held since 2023 with revisions to the plans submitted. Two formal meetings occurred in the Spring and Summer, with the August 12, 2024 TRC meeting attended by residents. Since the August TRC meeting, three revisions have been made and reviewed by the TRC, which includes City Planning Staff, the County Engineering Department, BJWSA, the City Stormwater Engineer, Fire Marshall, Building Official, and Jeremy Tate the City Architect. The final comments after the December submittal are found below:

### **December Comments (all have been addressed in current submittal):**

- 1) Will require PC meeting as per the Sketch Plan approval condition.
- 2) No vesting or platting occurred, and the project has changed so the project will need to meet SOLOCO standards.
- 3) No stormwater drainage plan was provided. This is generally part of any preliminary plat, as it will have a major impact on the design and layout of the subdivision.
- 4) Traffic impact & vehicular circulation / connectivity also has been well provided for, as numerous points of ingress/egress as well as new street connectivity is being established (SCDOT has approved the TIA as submitted). The accounted daily trips should even be less, as the commercial

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uses that were formerly planned for are no longer part of the proposed development (now residential only).

- 5) What particularly stands out after reviewing their tree survey, is the amount of Landmark & Specimen tree (esp. Live Oaks) that will be preserved and incorporated within the proposed Park & Open Space area as well as part of the streetscaping. Specifically, the tree survey shows a removal of 245" of caliber of Landmark and removal of 32" in caliber (DBH) of Specimen trees. However, a total of 2,421" in caliber of mostly Live Oak trees (both Landmark & Specimen) are being preserved.
- 6) One of the parking spaces to the immediate west of the 4-unit apartment house appears to be in front of the primary façade plane. Per Section 4.5.7.B.3 of the Beaufort Code, "On-site parking must be located behind the building and accessed off a rear alley." The three parking spaces in question should be shifted slightly to the north so that they are located behind the building's primary façade.
- 7) Staff has concerns about lots 65 and 66, and believes their placement lacks a clear pattern. Additionally, these lots do not front appropriate streets, as both buildings front the access alley for the rear of Lots 34-36 (staff does not believe the 0.04 acre park is enough to govern a building's frontage). The addition of the extra drive to get to the four parking spaces for lots 65 and 66 also creates an odd condition, as there are now two dead-end lanes at this area of the property within close proximity of each other. Staff recommends removing these two lots and adjacent lane/parking spaces and designating this whole area as a park. If the units are still desired by the applicant, staff recommends utilizing the 2-unit building type more than once.

### **Changes Since January and February 2025:**

The preliminary plat was placed on the agenda for both the January and February PC meetings, and then withdrawn. Staff and the Applicant worked on the following items:

- 1) **Stormwater**: resolved, and the applicant is now proposing a compliant stormwater plan.
- 2) **Traffic impact & vehicular circulation**: Staff and the Applicant met to discuss concerns about the Ribaut Road access point, and thru traffic on Oakhaven. Staff's concerns included safety concerns about full access drive 320' away from Allison Road, site distance, and thru traffic. After

some discussion, both parties agreed that removing the access point on Ribaut Road would be the safest and most practical option, while providing for additional green space and tree retention.

- 3) **Layout of southern most lots and units:** On the previous plan, Staff expressed concerns regarding the layout of what was then lots 65-66. The Applicant revised the layout of these lots (now lots 69-70) to a pattern satisfies the code.
- 4) **Layout of parking for fourplex:** the former layout depicted a fourplex or multi-family building adjacent to the Ribaut Road entrance, which didn't meet the parking in the rear standards per Section 4.5.7.B.3 of the Beaufort Code. The four plex has been removed and replaced with rear loaded townhouses.

**With the proposed changes noted above, Staff is fully in support of the Preliminary Plat.**

**Findings of Fact:**

<b><u>9.8.2.I Finding of Fact</u></b>	<b><u>Rationale Present (yes/no)</u></b>	<b><u>Staff Analysis of Rationale</u></b>
<b>a. The plan is consistent with the adopted plans and policies of the City.</b>	Yes	<ul style="list-style-type: none"> <li>➤ <b>The project is consistent with all plans and policies of the City.</b></li> <li>➤ <b>The developer has incorporated all staff comments, as well as concerns over open space, trees, density, height, access, thru access, and stormwater into the current request.</b></li> </ul>
<b>b. The plan complies with all applicable requirements of this Code.</b>	Yes	<ul style="list-style-type: none"> <li>➤ <b>The project is consistent with all plans and policies of the City.</b></li> <li>➤ <b>The developer has incorporated all staff comments, as well as concerns over open space, trees, density, height, access, thru access, and stormwater into the current request.</b></li> </ul>

<p><b>c. There exists adequate infrastructure (transportation and utilities) to support the plan as proposed.</b></p>	<p><b>Yes</b></p>	<ul style="list-style-type: none"> <li>➤ <b>Recent improvements to Allison Road support the plan by providing a safe signalized intersection for motorists and pedestrians as well as drainage and utility improvements.</b></li> <li>➤ <b>There is existing water, sewer, stormwater and electric utilities to support the plan.</b></li> </ul>
<p><b>d. The proposed plan conforms to the character of the neighborhood, considering the location, type and height of buildings or structures and the type and extent of landscaping on the site.</b></p>	<p><b>Yes.</b></p>	<ul style="list-style-type: none"> <li>➤ <b>The developer has reduced the density, scale of uses, and mass and height of buildings on the site as compared to previous Sketch Plans. The new plan is much more consistent with the adjoining single family neighborhood.</b></li> <li>➤ <b>The design of the proposed plan saves many landmark and specimen trees.</b></li> <li>➤ <b>The uses are allowed in T-5 UC, with townhouses being amongst the lowest density or impact uses permitted in the T-5 UC district.</b></li> </ul>
<p><b>e. The proposed plan conforms to the Building Design Standards in Article 4.</b></p>	<p><b>Yes/with conditions</b></p>	<ul style="list-style-type: none"> <li>➤ <b>Consider a recommendation to the developer, to agree to a two story restriction for the lots immediately adjacent to the adjoining existing subdivision.</b></li> </ul>
<p><b>f. The application will not substantially lessen the value of adjoining or abutting property and will not be detrimental to the use or development of adjacent properties or other neighborhood uses.</b></p>	<p><b>Yes.</b></p>	<ul style="list-style-type: none"> <li>➤ <b>The applicant has chosen a lower density use and retained much of the existing native tree canopy. Staff believes the plan would not be detrimental to adjoining properties.</b></li> </ul>

**FINDINGS AND RECOMMENDATIONS**

**Staff Recommendation:** Staff recommends approval of the Minor Sketch Plan and Preliminary Plat

# REVISIONS SINCE MARCH

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# SKETCH MASTER PLAN

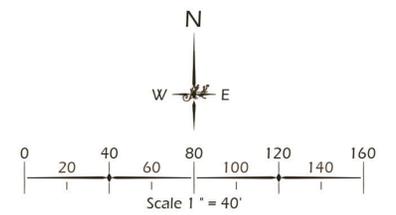


## DEVELOPMENT SUMMARY

TYPE	QUANTITY
<span style="display:inline-block; width:15px; height:15px; background-color:#f0e68c;"></span> <b>TOWNHOME 'A'</b> 24' x 110' MIN. PARKING ON LOT (2 SPACES)	6 UNITS
<span style="display:inline-block; width:15px; height:15px; background-color:#f4a460;"></span> <b>TOWNHOME 'B'</b> 24' x 90' MIN. PARKING ON LOT (2 SPACES)	19 UNITS
<span style="display:inline-block; width:15px; height:15px; background-color:#f9c79d;"></span> <b>TOWNHOME 'C'</b> 22' x 110' MIN. PARKING ON LOT (2 SPACES)	20 UNITS
<span style="display:inline-block; width:15px; height:15px; background-color:#f0e68c;"></span> <b>TOWNHOME 'D'</b> 22' x 65' MIN. PARKING ON LOT (2 SPACES)	21 UNITS
<span style="display:inline-block; width:15px; height:15px; background-color:#c0392b;"></span> <b>2-UNIT BLDG (DUPLX)</b> PARKING ALLOCATED ON SITE PLAN	2 UNITS
<span style="display:inline-block; width:15px; height:15px; border:1px solid black;"></span> <b>2-UNIT BLDG (STACKED)</b> PARKING ALLOCATED ON SITE PLAN	4 UNITS
<b>TOTAL UNITS</b>	<b>72 UNITS</b>

## PARKING LEGEND

- ON - STREET PARKING / GUEST PARKING
- \* ON - LOT PARKING / CARRIAGE HOUSE
- + PARKING FOR 2 UNIT / 4 UNIT BUILDING

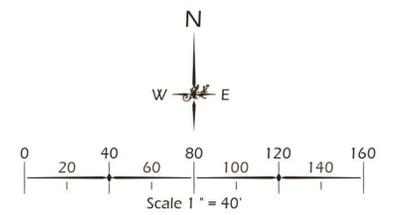


BUILDING FOOTPRINT PLAN



**DISCLAIMER:**  
 THE CONCEPTUAL BUILDING FOOTPRINTS PROVIDED ARE INTENDED TO ILLUSTRATE THE GENERAL MASSING AND DESIGN CONCEPT FOR THE TOWNHOMES.

THESE FOOTPRINTS DEPICT THE ANTICIPATED SIZE AND SCALE OF THE PROPOSED ARCHITECTURE. LOCATION OF CARRIAGE HOMES, GARAGES AND ON LOT PARKING WILL BE DETERMINED AT TIME OF FINAL ARCHITECTURAL DESIGN.



ARCHITECTURAL CHARACTER



ARCHITECTURE BY LFK ARCHITECTS MOUNT PLEASANT, SC

TOWNHOME TYPE A, B, C  
STYLE 1



\* TOWNHOME TYPE A, B, C  
STYLE 2



\* TOWNHOME TYPE A, B, C

**DISCLAIMER:**

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THESE ELEVATIONS DEPICT THE ANTICIPATED SIZE AND SCALE OF THE PROPOSED ARCHITECTURE. FINAL BUILDING MATERIALS, ARCHITECTURAL STYLE, AND DETAILED DESIGN ELEMENTS WILL BE DETERMINED DURING THE BUILDING PERMIT PHASE AND WILL COMPLY WITH THE REQUIREMENTS SET FORTH IN ARTICLE 4 OF THE BEAUFORT CODE.



\* TOWNHOME TYPE D



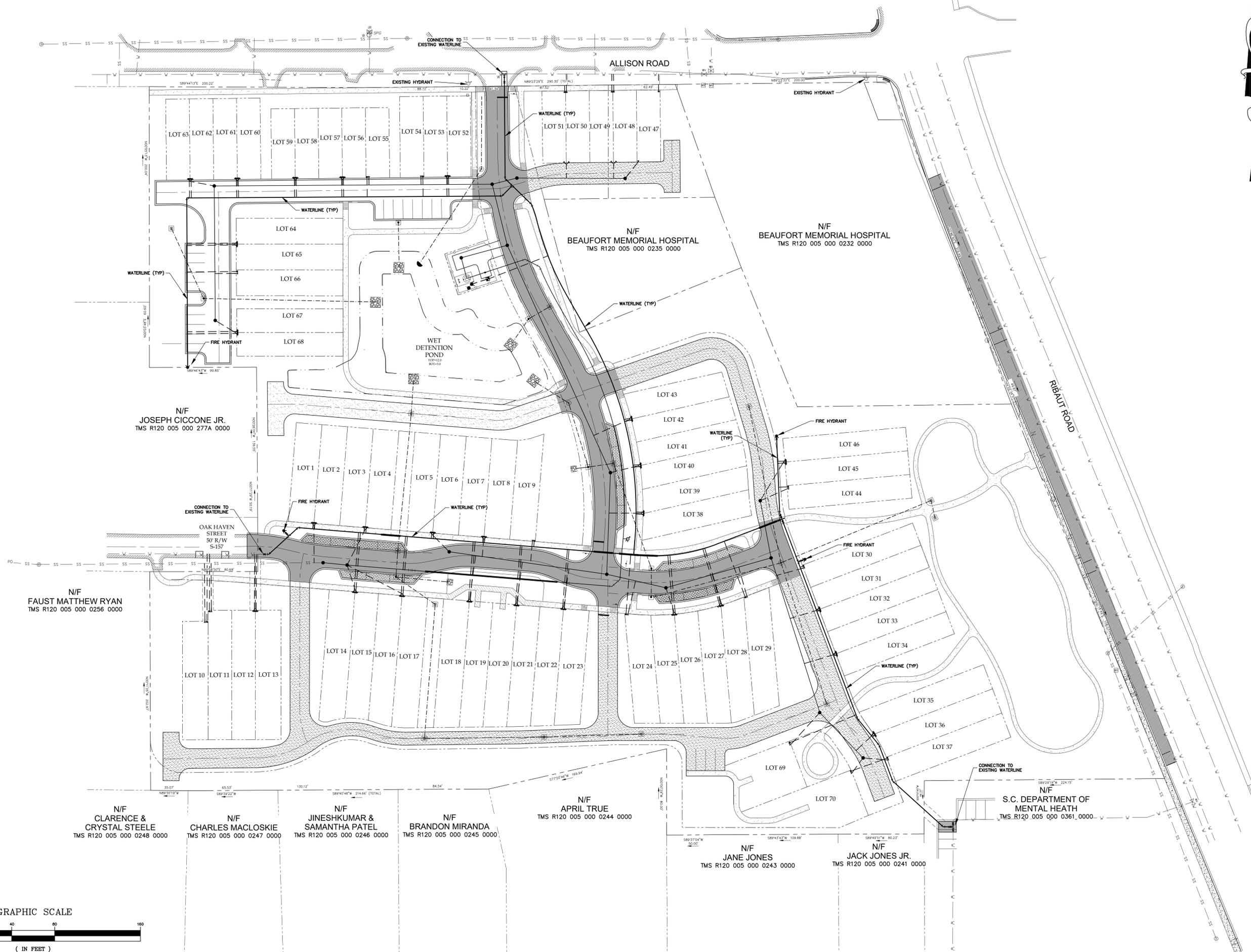
\* TOWNHOME TYPE D



\* 2 UNIT HOME  
SIDE-BY-SIDE



\* 2 UNIT HOME  
STACKED



LAGRETTIC

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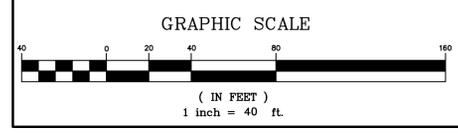
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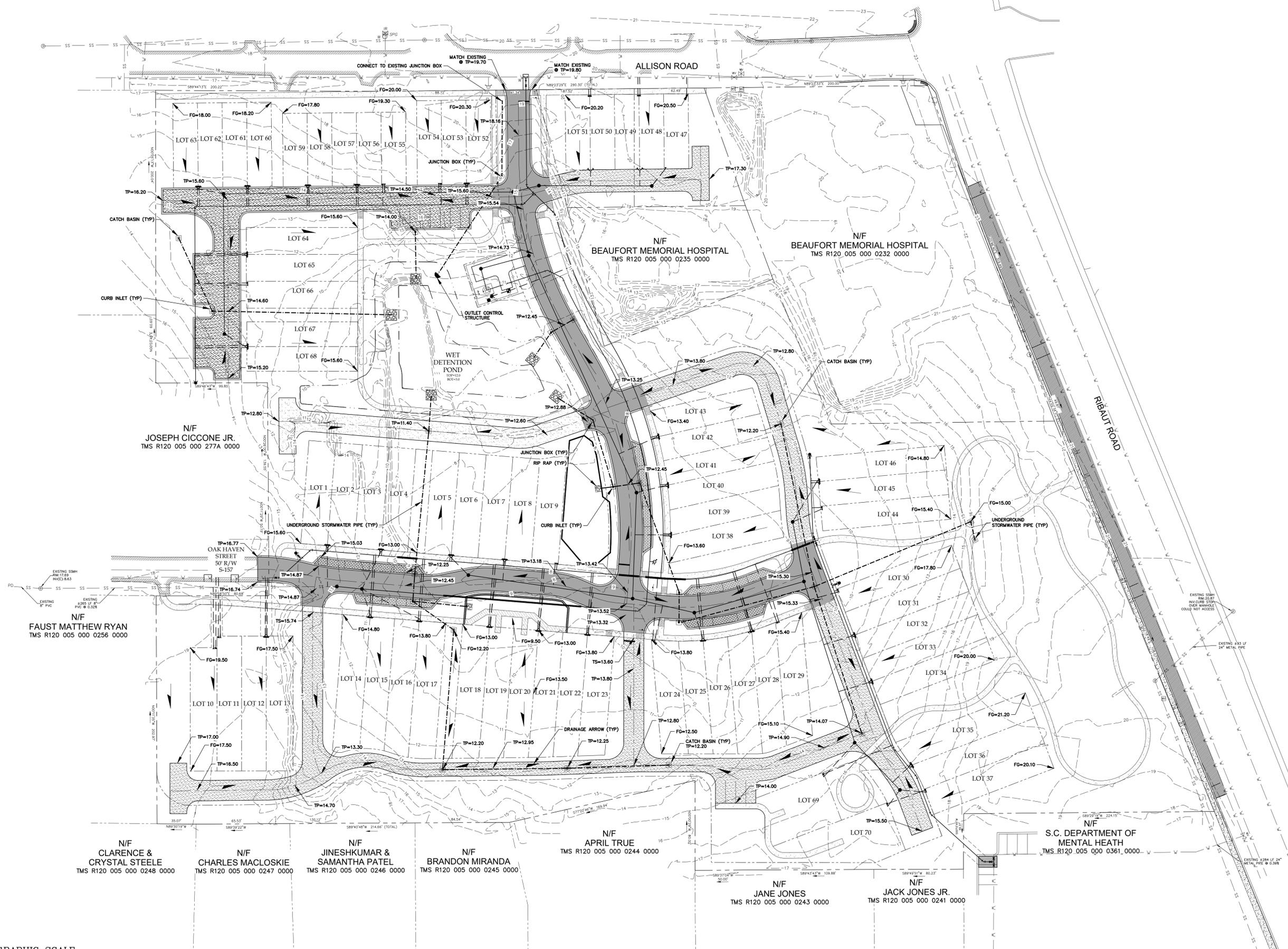
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**CITY OF BEAUFORT**  
**BEAUFORT COUNTY, SC**

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 BEAUFORT, SC 29901

PROJECT:	2037
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REVISED:	04/11/25
DRAWN BY:	BJS
ENGINEER:	JPA
SCALE:	1"=40'

**WATER EXHIBIT**  
**1**  
 OF 1





PLAN REVISIONS

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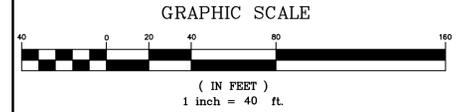
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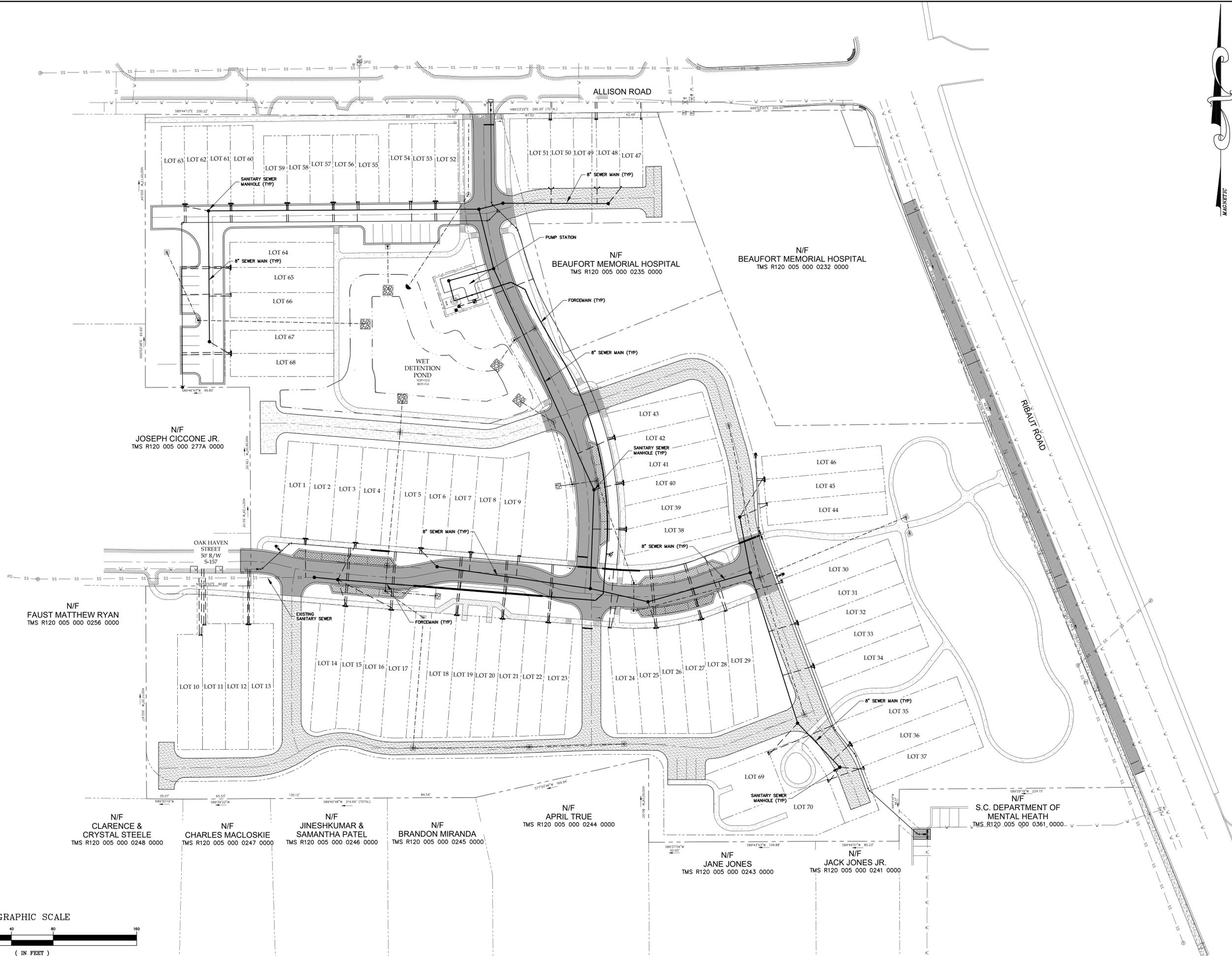
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DATE: 03/25/24  
REVISED: 04/11/25  
DRAWN BY: BJS  
ENGINEER: JPA  
SCALE: 1"=40'

STORM EXHIBIT  
**1**  
OF 1



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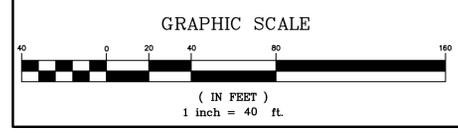
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**SANITARY SEWER**  
**EXHIBIT**  
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SITE DEVELOPMENT PLANS  
 FOR  
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 BEAUFORT, SOUTH CAROLINA

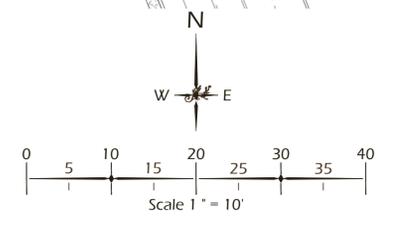
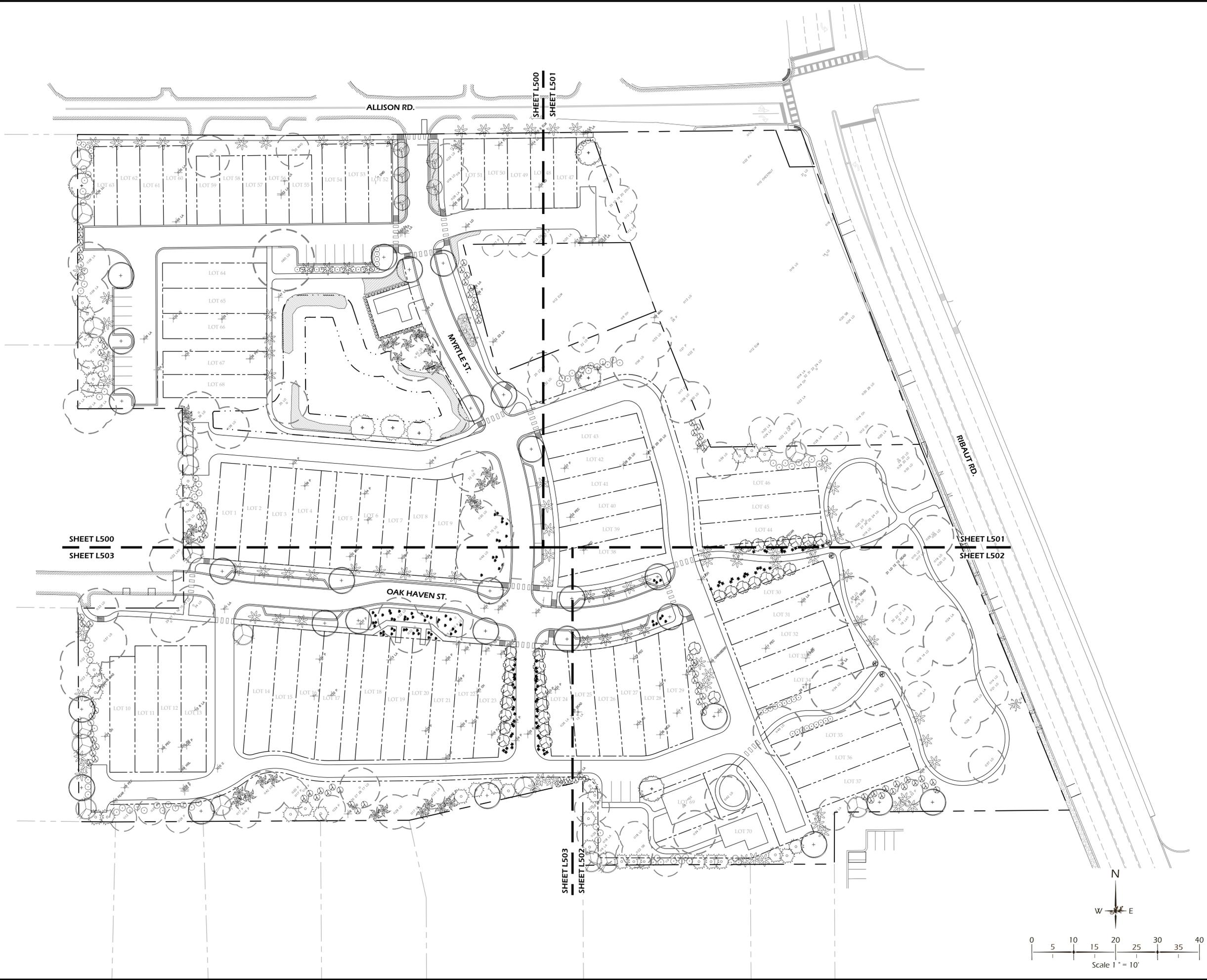
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 PROJECT NO.: 20020.01  
 DRAWN BY: ER/KJ  
 CHECKED BY: DK

**PRELIMINARY  
 SUBMITTAL PLAN,  
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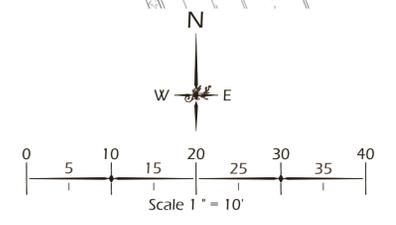
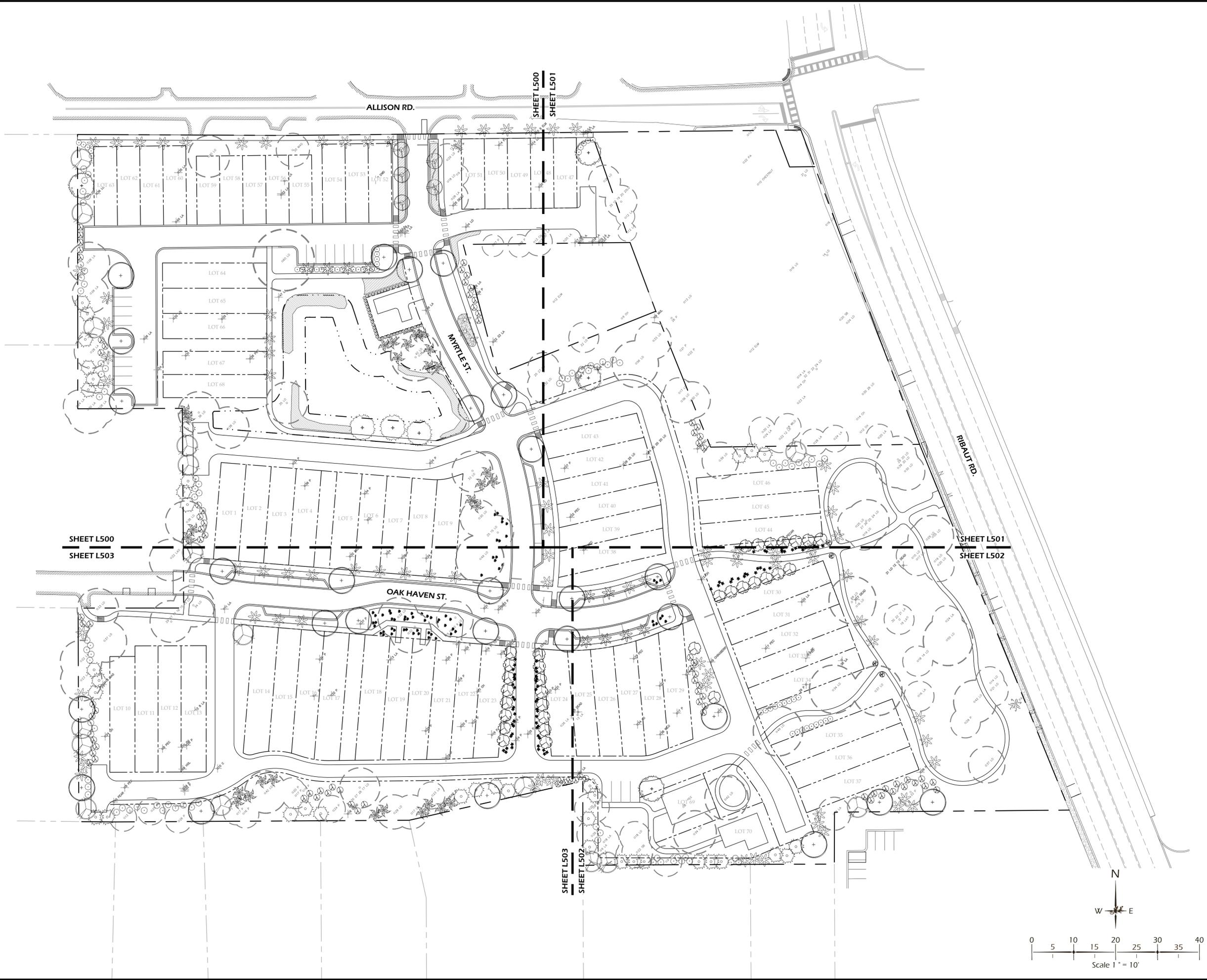
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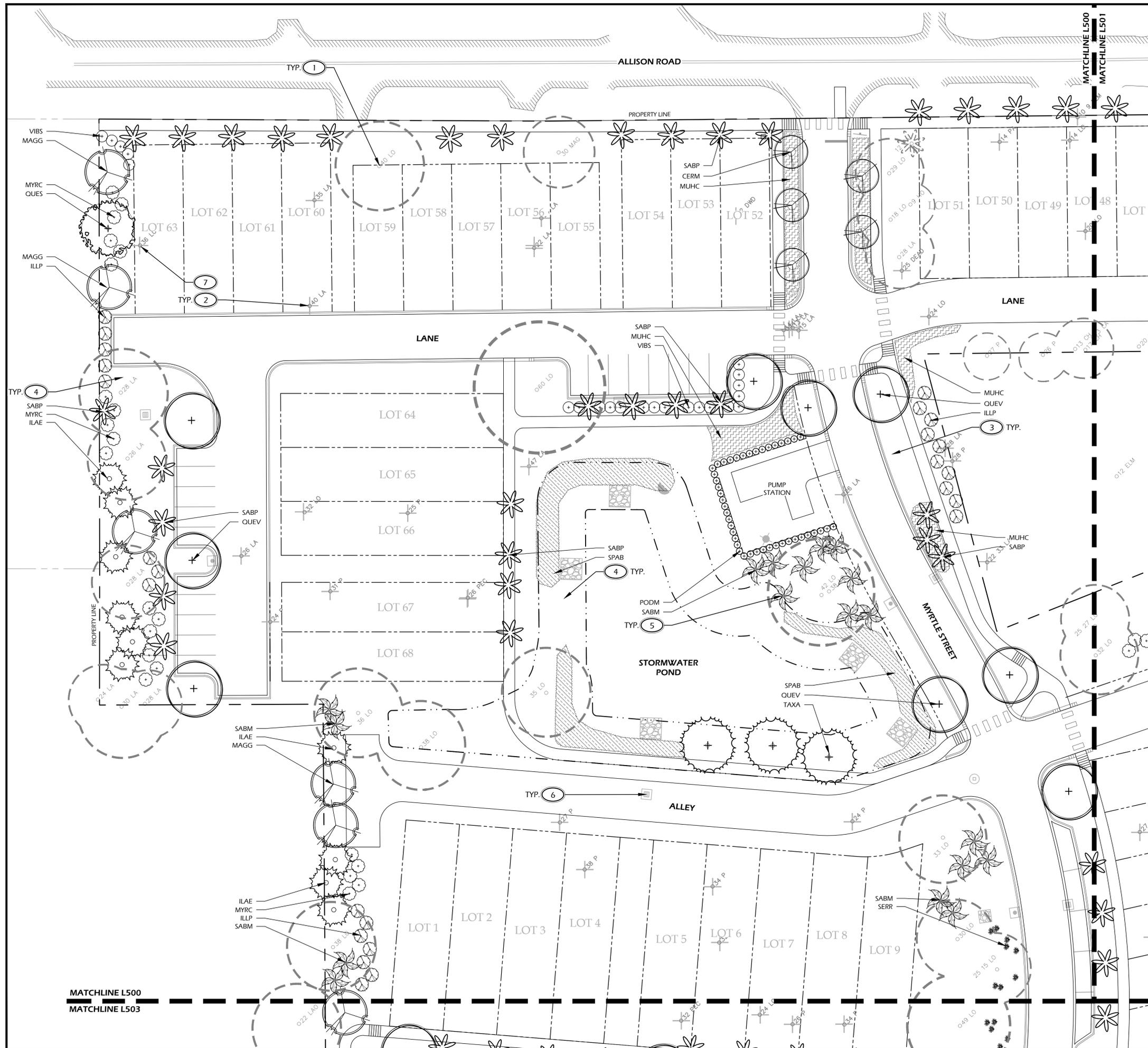
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REVISIONS:


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**REFERENCE PLAN  
 PROPOSED CONDITIONS**

DRAWING NUMBER  
**L11**





PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L504
14.2	PALM TREE PLANTING	2/L504
14.3	SHRUB PLANTING	3/L504
14.4	GROUND COVER PLANTING	4/L504

**PLANT KEY LEGEND**

Abbrev	Botanical Name	Common Name
<b>TREES</b>		
MAGG	Magnolia grandiflora	Southern Magnolia
QUES	Quercus shumardii	Shumard Oak
QUEV	Quercus virginiana	Live Oak
SABP	Sabal palmetto	Cabbage Palm
TAXA	Taxodium ascendens	Pond Cypress
<b>UNDERSTORY TREES</b>		
CERM	Cercis canadensis 'Merlot'	Merlot Redbud
ILAE	Ilex x attenuata 'Eagleston'	Eagleston Holly
MAGL	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia
MYRC	Myrica cerifera	Wax Myrtle
SABM	Sabal minor	Dwarf Palmetto
<b>SHRUBS</b>		
AZAF	Azalea indica 'Formosa'	Formosa Azalea
AZAG	Azalea indica 'George Tabor'	George Tabor Azalea
AZAM	Azalea indica 'Mrs. G. G. Gerbing'	Mrs. G. G. Gerbing Azalea
CAMJ	Camellia japonica	Japanese Camellia
ILLP	Illicium parviflorum	Yellow Anise
PODM	Podocarpus macrophyllus	Podocarpus
SERR	Serenoa repens	Saw Palmetto
SERS	Serenoa repens 'Silver'	Silver Saw Palmetto
VIBS	Viburnum suspensum	Sandankwa Viburnum
<b>ORNAMENTAL GRASSES &amp; FERNS</b>		
MUHC	Muhlenbergia capillaris	Pink Muhly Grass
SPAB	Spartina bakerii	Sand Cordgrass

**PLANTING REFERENCE NOTES:**

- 1 EXISTING TREES TO REMAIN.
- 2 EXISTING TREES TO BE REMOVED.
- 3 SOD, SEED, OR MULCH ALL DISTURBED AREAS DUE TO CONSTRUCTION. NO BARE DIRT TO REMAIN AFTER.
- 4 SOD, SEED, AND/OR REVEGETATE ALL AREAS BETWEEN BACK OF CURB AND SIDEWALK.
- 5 CAREFULLY EXCAVATE SHRUB PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.
- 6 PROTECT AREA DRAIN FROM CLOGGING DURING INSTALLATION OF PLANTS AND MULCH. MAINTAIN FUNCTIONALITY AND POSITIVE PITCH TO DRAIN.
- 7 36" LAUREL OAK (LABELED INCORRECTLY ON SURVEY AS LIVE OAK).



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**SITE DEVELOPMENT PLANS FOR 1026 RIBAUT RD., BEAUFORT, SOUTH CAROLINA**

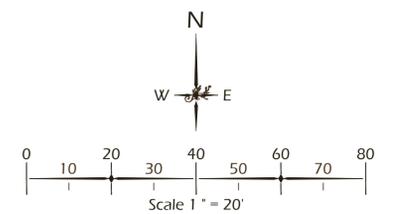
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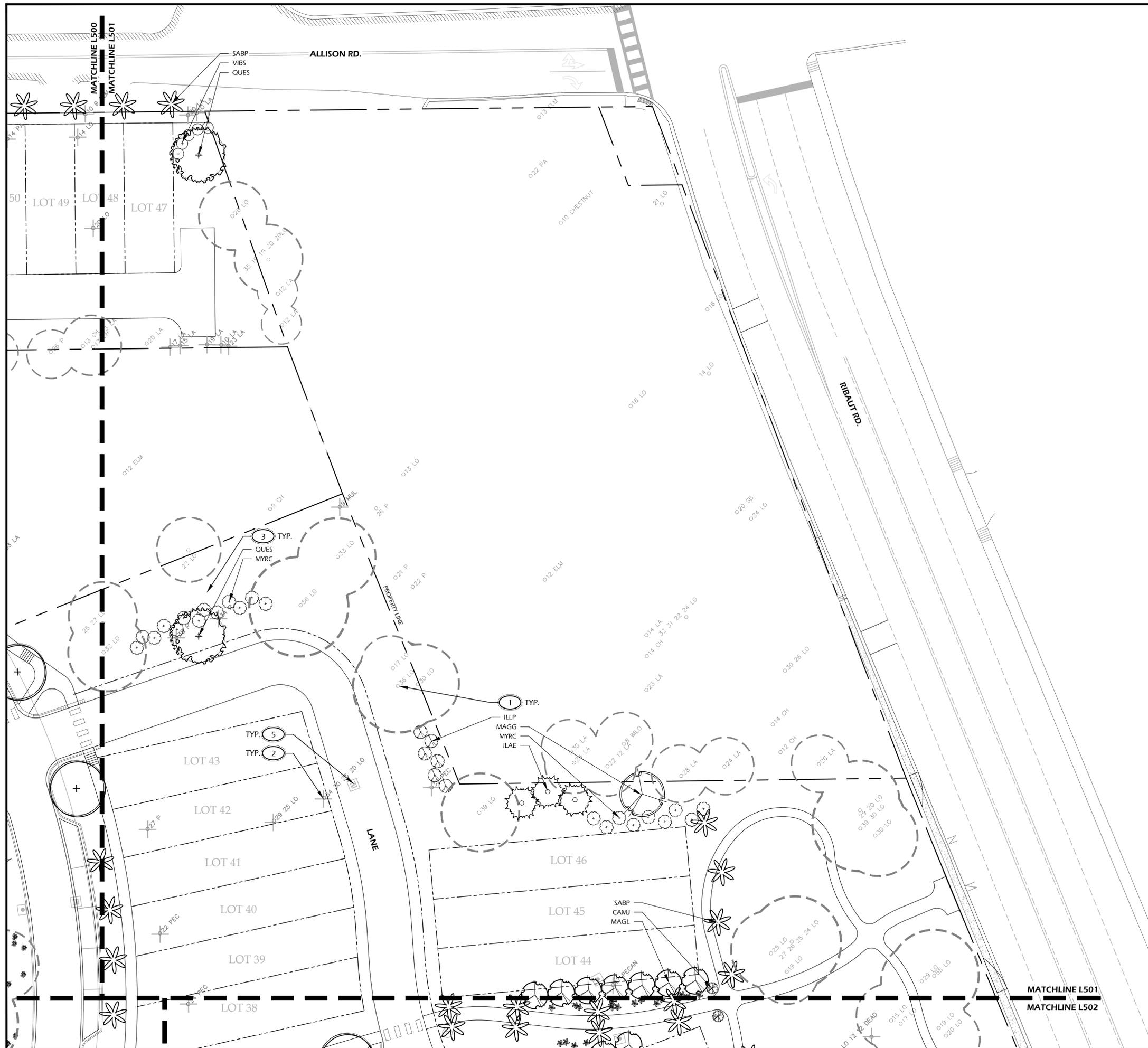
**PRELIMINARY SUBMITTAL PLAN, NOT FOR CONSTRUCTION**

REVISIONS:


DRAWING TITLE  
**PLANTING PLAN**

DRAWING NUMBER  
**L500**





PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L504
14.2	PALM TREE PLANTING	2/L504
14.3	SHRUB PLANTING	3/L504
14.4	GROUND COVER PLANTING	4/L504

PLANT KEY LEGEND		
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SABM	Sabal minor	Dwarf Palmetto
<b>SHRUBS</b>		
AZAF	Azalea indica 'Formosa'	Formosa Azalea
AZAG	Azalea indica 'George Tabor'	George Tabor Azalea
AZAM	Azalea indica 'Mrs. G. G. Gerbing'	Mrs. G. G. Gerbing Azalea
CAMJ	Camellia japonica	Japanese Camellia
ILLP	Illicium parviflorum	Yellow Anise
PODM	Podocarpus macrophyllus	Podocarpus
SERR	Serenoa repens	Saw Palmetto
SERS	Serenoa repens 'Silver'	Silver Saw Palmetto
VIBS	Viburnum suspensum	Sandankwa Viburnum
<b>ORNAMENTAL GRASSES &amp; FERNS</b>		
MUHC	Muhlenbergia capillaris	Pink Muhly Grass
SPAB	Spartina bakerii	Sand Cordgrass

- PLANTING REFERENCE NOTES:**
- EXISTING TREES TO REMAIN.
  - EXISTING TREES TO BE REMOVED.
  - SOD, SEED, OR MULCH ALL DISTURBED AREAS DUE TO CONSTRUCTION. NO BARE DIRT TO REMAIN AFTER.
  - CAREFULLY EXCAVATE SHRUB PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.
  - PROTECT AREA DRAIN FROM CLOGGING DURING INSTALLATION OF PLANTS AND MULCH. MAINTAIN FUNCTIONALITY AND POSITIVE PITCH TO DRAIN.



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SITE DEVELOPMENT PLANS  
 FOR  
**1026 RIBAUT RD.**  
 BEAUFORT, SOUTH CAROLINA

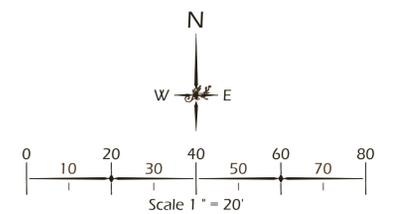
DATE: APR. 10, 2025  
 PROJECT NO.: 20020.01  
 DRAWN BY: ER/KJ  
 CHECKED BY: DK

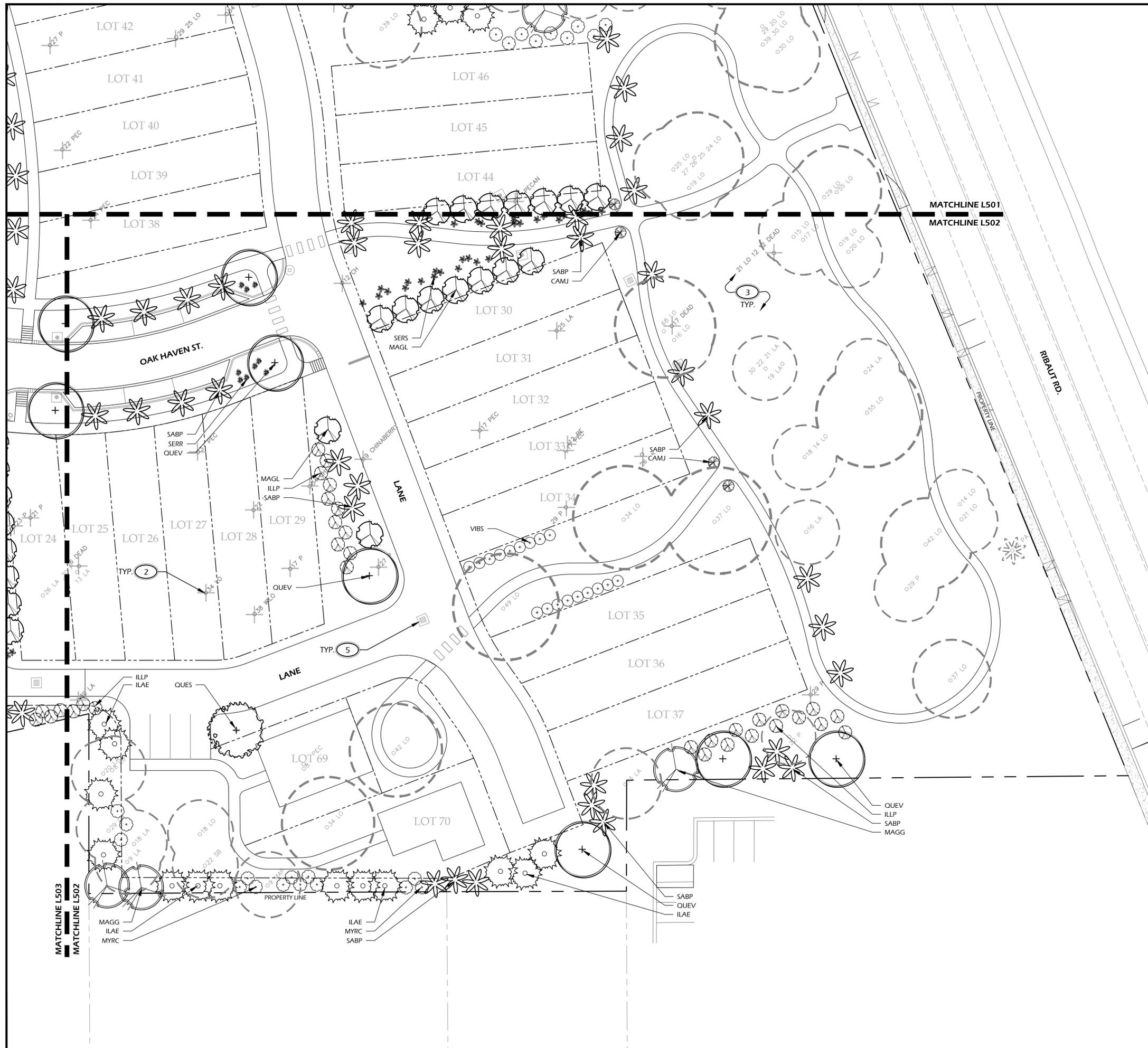
**PRELIMINARY  
 SUBMITTAL PLAN,  
 NOT FOR  
 CONSTRUCTION**

REVISIONS:


DRAWING TITLE  
**PLANTING PLAN**

DRAWING NUMBER  
**L501**





PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L504
14.2	PALM TREE PLANTING	2/L504
14.3	SHRUB PLANTING	3/L504
14.4	GROUND COVER PLANTING	4/L504

PLANT KEY LEGEND		
Abbrev	Botanical Name	Common Name
<b>TREES</b>		
MAGG	Magnolia grandiflora	Southern Magnolia
QUES	Quercus shumardii	Shumard Oak
QUEV	Quercus virginiana	Live Oak
SABP	Sabal palmetto	Cabbage Palm
TAXA	Taxodium ascendens	Pond Cypress
<b>UNDERSTORY TREES</b>		
CERM	Cercis canadensis 'Merlot'	Merlot Redbud
ILAE	Ilex x attenuata 'Eagleston'	Eagleston Holly
MAGL	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia
MYRC	Myrica cerifera	Wax Myrtle
SABM	Sabal minor	Dwarf Palmetto
<b>SHRUBS</b>		
AZAF	Azalea indica 'Formosa'	Formosa Azalea
AZAG	Azalea indica 'George Tabor'	George Tabor Azalea
AZAM	Azalea indica 'Mrs. G. G. Gerbing'	Mrs. G. G. Gerbing Azalea
CAMJ	Camellia japonica	Japanese Camellia
ILLP	Illicium parviflorum	Yellow Anise
PODM	Podocarpus macrophyllus	Podocarpus
SERR	Serenoa repens	Saw Palmetto
SERS	Serenoa repens 'Silver'	Silver Saw Palmetto
VIBS	Viburnum suspensum	Sandankwa Viburnum
<b>ORNAMENTAL GRASSES &amp; FERNS</b>		
MUHC	Muhlenbergia capillaris	Pink Muhly Grass
SPAB	Spartina bakerii	Sand Cordgrass

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  - PROTECT AREA DRAIN FROM CLOGGING DURING INSTALLATION OF PLANTS AND MULCH. MAINTAIN FUNCTIONALITY AND POSITIVE PITCH TO DRAIN.



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SITE DEVELOPMENT PLANS  
 FOR  
**1026 RIBAUT RD.**  
 BEAUFORT, SOUTH CAROLINA

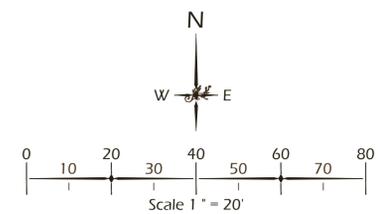
DATE: APR. 10, 2025  
 PROJECT NO.: 20020.01  
 DRAWN BY: ER/KJ  
 CHECKED BY: DK

**PRELIMINARY  
 SUBMITTAL PLAN,  
 NOT FOR  
 CONSTRUCTION**

REVISIONS:


DRAWING TITLE  
**PLANTING PLAN**

DRAWING NUMBER  
**L502**



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 CONSENT OF WJK LTD.  
 THIS SHEET TO SCALE AT 24"x36"

SITE DEVELOPMENT PLANS  
 FOR  
**1026 RIBAULT RD.**  
 BEAUFORT, SOUTH CAROLINA

DATE: APR. 10, 2025  
 PROJECT NO.: 20020.01  
 DRAWN BY: ER/KJ  
 CHECKED BY: DK

**PRELIMINARY  
 SUBMITTAL PLAN,  
 NOT FOR  
 CONSTRUCTION**

REVISIONS:  
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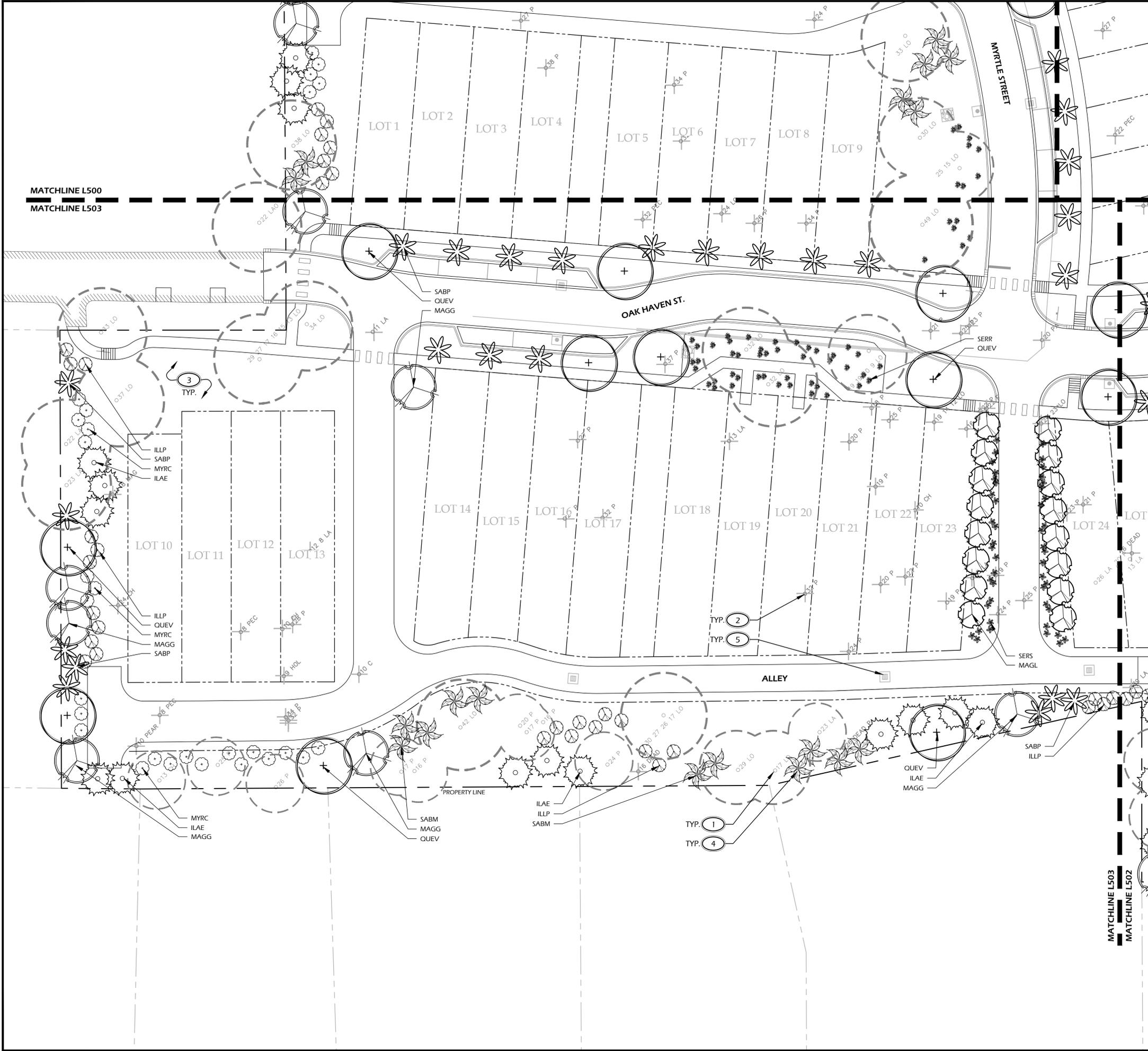
DRAWING TITLE  
**PLANTING PLAN**

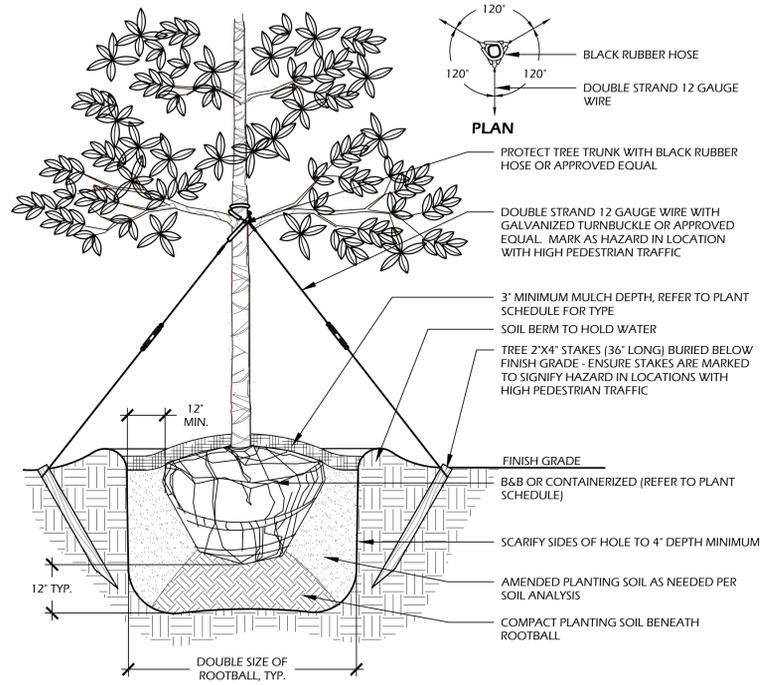
DRAWING NUMBER  
**L503**

PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L504
14.2	PALM TREE PLANTING	2/L504
14.3	SHRUB PLANTING	3/L504
14.4	GROUND COVER PLANTING	4/L504

PLANT KEY LEGEND		
Abbrev	Botanical Name	Common Name
<b>TREES</b>		
MAGG	Magnolia grandiflora	Southern Magnolia
QUES	Quercus shumardii	Shumard Oak
QUEV	Quercus virginiana	Live Oak
SABP	Sabal palmetto	Cabbage Palm
TAXA	Taxodium ascendens	Pond Cypress
<b>UNDERSTORY TREES</b>		
CERM	Cercis canadensis 'Merlot'	Merlot Redbud
ILAE	Ilex x attenuata 'Eagleston'	Eagleston Holly
MAGL	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia
MYRC	Myrica cerifera	Wax Myrtle
SABM	Sabal minor	Dwarf Palmetto
<b>SHRUBS</b>		
AZAF	Azalea indica 'Formosa'	Formosa Azalea
AZAG	Azalea indica 'George Tabor'	George Tabor Azalea
AZAM	Azalea indica 'Mrs. G. G. Gerbing'	Mrs. G. G. Gerbing Azalea
CAMJ	Camellia japonica	Japanese Camellia
ILLP	Illicium parviflorum	Yellow Anise
PODM	Podocarpus macrophyllus	Podocarpus
SERR	Serenoa repens	Saw Palmetto
SERS	Serenoa repens 'Silver'	Silver Saw Palmetto
VIBS	Viburnum suspensum	Sandankwa Viburnum
<b>ORNAMENTAL GRASSES &amp; FERNS</b>		
MUHC	Muhlenbergia capillaris	Pink Muhly Grass
SPAB	Spartina bakerii	Sand Cordgrass

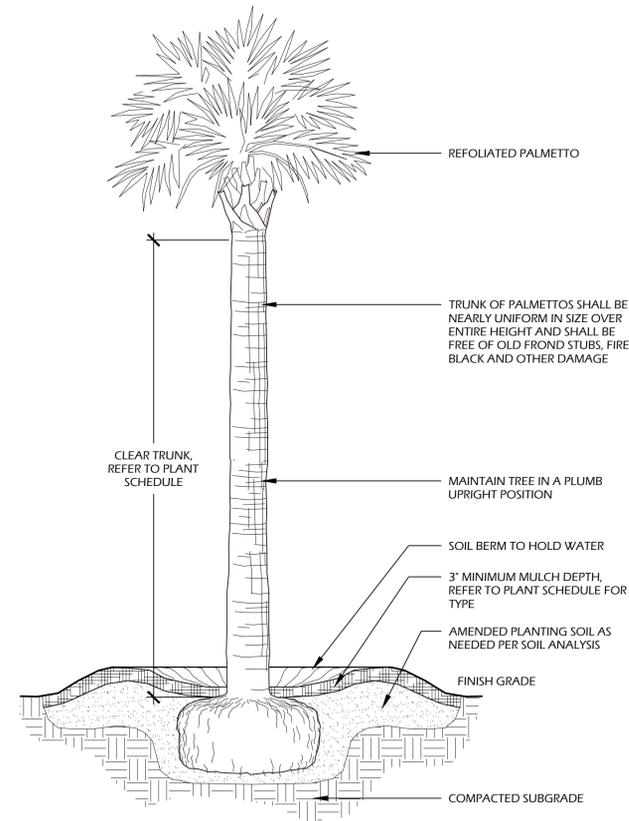
- PLANTING REFERENCE NOTES:**
- EXISTING TREES TO REMAIN.
  - EXISTING TREES TO BE REMOVED.
  - SOD, SEED, OR MULCH ALL DISTURBED AREAS DUE TO CONSTRUCTION. NO BARE DIRT TO REMAIN AFTER.
  - CAREFULLY EXCAVATE SHRUB PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.
  - PROTECT AREA DRAIN FROM CLOGGING DURING INSTALLATION OF PLANTS AND MULCH. MAINTAIN FUNCTIONALITY AND POSITIVE PITCH TO DRAIN.





- NOTES:**
- TREE STAKING OPTIONAL. HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
  - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
  - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L504 TREE PLANTING  
SCALE: N.T.S.

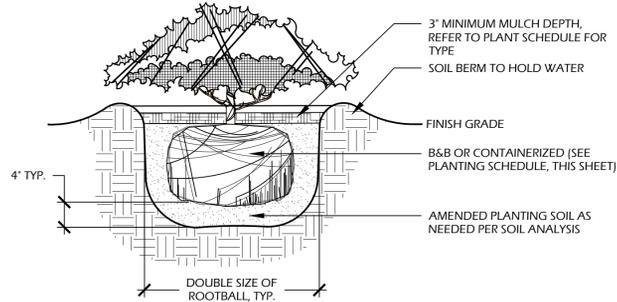


- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
  - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
  - SABAL PALMETTOS SHALL BE REFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L504 PALM TREE PLANTING  
SCALE: N.T.S.

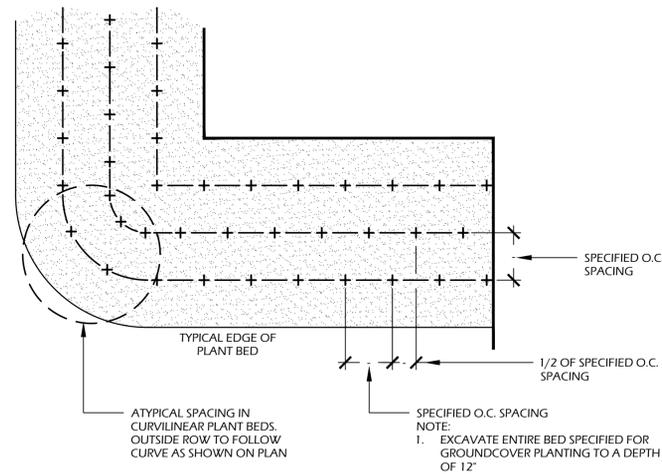
**PLANT SCHEDULE:**

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Gal./Spacing	Notes
<b>TREES</b>								
-	MAGG	Magnolia grandiflora	Southern Magnolia	12'-14'	6'-7'	Cont.	-	Full to ground
-	QUES	Quercus shumardii	Shumard Oak	14'-16'	6'-8'	Cont.	4"	Full
-	QUEV	Quercus virginiana	Live Oak	14'-16'	6'-8'	Cont.	4"	Full
-	SABP	Sabal palmetto	Cabbage Palm	12'-16'	-	Cont.	-	Refoliated, full clear trunk
-	TAXA	Taxodium ascendens	Pond Cypress	14'-16'	6'-8'	Cont.	4"	Full
<b>UNDERSTORY TREES</b>								
-	CERM	Cercis canadensis 'Merlot'	Merlot Redbud	8'-10'	6'-8'	30 gal.	-	Full
-	ILAE	Ilex x attenuata 'Eagleston'	Eagleston Holly	6'-7'	3'-4'	15 gal.	-	Full
-	MAGL	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	8'-10'	4'-5'	30 gal.	-	Full
-	MYRC	Myrica cerifera	Wax Myrtle	4'-5'	2'-3'	15 gal.	-	Full
-	SABM	Sabal minor	Dwarf Palmetto	4'-5'	4'-5'	15 gal.	-	Full
<b>SHRUBS</b>								
-	AZAF	Azalea indica 'Formosa'	Formosa Azalea	30'-36"	24'-30"	7 gal.	-	Full
-	AZAG	Azalea indica 'George Tabor'	George Tabor Azalea	30'-36"	24'-30"	7 gal.	-	Full
-	AZAM	Azalea indica 'Mrs. G. G. Gerbing'	Mrs. G. G. Gerbing Azalea	30'-36"	24'-30"	7 gal.	-	Full
-	CAMJ	Camellia japonica	Japanese Camellia	3'-4'	2'-3'	15 gal.	-	Full
-	ILLP	Illicium parviflorum	Yellow Anise	30'-36"	24'-30"	7 gal.	-	Full
-	PODM	Podocarpus macrophyllus	Podocarpus	36'-42"	24'-30"	15 gal.	-	Full
-	SERR	Serenoa repens	Saw Palmetto	18'-24"	18'-24"	7 gal.	-	Full
-	SERS	Serenoa repens 'Silver'	Silver Saw Palmetto	18'-24"	18'-24"	7 gal.	-	Full, Silver Foliage
-	VIBS	Viburnum suspensum	Sandankwa Viburnum	30'-36"	24'-30"	7 gal.	-	Full
<b>ORNAMENTAL GRASSES &amp; FERNS</b>								
-	MUHC	Muhlenbergia capillaris	Pink Muhly Grass	14'-16"	10'-16"	1 gal.	30' O.C.	Full
-	SPAB	Spartina bakerii	Sand Cordgrass	14'-16"	10'-16"	1 gal.	30' O.C.	Full

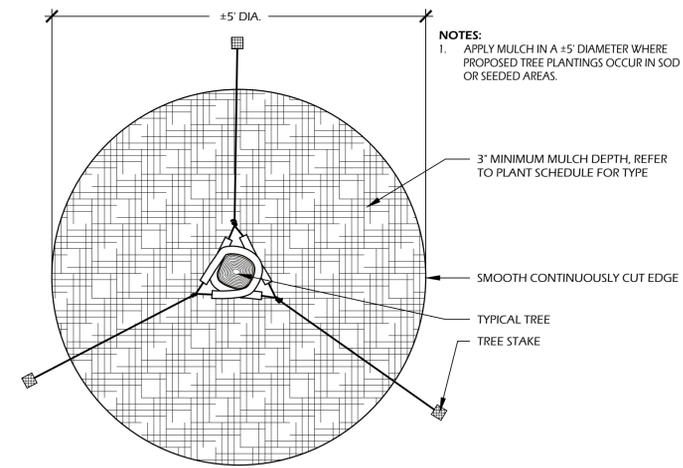


- NOTES:**
- WHEN GROUNDCOVERS AND SHRUBS ARE USED IS MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
  - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
  - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE +2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

3 // L504 SHRUB PLANTING  
SCALE: N.T.S.



4 // L504 GROUND COVER PLANTING  
SCALE: N.T.S.



5 // L504 TREE STAKING  
SCALE: N.T.S.

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THIS SHEET TO SCALE AT: 24"x36"

SITE DEVELOPMENT PLANS  
FOR  
**1026 RIBAULT RD.**  
BEAUFORT, SOUTH CAROLINA

DATE: APR. 10, 2025  
PROJECT NO.: 20020.01  
DRAWN BY: ER/KJ  
CHECKED BY: DK

**PRELIMINARY SUBMITTAL PLAN, NOT FOR CONSTRUCTION**

REVISIONS:

DRAWING TITLE  
**PLANT SCHEDULE AND DETAILS**

DRAWING NUMBER  
**L504**



April 11, 2025

Curt Freese, AICP  
Community Development Director  
City of Beaufort

**RE: 1026 Ribaut Road – Planning Commission review**  
**Via: Email**

Mr. Freese,

Please find below the response to comments from the March 17, 2025 Planning commission meeting.

**Comment 1:** Updated TIA, looking at nearby intersections with the generation and distribution numbers and with the levels of service including the seconds of delay

**Response:** The applicant provided an updated TIA provided from Jeff Ingham, PE, PTOE – Access Engineering LLC dated April 9, 2025.

The TIA Conclusion states: The currently proposed plan includes 72 attached residential units, trip generation is much less than the typical thresholds (100 peak hour trips) for the requirement of a TIS.

The current plan will generate much less traffic than the plan evaluated in the 2022 TIS. The current plan does not include direct access on Ribaut Road but provides the main access on Allison Road. Even without the previously proposed access on Ribaut Road, the amount of site generated traffic on Allison Road is expected to be less than expected for the original 2022 plan.

New traffic counts at the Ribaut Road & Allison Road intersection were obtained for this study update and a capacity analysis was performed. The signal should continue to function adequately with construction of the new development, no changes are recommended.

Both the 2022 original study and the 2024 update memo were accepted by SCDOT with no external mitigation required. This 2025 update represents a smaller development than both of the previous assessments. No mitigation is recommended for the current plan.

23 Promenade, Suite 201  
Bluffton, SC 29910  
Tel: 843-757-7411

**Comment 2: Building mass and concept design of the townhomes;**

**Response:** The applicant has provided conceptual architectural elevations to illustrate the mass and concept design for the Townhomes. The elevations represent the overall size and scale of the architecture. Final materials, style and details will be determined at time of building permit and meet the requirements of article 4 in the Beaufort Code.

There are 3 building types proposed:

- **Building Type A, B and C** are approximately 22-24' wide and 45-65' deep. These building are placed on larger lots and allow space for a detached carriage garage, an attached garage or driveway parking. The carriage homes will designed per the city code.
- **Building type D** is located along Allison road and will be 22-24' wide and 40-60' deep. Parking will be located on the lower ground level or within a driveway on the lot.
- **Duplex buildings** to include side by side and stacked options. The duplex building is designed to complement to the style of the townhomes.

The Applicant would like to request a reduction of the required finish floor elevation from 36" to 18" for townhomes. This will reduce the scale of the building while maintaining the intended street character.

**Comment 3: Building setbacks and limitation that the applicant would propose on building heights;**

**Response:** Building setbacks will follow the City code requirements. The applicant has prepared a conceptual building footprint overlay to illustrate the approximate building locations; courtyard gardens, carriage house/ garage location and on-lot parking. The applicant is considering a limit for townhomes to a maximum of 3 stories.

**Comment 4: Plans if any for screening of property perimeters;**

**Response:** The Applicant has updated the land plan to provide additional buffer spaces along the western property lines. In addition to preserving existing trees the applicant has provided a perimeter buffer plan. The submittal landscape plan includes the addition of overstory trees (live oak , magnolia), understory trees (holly , palmetto's) and large shrubs (wax myrtle, yellow anise, sabal minor and viburnum). The proposed planting are located to infill between existing trees and provide a buffer along the perimeter property lines.

**Comment 5 -6 : Topographical Overlay and Stormwater arrows**

**Response:** The applicant has provided the attached grading and drainage plan illustrating the existing topography, proposed drainage patterns, stormwater collection, and drainage outfall.

**Comment 7: Fire Marshall letter**

**Response:** The applicant has provided Fire Marshall correspondence dated 4-11-25

**Comment 8: Applicant consider adjustments to the overall density**

**Response:** The applicant has reduced the density significantly from the previous options with +/-230 apartment units, parking garage and commercial uses.

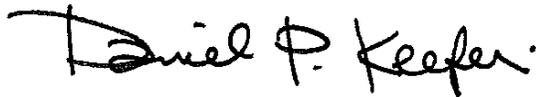
**Comment 9: Applicant to reconsider the issue of access on Ribaut Road.**

**Response:** The applicant has considered the Ribaut road access and determined the following-

- The proposed access from Ribaut Road may adversely affect the existing live oak canopy and result in a reduction of the park's overall size.
- The access from Ribaut Road would necessitate the closure of the center median to eliminate left-turn ingress. This modification could introduce additional conflicts and raise safety concerns related to existing traffic patterns on Ribaut Road.
- The updated traffic study indicates that traffic circulation can be effectively accommodated via Allison Road, utilizing the existing signalized intersection.

Sincerely,

Witmer♦Jones♦Keefer, Ltd.

A handwritten signature in black ink that reads "Daniel P. Keefer". The signature is written in a cursive style with a prominent initial "D".

Daniel Keefer  
Principal

**TECHNICAL MEMORANDUM**

DATE: April 9, 2025  
 To: Josh Johnson, PE, PTOE – SCDOT District 3  
 Beaufort Planning Commission  
 CC: Tim Brutcher, PLS – Carolina Engineering Consultants  
 From: Jeff Ingham, PE, PTOE – Access Engineering LLC  
 REFERENCE: **1026 RIBAUT ROAD – TIS ADDENDUM**

A Traffic Impact Study (TIS) for the property located at 1026 Ribaut Road in Beaufort, SC was completed in February 2022. The study was submitted to SCDOT and approved on March 11, 2022. A subsequent memo was provided on October 30, 2024 to reflect a change in the site plan. The memo was approved on November 30, 2024.

Since then, the site plan has been changed again to remove the access point on Ribaut Road and slightly reduce the number of residential units. This memorandum is provided as an addendum to previous studies.

**Current plan**

The currently proposed site plan is provided as Attachment 1. The plan includes 72 attached residential units. Trip generation for the current plan is shown in Table 1.

**Table 1: Trip Generation – 2025 plan**

Land Use	ITE LUC	Size	Unit	Daily Traffic	AM Peak			PM Peak		
					Enter	Exit	Total	Enter	Exit	Total
Multifamily Residential (Low-Rise)	220	72	DU	537	11	34	45	32	20	52

As noted, the current plan removes direct access to Ribaut Road. The extension of Oak Haven Road and connection to Battery Creek Road remain a part of the plan but are expected to serve minimal volumes. Most of the site traffic will enter and exit via Allison Road at an existing driveway.

**Traffic Counts**

The counts taken as a part of the original study were taken in early 2022. As part of this memorandum update, new peak hour traffic counts were taken at the signalized intersection of Allison Road & Ribaut Road. The latest counts (March 2025) are provided in the attachments.

**Redistribution and Assignment of Site Traffic**

With removal of the Ribaut Road access, site traffic will primarily use Allison Road. The updated trip generation estimates were redistributed based on the new access plan; the overall distribution assumed the same patterns as the original study.

The scale of proposed development has been significantly reduced from the original study, the original (2022) study included office, medical office, and daycare uses. The number of trips on Allison Road for the original plan (which included the access on Ribaut Road) was estimated at 57 AM trips and 63 PM trips. The current plan (without access on Ribaut Road) estimates that the amount of traffic on Allison Road will be 45 AM trips and 52 PM trips.

**Capacity Analysis**

A capacity analysis of the Allison Road & Ribaut Road signal was performed using the updated 2025 counts. A 1% growth rate was applied assuming a 2027 build out year. The minor amount of traffic generated by the development should have minimal impact on the signal. The intersection should continue to function adequately.

**Table 2 – Intersection Capacity Analysis Results**

Intersection	Approach	LOS/Delay (seconds)					
		2025 Existing Conditions		2027 No-Build Conditions		2027 Build Conditions	
		AM	PM	AM	PM	AM	PM
Ribaut Road & Allison Road (Signalized)	EB	C/33	C/24	C/33	C/24	C/33	C/24
	WB	C/24	C/29	C/24	C/29	C/24	C/29
	NB	A/5	A/5	A/5	A/5	A/6	A/5
	SB	A/5	A/5	A/5	A/5	A/6	A/6
	<b>Overall</b>	<b>A/8</b>	<b>A/8</b>	<b>A/8</b>	<b>A/8</b>	<b>A/9</b>	<b>A/9</b>

**Conclusions**

The currently proposed plan includes 72 attached residential units, trip generation is much less than the typical thresholds (100 peak hour trips) for the requirement of a TIS.

The current plan will generate much less traffic than the plan evaluated in the 2022 TIS. The current plan does not include direct access on Ribaut Road but provides the main access on Allison Road. Even without the previously proposed access on Ribaut Road, the amount of site generated traffic on Allison Road is expected to be less than expected for the original 2022 plan.

New traffic counts at the Ribaut Road & Allison Road intersection were obtained for this study update and a capacity analysis was performed. The signal should continue to function adequately with construction of the new development, no changes are recommended.

Both the 2022 original study and the 2024 update memo were accepted by SCDOT with no external mitigation required. This 2025 update represents a smaller development than both of the previous assessments. No mitigation is recommended for the current plan.

**Please accept this memorandum as part of the encroachment permit application process.** If you have any questions or concerns, please feel free to email or call the number below.

Sincerely,

**Access Engineering LLC**

A handwritten signature in blue ink, appearing to read "Jeff Ingham", is positioned above the typed name and title.

Jeff Ingham, P.E., PTOE, RSP2

Traffic Engineer

843-819-0270

[Jingham@accesstrafficsc.com](mailto:Jingham@accesstrafficsc.com)

Attachment 1 – Currently proposed plan

Attachment 2 – SCDOT approval of 2024 addendum

Attachment 3 – 2025 Traffic counts

Attachment 4 – Redistribution figures, build volumes and capacity analysis worksheets

Attachment 1 – Currently proposed plan

Attachment 2 – SCDOT approval of 2024 addendum

## Jeff Ingham

---

**From:** Johnson, Joshua A. <JohnsonJA@scdot.org>  
**Sent:** Wednesday, October 30, 2024 10:28 AM  
**To:** Jeff Ingham  
**Cc:** Katelyn Love; Tim Brutcher; Fleming, Juleigh B.; Grooms, Robert W.; Weatherford, Luke A.; Smalls, Patricia B  
**Subject:** RE: Ribaut Road tract - Beaufort  
**Attachments:** 1026 Ribaut Road Traffic Memo.pdf

Jeff,

The Addendum Memo for the Ribaut Rd Mixed Use (now only residential) is accepted with no changes to prior requirements, except that the parking lot at the Allison Rd intersection and its access will not be impacted. No external mitigation is required. Please upload the addendum which is attached and this approval email with the encroachment application.

Thank you,



**Josh Johnson, PE, PTOE**

*District 6 Traffic Engineer*

P 843-746-6719 E johnsonja@scdot.org

South Carolina Department of Transportation  
6355 Fain Street, North Charleston, SC 29406

---

**From:** Jeff Ingham <jingham@accesstrafficsc.com>  
**Sent:** Wednesday, October 30, 2024 8:55 AM  
**To:** Johnson, Joshua A. <JohnsonJA@scdot.org>  
**Cc:** Katelyn Love <klove@accesstrafficsc.com>; Tim Brutcher <timb@carolinaengineering.com>  
**Subject:** RE: Ribaut Road tract - Beaufort

**\*\*\* This is an EXTERNAL email. Please do not click on a link or open any attachments unless you are confident it is from a trusted source. \*\*\***

Josh,  
Please see the attached memo and let me know if there's anything else you need.  
Thanks!

**Jeff Ingham, PE, PTOE, RSP2**

Access Engineering LLC  
Senior Traffic Engineer  
843-819-0270

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Attachment 3 – 2025 Traffic counts





(303) 216-2439  
www.alltrafficdata.net

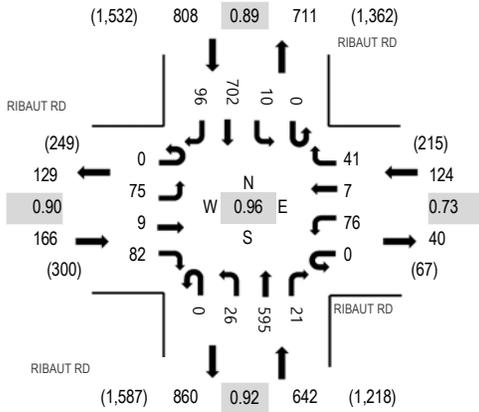
Location: 1 RIBAUT RD & RIBAUT RD PM

Date: Wednesday, March 26, 2025

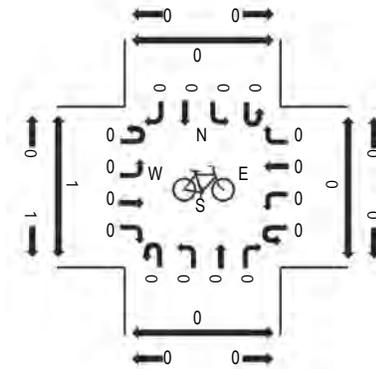
Peak Hour: 04:30 PM - 05:30 PM

Peak 15-Minutes: 05:00 PM - 05:15 PM

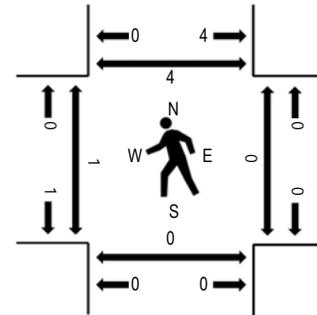
### Peak Hour - Motorized Vehicles



### Peak Hour - Bicycles



### Peak Hour - Pedestrians



Note: Total study counts contained in parentheses.

### Traffic Counts - Motorized Vehicles

Interval Start Time	RIBAUT RD Eastbound				RIBAUT RD Westbound				RIBAUT RD Northbound				RIBAUT RD Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
4:00 PM	0	30	1	15	0	27	3	16	0	8	154	5	0	5	156	21	441	1,686	1	0	0	2
4:15 PM	0	23	0	11	0	12	1	10	0	4	137	5	0	3	170	25	401	1,700	0	0	0	1
4:30 PM	0	15	0	19	0	23	2	13	0	13	157	6	0	1	160	22	431	1,740	1	0	0	0
4:45 PM	0	27	0	19	0	16	2	10	0	3	146	7	0	5	158	20	413	1,693	0	0	0	0
5:00 PM	0	17	2	23	0	18	3	12	0	2	142	5	0	0	199	32	455	1,579	0	0	0	1
5:15 PM	0	16	7	21	0	19	0	6	0	8	150	3	0	4	185	22	441		0	0	0	3
5:30 PM	0	14	1	16	0	8	2	10	0	5	127	3	0	0	170	28	384		0	0	0	0
5:45 PM	0	13	0	10	0	2	0	0	0	8	117	3	0	1	130	15	299		0	0	0	0

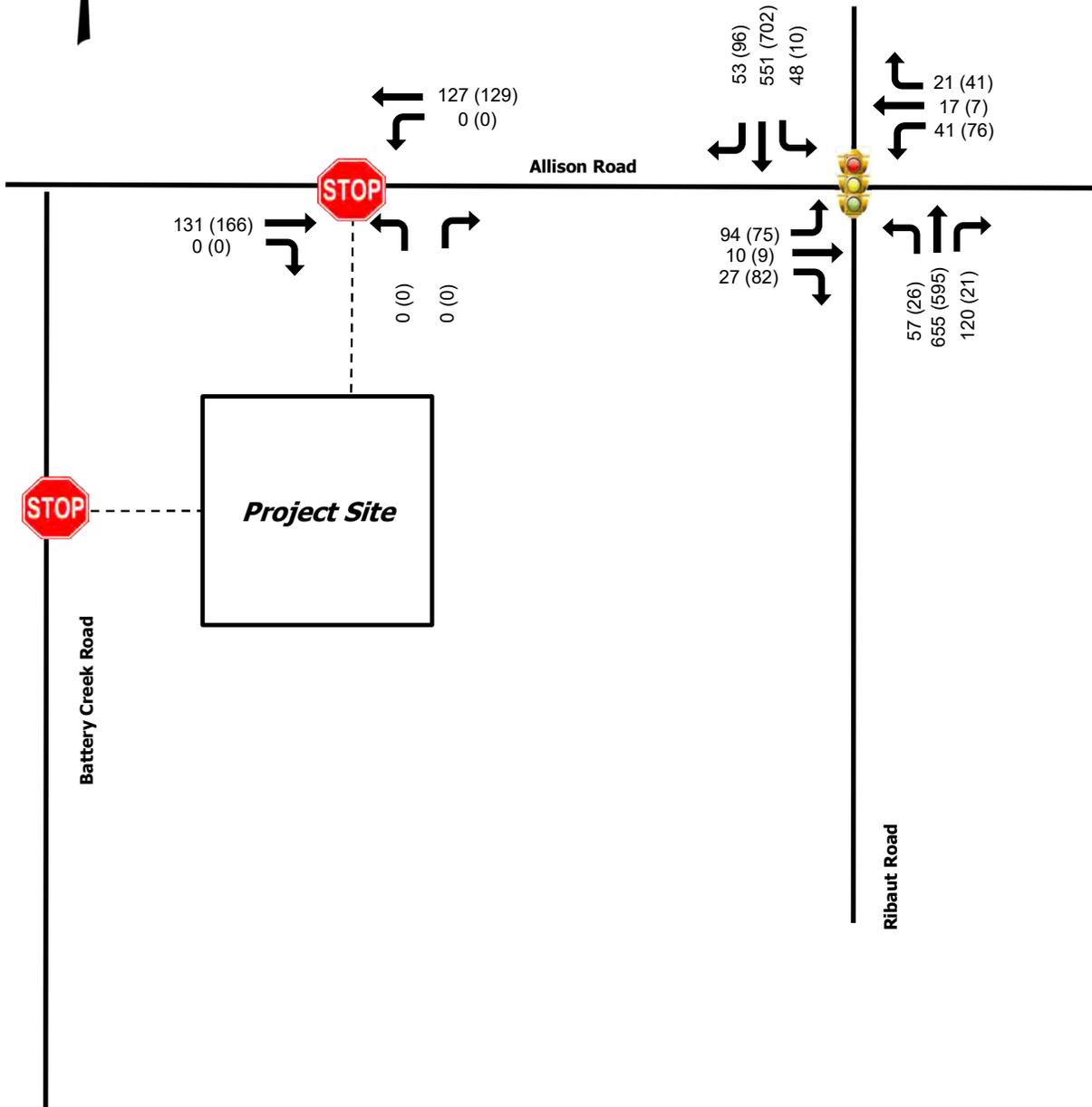
### Peak Rolling Hour Flow Rates

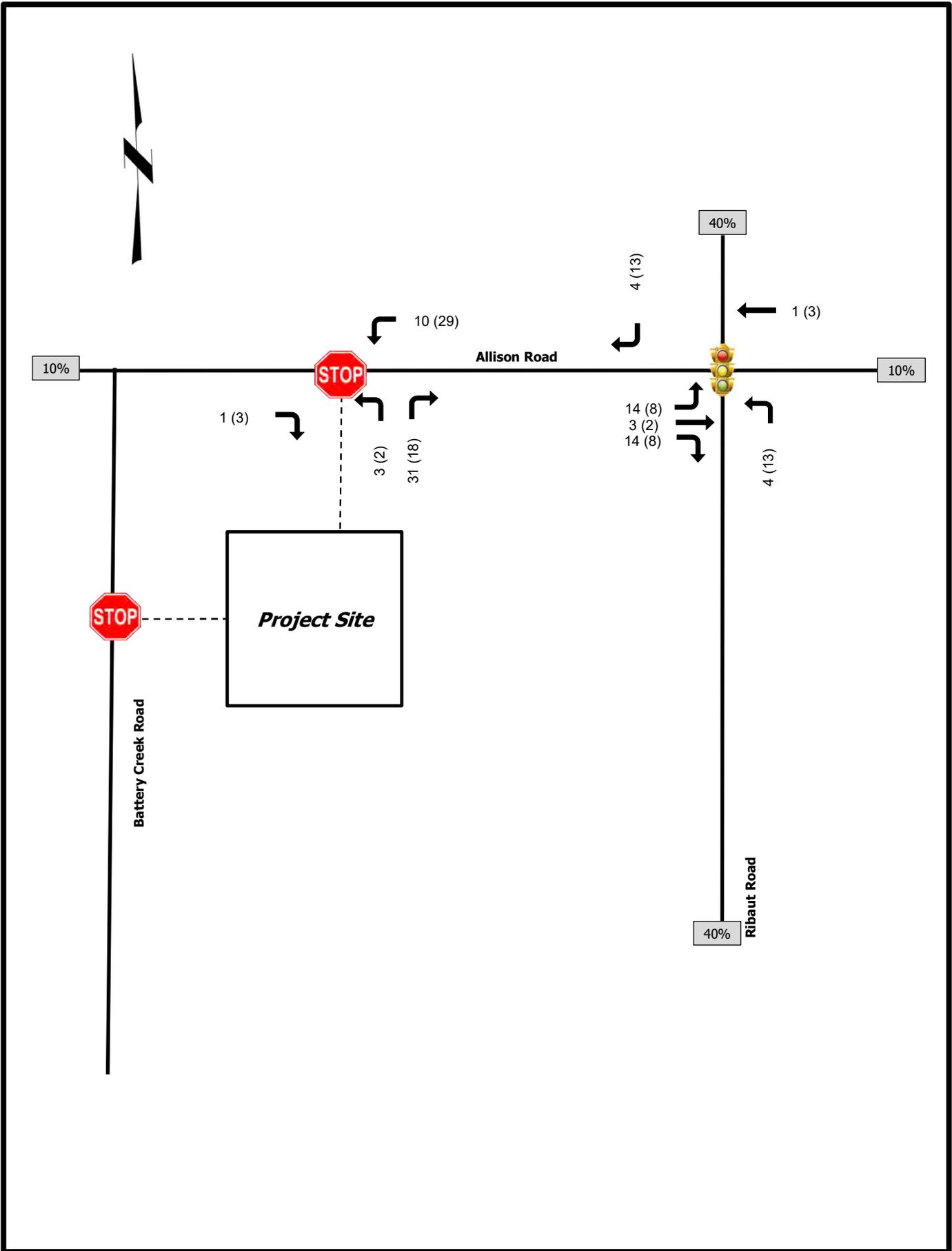
Vehicle Type	Eastbound				Westbound				Northbound				Southbound				Total
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	
Articulated Trucks	0	0	0	0	0	0	0	0	0	0	2	0	0	0	1	0	3
Lights	0	74	9	82	0	76	7	41	0	26	590	21	0	10	699	95	1,730
Mediums	0	1	0	0	0	0	0	0	0	0	3	0	0	0	2	1	7
Total	0	75	9	82	0	76	7	41	0	26	595	21	0	10	702	96	1,740

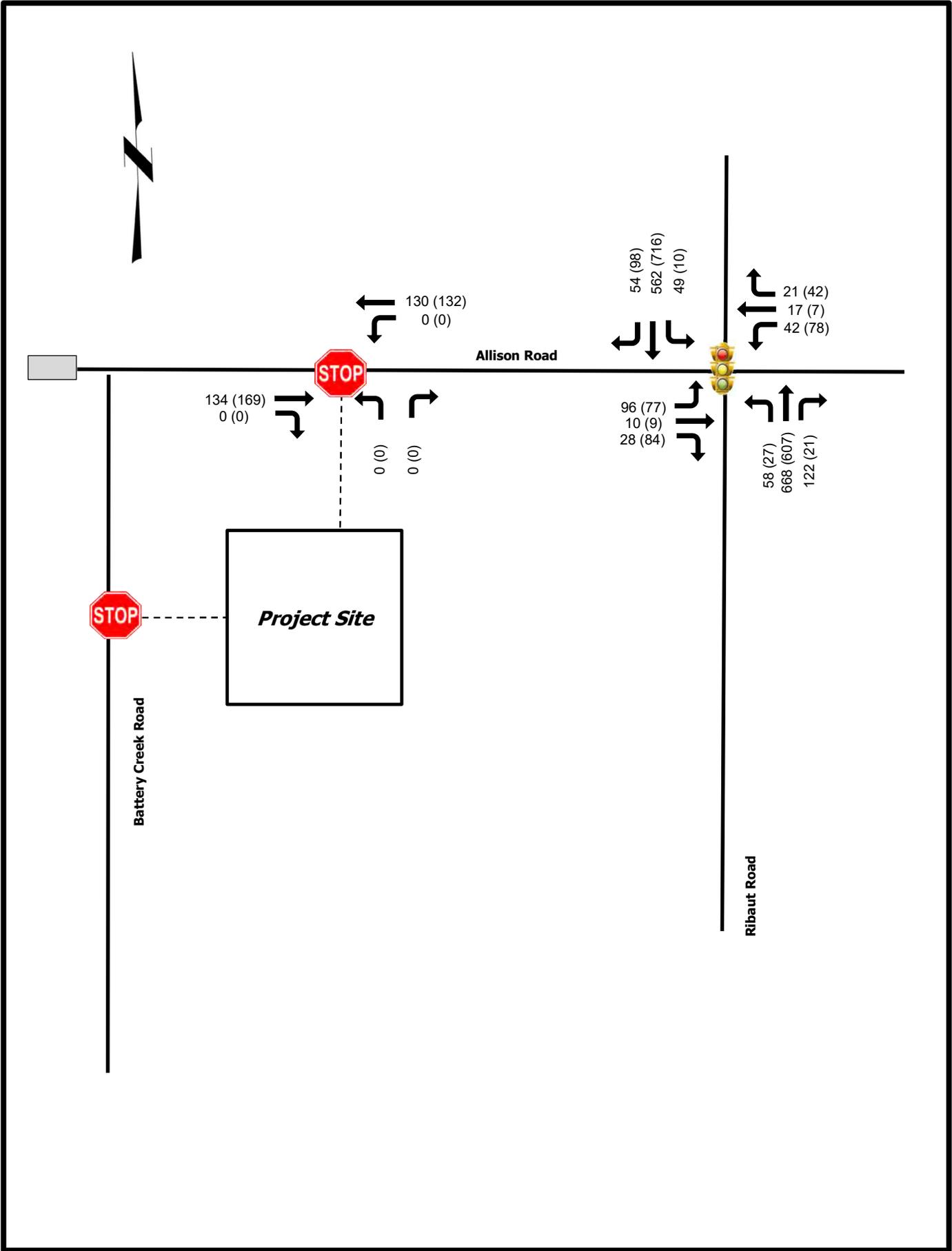
### Heavy Vehicle Percentage and Peak Hour Factor

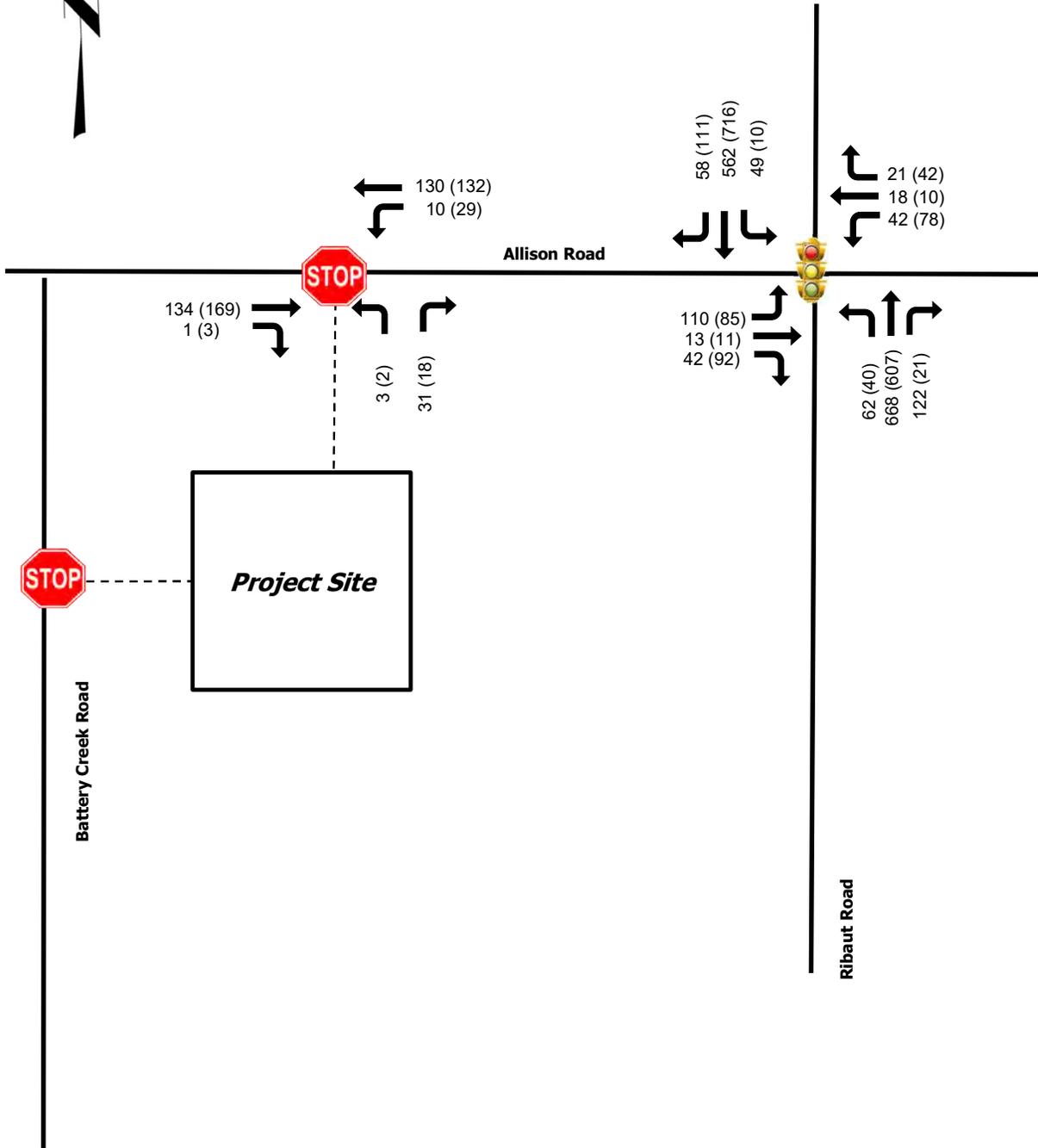
	Eastbound				Westbound				Northbound				Southbound				Total
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	
Heavy Vehicle %	0.0%				0.0%				0.3%				0.1%				0.2%
Heavy Vehicle %	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.3%	0.0%	0.0%	0.0%	0.1%	0.0%	0.2%
Peak Hour Factor	0.90				0.73				0.92				0.89				0.96
Peak Hour Factor	0.00	0.79	0.36	0.89	0.00	0.72	0.67	0.77	0.00	0.54	0.95	0.82	0.00	0.70	0.89	0.80	0.96

Attachment 4 – Redistribution figures, build volumes and capacity analysis worksheets









Lanes, Volumes, Timings  
3: Ribaut Road & Allison Road

2025 AM

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	94	10	27	41	17	21	57	655	120	48	551	53
Future Volume (vph)	94	10	27	41	17	21	57	655	120	48	551	53
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		130	0		50	150		0	150		0
Storage Lanes	0		1	0		1	1		0	1		0
Taper Length (ft)	25			25			25			25		
Satd. Flow (prot)	0	1783	1583	0	1799	1583	1770	3458	0	1770	3493	0
Flt Permitted		0.702			0.718		0.402			0.327		
Satd. Flow (perm)	0	1308	1583	0	1337	1583	749	3458	0	609	3493	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			36			36		36			18	
Link Speed (mph)		30			30			40			40	
Link Distance (ft)		976			682			691			534	
Travel Time (s)		22.2			15.5			11.8			9.1	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	113	29	0	63	23	62	842	0	52	657	0
Turn Type	Perm	NA	Perm	Perm	NA	Perm	Perm	NA		Perm	NA	
Protected Phases		4			8			2			6	
Permitted Phases	4		4	8		8	2			6		
Total Split (s)	35.0	35.0	35.0	35.0	35.0	35.0	55.0	55.0		55.0	55.0	
Total Lost Time (s)		6.0	6.0		6.0	6.0	6.0	6.0		6.0	6.0	
Act Effct Green (s)		11.5	11.5		11.3	11.3	54.2	54.2		54.2	54.2	
Actuated g/C Ratio		0.16	0.16		0.15	0.15	0.73	0.73		0.73	0.73	
v/c Ratio		0.55	0.10		0.31	0.08	0.11	0.33		0.12	0.26	
Control Delay		38.9	8.8		30.8	6.8	5.7	5.2		5.9	4.9	
Queue Delay		0.0	0.0		0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay		38.9	8.8		30.8	6.8	5.7	5.2		5.9	4.9	
LOS		D	A		C	A	A	A		A	A	
Approach Delay		32.7			24.4			5.2			4.9	
Approach LOS		C			C			A			A	

Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 73.8  
 Control Type: Actuated-Uncoordinated  
 Maximum v/c Ratio: 0.55  
 Intersection Signal Delay: 8.1  
 Intersection Capacity Utilization 53.5%  
 Analysis Period (min) 15  
 Intersection LOS: A  
 ICU Level of Service A

Splits and Phases: 3: Ribaut Road & Allison Road



Lanes, Volumes, Timings  
3: Ribaut Road & Allison Road

2025 PM



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↖	↗		↖	↗	↖	↕		↖	↕	
Traffic Volume (vph)	75	9	82	76	7	41	26	595	21	10	702	96
Future Volume (vph)	75	9	82	76	7	41	26	595	21	10	702	96
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		130	0		50	150		0	150		0
Storage Lanes	0		1	0		1	1		0	1		0
Taper Length (ft)	25			25			25			25		
Satd. Flow (prot)	0	1783	1583	0	1781	1583	1770	3522	0	1770	3476	0
Flt Permitted		0.685			0.680		0.320			0.397		
Satd. Flow (perm)	0	1276	1583	0	1267	1583	596	3522	0	740	3476	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			89			45		6			26	
Link Speed (mph)		30			30			40			40	
Link Distance (ft)		976			374			691			534	
Travel Time (s)		22.2			8.5			11.8			9.1	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	92	89	0	91	45	28	670	0	11	867	0
Turn Type	Perm	NA	Perm	Perm	NA	Perm	Perm	NA		Perm	NA	
Protected Phases		4			8			2			6	
Permitted Phases	4		4	8		8	2			6		
Total Split (s)	35.0	35.0	35.0	35.0	35.0	35.0	55.0	55.0		55.0	55.0	
Total Lost Time (s)		6.0	6.0		6.0	6.0	6.0	6.0		6.0	6.0	
Act Effct Green (s)		10.3	10.3		10.3	10.3	53.4	53.4		53.4	53.4	
Actuated g/C Ratio		0.14	0.14		0.14	0.14	0.74	0.74		0.74	0.74	
v/c Ratio		0.50	0.29		0.50	0.17	0.06	0.26		0.02	0.34	
Control Delay		37.8	9.4		37.9	10.4	4.9	4.6		4.6	4.9	
Queue Delay		0.0	0.0		0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay		37.8	9.4		37.9	10.4	4.9	4.6		4.6	4.9	
LOS		D	A		D	B	A	A		A	A	
Approach Delay		23.9			28.8			4.6			4.9	
Approach LOS		C			C			A			A	

Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 72  
 Control Type: Actuated-Uncoordinated  
 Maximum v/c Ratio: 0.50  
 Intersection Signal Delay: 8.3  
 Intersection LOS: A  
 Intersection Capacity Utilization 47.1%  
 ICU Level of Service A  
 Analysis Period (min) 15

Splits and Phases: 3: Ribaut Road & Allison Road



Lanes, Volumes, Timings  
3: Ribaut Road & Allison Road

2027 No Build AM

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	96	10	28	42	17	21	58	668	122	49	562	54
Future Volume (vph)	96	10	28	42	17	21	58	668	122	49	562	54
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		130	0		50	150		0	150		0
Storage Lanes	0		1	0		1	1		0	1		0
Taper Length (ft)	25			25			25			25		
Satd. Flow (prot)	0	1783	1583	0	1798	1583	1770	3458	0	1770	3493	0
Flt Permitted		0.701			0.715		0.397			0.320		
Satd. Flow (perm)	0	1306	1583	0	1332	1583	740	3458	0	596	3493	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			36			36		37			18	
Link Speed (mph)		30			30			40			40	
Link Distance (ft)		976			573			691			534	
Travel Time (s)		22.2			13.0			11.8			9.1	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	115	30	0	64	23	63	859	0	53	670	0
Turn Type	Perm	NA	Perm	Perm	NA	Perm	Perm	NA		Perm	NA	
Protected Phases		4			8			2			6	
Permitted Phases	4		4	8		8	2			6		
Total Split (s)	35.0	35.0	35.0	35.0	35.0	35.0	55.0	55.0		55.0	55.0	
Total Lost Time (s)		6.0	6.0		6.0	6.0	6.0	6.0		6.0	6.0	
Act Effct Green (s)		11.7	11.7		11.4	11.4	54.1	54.1		54.1	54.1	
Actuated g/C Ratio		0.16	0.16		0.15	0.15	0.73	0.73		0.73	0.73	
v/c Ratio		0.56	0.11		0.31	0.08	0.12	0.34		0.12	0.26	
Control Delay		38.8	9.0		30.8	6.6	5.8	5.3		6.0	5.0	
Queue Delay		0.0	0.0		0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay		38.8	9.0		30.8	6.6	5.8	5.3		6.0	5.0	
LOS		D	A		C	A	A	A		A	A	
Approach Delay		32.6			24.4			5.3			5.1	
Approach LOS		C			C			A			A	

Intersection Summary

Area Type:	Other
Cycle Length:	90
Actuated Cycle Length:	73.9
Control Type:	Actuated-Uncoordinated
Maximum v/c Ratio:	0.56
Intersection Signal Delay:	8.2
Intersection LOS:	A
Intersection Capacity Utilization:	54.0%
ICU Level of Service:	A
Analysis Period (min):	15

Splits and Phases: 3: Ribaut Road & Allison Road



Lanes, Volumes, Timings  
3: Ribaut Road & Allison Road

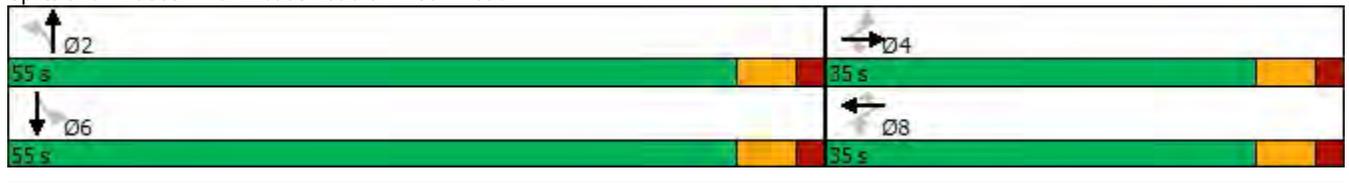
2027 No Build PM

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	77	9	84	78	7	42	27	607	21	10	718	98
Future Volume (vph)	77	9	84	78	7	42	27	607	21	10	718	98
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		130	0		50	150		0	150		0
Storage Lanes	0		1	0		1	1		0	1		0
Taper Length (ft)	25			25			25			25		
Satd. Flow (prot)	0	1783	1583	0	1781	1583	1770	3522	0	1770	3476	0
Flt Permitted		0.683			0.678		0.312			0.392		
Satd. Flow (perm)	0	1272	1583	0	1263	1583	581	3522	0	730	3476	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			91			46		6			26	
Link Speed (mph)		30			30			40			40	
Link Distance (ft)		976			650			691			534	
Travel Time (s)		22.2			14.8			11.8			9.1	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	94	91	0	93	46	29	683	0	11	887	0
Turn Type	Perm	NA	Perm	Perm	NA	Perm	Perm	NA		Perm	NA	
Protected Phases		4			8			2			6	
Permitted Phases	4		4	8		8	2			6		
Total Split (s)	35.0	35.0	35.0	35.0	35.0	35.0	55.0	55.0		55.0	55.0	
Total Lost Time (s)		6.0	6.0		6.0	6.0	6.0	6.0		6.0	6.0	
Act Effct Green (s)		10.5	10.5		10.5	10.5	53.4	53.4		53.4	53.4	
Actuated g/C Ratio		0.15	0.15		0.15	0.15	0.74	0.74		0.74	0.74	
v/c Ratio		0.51	0.30		0.51	0.17	0.07	0.26		0.02	0.34	
Control Delay		38.0	9.3		38.1	10.3	5.0	4.6		4.7	5.0	
Queue Delay		0.0	0.0		0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay		38.0	9.3		38.1	10.3	5.0	4.6		4.7	5.0	
LOS		D	A		D	B	A	A		A	A	
Approach Delay		23.9			28.9			4.7			5.0	
Approach LOS		C			C			A			A	

Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 72.1  
 Control Type: Actuated-Uncoordinated  
 Maximum v/c Ratio: 0.51  
 Intersection Signal Delay: 8.4  
 Intersection Capacity Utilization 47.9%  
 Analysis Period (min) 15  
 Intersection LOS: A  
 ICU Level of Service A

Splits and Phases: 3: Ribaut Road & Allison Road



Lanes, Volumes, Timings  
3: Ribaut Road & Allison Road

2027 Build AM  
04/07/2025

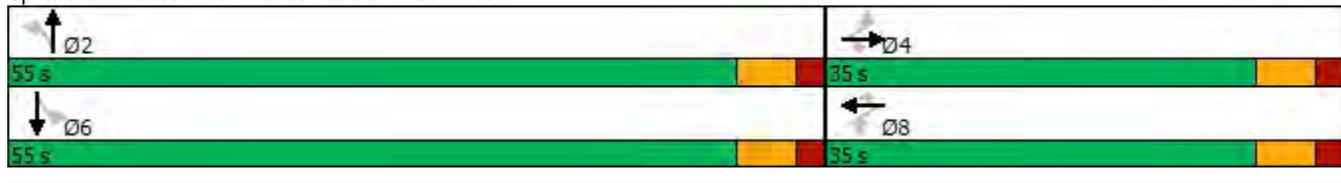


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕	↗		↕	↗	↗	↕↗		↗	↕↗	
Traffic Volume (vph)	110	13	42	42	18	21	62	668	122	58	562	54
Future Volume (vph)	110	13	42	42	18	21	62	668	122	58	562	54
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		130	0		50	150		0	150		0
Storage Lanes	0		1	0		1	1		0	1		0
Taper Length (ft)	25			25			25			25		
Satd. Flow (prot)	0	1783	1583	0	1799	1583	1770	3458	0	1770	3493	0
Flt Permitted		0.701			0.710		0.396			0.314		
Satd. Flow (perm)	0	1306	1583	0	1323	1583	738	3458	0	585	3493	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			46			36		37			18	
Link Speed (mph)		30			30			40			40	
Link Distance (ft)		976			573			691			534	
Travel Time (s)		22.2			13.0			11.8			9.1	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	134	46	0	66	23	67	859	0	63	670	0
Turn Type	Perm	NA	Perm	Perm	NA	Perm	Perm	NA		Perm	NA	
Protected Phases		4			8			2			6	
Permitted Phases	4		4	8		8	2			6		
Total Split (s)	35.0	35.0	35.0	35.0	35.0	35.0	55.0	55.0		55.0	55.0	
Total Lost Time (s)		6.0	6.0		6.0	6.0	6.0	6.0		6.0	6.0	
Act Effct Green (s)		13.1	13.1		13.1	13.1	51.9	51.9		51.9	51.9	
Actuated g/C Ratio		0.17	0.17		0.17	0.17	0.67	0.67		0.67	0.67	
v/c Ratio		0.61	0.15		0.29	0.08	0.13	0.37		0.16	0.28	
Control Delay		40.4	9.3		29.6	6.3	6.4	6.2		7.0	5.8	
Queue Delay		0.0	0.0		0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay		40.4	9.3		29.6	6.3	6.4	6.2		7.0	5.8	
LOS		D	A		C	A	A	A		A	A	
Approach Delay		32.4			23.6			6.2			5.9	
Approach LOS		C			C			A			A	

Intersection Summary

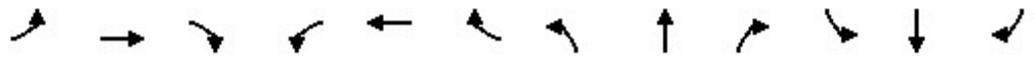
Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 77  
 Control Type: Actuated-Uncoordinated  
 Maximum v/c Ratio: 0.61  
 Intersection Signal Delay: 9.3  
 Intersection Capacity Utilization 55.0%  
 Analysis Period (min) 15  
 Intersection LOS: A  
 ICU Level of Service A

Splits and Phases: 3: Ribaut Road & Allison Road



Lanes, Volumes, Timings  
3: Ribaut Road & Allison Road

2027 Build PM

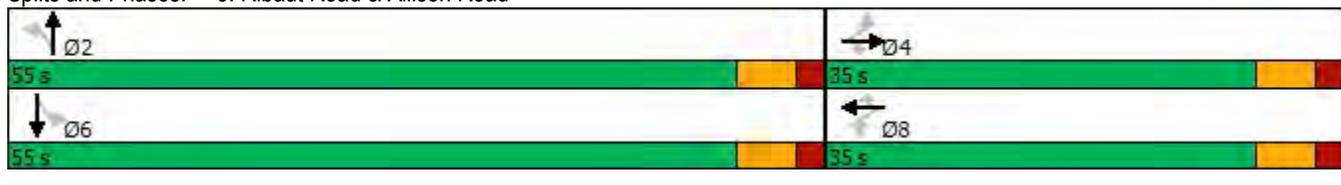


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↖	↗		↖	↗	↖	↕		↖	↕	
Traffic Volume (vph)	85	11	92	78	10	42	40	607	21	10	718	111
Future Volume (vph)	85	11	92	78	10	42	40	607	21	10	718	111
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		130	0		50	150		0	150		0
Storage Lanes	0		1	0		1	1		0	1		0
Taper Length (ft)	25			25			25			25		
Satd. Flow (prot)	0	1785	1583	0	1785	1583	1770	3522	0	1770	3468	0
Flt Permitted		0.684			0.678		0.302			0.392		
Satd. Flow (perm)	0	1274	1583	0	1263	1583	563	3522	0	730	3468	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			100			46		6			30	
Link Speed (mph)		30			30			40			40	
Link Distance (ft)		976			650			691			534	
Travel Time (s)		22.2			14.8			11.8			9.1	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	104	100	0	96	46	43	683	0	11	901	0
Turn Type	Perm	NA	Perm	Perm	NA	Perm	Perm	NA		Perm	NA	
Protected Phases		4			8			2			6	
Permitted Phases	4		4	8		8	2			6		
Total Split (s)	35.0	35.0	35.0	35.0	35.0	35.0	55.0	55.0		55.0	55.0	
Total Lost Time (s)		6.0	6.0		6.0	6.0	6.0	6.0		6.0	6.0	
Act Effct Green (s)		11.3	11.3		11.3	11.3	51.9	51.9		51.9	51.9	
Actuated g/C Ratio		0.15	0.15		0.15	0.15	0.69	0.69		0.69	0.69	
v/c Ratio		0.54	0.31		0.51	0.17	0.11	0.28		0.02	0.38	
Control Delay		39.2	8.9		37.6	10.0	5.8	5.2		4.9	5.7	
Queue Delay		0.0	0.0		0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay		39.2	8.9		37.6	10.0	5.8	5.2		4.9	5.7	
LOS		D	A		D	B	A	A		A	A	
Approach Delay		24.3			28.7			5.2			5.6	
Approach LOS		C			C			A			A	

Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 75.2  
 Control Type: Actuated-Uncoordinated  
 Maximum v/c Ratio: 0.54  
 Intersection Signal Delay: 9.1  
 Intersection LOS: A  
 Intersection Capacity Utilization 54.5%  
 ICU Level of Service A  
 Analysis Period (min) 15

Splits and Phases: 3: Ribaut Road & Allison Road



# March Submittal

# SKETCH MASTER PLAN

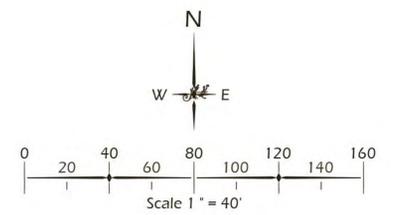


## DEVELOPMENT SUMMARY

TYPE	QUANTITY
<span style="display:inline-block; width:15px; height:15px; background-color:#f9e79f;"></span> <b>TOWNHOME 'A'</b> 24' x 110' MIN. PARKING ON LOT (2 SPACES)	6 UNITS
<span style="display:inline-block; width:15px; height:15px; background-color:#f4a460;"></span> <b>TOWNHOME 'B'</b> 24' x 90' MIN. PARKING ON LOT (2 SPACES)	19 UNITS
<span style="display:inline-block; width:15px; height:15px; background-color:#fff2cc;"></span> <b>TOWNHOME 'C'</b> 22' x 110' MIN. PARKING ON LOT (2 SPACES)	20 UNITS
<span style="display:inline-block; width:15px; height:15px; background-color:#fff2cc;"></span> <b>TOWNHOME 'D'</b> 22' x 65' MIN. PARKING ON LOT (2 SPACES)	21 UNITS
<span style="display:inline-block; width:15px; height:15px; background-color:#c85135;"></span> <b>2-UNIT BLDG (DUPLX)</b> PARKING ALLOCATED ON SITE PLAN	2 UNITS
<span style="display:inline-block; width:15px; height:15px; border:1px solid black;"></span> <b>2-UNIT BLDG (STACKED)</b> PARKING ALLOCATED ON SITE PLAN	4 UNITS
<b>TOTAL UNITS</b>	<b>72 UNITS</b>

## PARKING LEGEND

- ON - STREET PARKING / GUEST PARKING
- \* ON - LOT PARKING / CARRIAGE HOUSE
- + PARKING FOR 2 UNIT / 4 UNIT BUILDING



**GENERAL NOTES:**

- ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES.
- REFER TO ENGINEERING PLANS FOR LAYOUT AND LOCATION OF UTILITIES AND ROADS
- THIS IS A DESIGN DEVELOPMENTS SET USED TO DESCRIBE THE DESIGN INTENT ONLY. ALL CONSTRUCTION DETAILS, LAYOUT, GRADING, UTILITIES, PROPERTY LINES, ETC. MUST BE FIELD VERIFIED WITH ANY DISCREPANCIES REPORTED TO THE OWNERS OR OWNERS REPRESENTATIVE. ALL CONSTRUCTION MUST ADHERE TO OR EXCEED REGULATIONS AND CODES OF THE AMERICANS WITH DISABILITIES ACT, ALL NATIONAL, STATE, LOCAL AND OTHER GOVERNING AUTHORITIES. W.J.K. LTD. IS NOT RESPONSIBLE FOR ANY WRONGFUL CONSTRUCTION PRACTICES.
- ALL SURVEY AND SITE INFORMATION WERE COMPILED FROM A VARIETY OF SOURCES AT VARIOUS TIMES. SITE INFORMATION MUST BE FIELD VERIFIED BEFORE CONSTRUCTION BEGINS. REPORT ANY DISCREPANCIES TO THE OWNER OR OWNERS REPRESENTATIVE.
- IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES.
- THE REQUIREMENTS OF THE SPECIFICATIONS, DRAWINGS, GENERAL REQUIREMENTS, AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING FOR ALL CONTRACTORS AND TRADES.
- EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL (COLOR) SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND FOR REVIEWS BY COUNTY AND / OR MUNICIPALITY OFFICIALS FOR INSPECTIONS.
- ALL CONTRACTORS AND ALL TRADES ARE RESPONSIBLE FOR OBTAINING THE CORRECT PERMITS AND INSPECTIONS PRIOR TO CONSTRUCTION AS REQUIRED BY LOCAL PLANNING, ZONING, BUILDING CODE AND OTHER TOWN AUTHORITIES.
- W.J.K. LTD., THE OWNER AND / OR THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. THE OWNER OR OWNER'S REPRESENTATIVE SHALL MAKE INFIELD MODIFICATIONS, IF NECESSARY.
- CONTRACTOR SHALL PROVIDE AND FURNISH ALL MATERIALS, EQUIPMENT AND LABOR NECESSARY FOR ALL CONSTRUCTION, PROTECTION, MAINTENANCE AND RELATED ITEMS TO COMPLETE WORK INDICATED ON THE DRAWINGS.
- BEFORE COMMENCING ANY WORK CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES, SUB-SURFACE DRAINAGE, AND UNDERGROUND CONSTRUCTION SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB ANY SUB-SURFACE IMPROVEMENTS. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS IN BRINGING EQUIPMENT ON TO AND OFF OF THE SITE, PROTECTING WALKS, PAVING, STEPS AND OTHER EXISTING CONSTRUCTION ON THE SITE. CONTACTS SHALL BE MADE BY CONTRACTOR WITH PROPER AUTHORITIES BEFORE AND DURING THIS WORK SO AS TO COMPLY WITH ALL REGULATIONS AND ORDINANCES.
- CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES AND CONFIRM / DETERMINE UTILITY ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE AND MAKE REPAIRS, AT THEIR OWN EXPENSE, THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
- CONTRACTOR SHALL VERIFY ALL EXISTING TREE CONDITIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER OR OWNERS REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO THEIR REMOVAL.
- CONTRACTOR SHALL PROTECT AND INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINE OF ALL TREES, NATURAL AREAS AND EXISTING VEGETATION TO REMAIN. TREE PROTECTION LOCATION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION FOR ALL TRADES SHALL CONFORM TO OR EXCEED THE PRODUCT MANUFACTURER'S RECOMMENDATIONS, REGULATIONS OF BEAUFORT COUNTY AND THE AMERICANS WITH DISABILITIES ACT, AND / OR OTHER APPLICABLE NATIONAL, STATE, AND LOCAL CODES AND ANY OTHER GOVERNING AUTHORITIES.
- CONTRACTOR ACCESS FOR CONSTRUCTION AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PROTECT THE GENERAL PUBLIC FROM CONSTRUCTION AREAS DURING CONSTRUCTION.
- THE OWNER MAY REQUIRE FLAG MEN TO BE AVAILABLE DURING THE CONSTRUCTION PROCESS.
- ANY DEVIATIONS FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY W.J.K. LTD., AND THE OWNER OR OWNER'S REPRESENTATIVE.

**LAYOUT NOTES:**

- ALL CONSTRUCTION STAKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR TO USE DIGITAL FILES PROVIDED BY WITMER-JONES-KEEFER, LTD. TO LAYOUT AND STAKE ALL SITE IMPROVEMENTS AND ELEMENTS. FINAL LAYOUT AND STAKING TO BE FIELD VERIFIED AND APPROVED BY LANDSCAPE ARCHITECT AND OWNER OR OWNERS REPRESENTATIVE PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL FIELD LOCATE, STAKE AND USE COLOR CODED SPRAY PAINT FOR ALL ABOVE AND BELOW GROUND UTILITIES. CONTRACTOR TO CONFIRM / DETERMINE UTILITY ELEVATIONS PRIOR TO CONSTRUCTION. ANY EXISTING UTILITY CONFLICTS WITH SITE IMPROVEMENTS TO BE REPORTED TO OWNER, OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES AS STATED IN THE GENERAL NOTES.
- ALL SITE IMPROVEMENTS REPRESENTED IN THIS SET OF PLANS SHALL BE STAKED AND REVIEWED WITH THE OWNER OR OWNERS REPRESENTATIVE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES TO BE REPORTED TO THE OWNER, OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL DIMENSIONS ARE TO EDGE OF PAVING AND CENTERLINE OF WALLS AND COLUMNS UNLESS OTHERWISE INDICATED.
- ALL ANGLES ARE 90 UNLESS OTHERWISE INDICATED.
- CONTRACTOR SHALL PROVIDE LIGHTING, IRRIGATION AND ANY OTHER CONDUIT NEEDED TO ALL LANDSCAPE AREAS.
- ANY AND ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM THE OWNER, OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

**GRADING NOTES:**

- CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNERS REPRESENTATIVE OF DISCREPANCIES.
- CROSS SLOPES ON ALL HARDSCAPE WALKWAYS / PATHWAYS ARE NOT TO EXCEED 2%.
- ALL ACCESSIBLE WALKWAYS / PATHWAYS RUNNING SLOPE (GRADIENT) MAY NOT EXCEED 4.9% UNLESS A RAMP IS INSTALLED. IF A RAMP IS INSTALLED THE RUNNING SLOPE (GRADIENT) SHALL NOT EXCEED 8.33% AND HANDRAILS SHALL BE INSTALLED ON BOTH SIDES (MINIMUM 36" CLEARANCE BETWEEN HANDRAILS) WHEN RAMP RISE IS GREATER THAN 6".
- IF DISCREPANCIES DEVELOP BETWEEN THE PROPOSED GRADES AS SHOWN ON THE PLAN AND THE EXISTING GROUND SURFACE, THE CONTRACTOR, WITH PRIOR APPROVAL FROM THE OWNERS REPRESENTATIVE, SHALL MAKE GRADING ADJUSTMENTS NECESSARY TO MAINTAIN THE GENERAL INTENT OF THE DESIGN.
- CONTRACTOR IS RESPONSIBLE FOR ALL PAVED AREAS DAMAGED DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL ADJACENT PROPERTIES, WALLS, WALKS AND PLANTING BEDS AND TOWARDS EXISTING DRAIN INLETS, SWALES, STORMWATER LAGOONS OR ROADS.
- ALL DISTURBED AREAS INCLUDING SHALLOW SWALES SHALL BE MULCHED OR PLANTED AS INDICATED ON PLANTING PLANS.
- IF REQUIRED, POP UP EMITTER SHALL BE N.D.S. 6" POP UP DRAINAGE EMITTER BLACK IN COLOR.
- LANDSCAPE DRAIN SHALL BE AS SPECIFIED ON PLANS.
- LANDSCAPE DRAINS SHALL BE ADDED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS IN LOW / FLAT AREAS THAT DID NOT SHOW UP ON THE TOPOGRAPHIC SURVEY. LANDSCAPE DRAIN SHALL BE APPROVED BY OWNER, OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

**LIGHTING NOTES:**

- THE INTENT OF THE LIGHTING DESIGN IS TO PROVIDE LOW LEVEL UNOBTUSIVE SITE LIGHTING OR ARCHITECTURAL ELEMENTS. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CREATE THIS EFFECT BY CLOSE COORDINATION WITH THE LANDSCAPE ARCHITECT AND CAREFUL PLACEMENT OF ALL FIXTURES.
- THE CONTRACTOR SHALL ENGINEER THE ELECTRICAL SYSTEM BASED ON THE LOCATION AND TYPE OF FIXTURES AS SHOWN ON THE PLAN. PROPERLY SIZED WIRING, TRANSFORMERS, BREAKERS, ACCESSORIES, ETC., SHALL BE PROVIDED BY THE CONTRACTOR AS NECESSARY TO GUARANTEE A COMPLETELY FUNCTIONAL LIGHTING, DISTRIBUTION AND CONTROL SYSTEM.
- CONTRACTOR TO PROVIDE ELECTRICAL PLANS AND SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER OR OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL LIGHTING EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS, AND MUST COMPLY WITH ALL APPLICABLE STATE AND COUNTY CODES.
- THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS AND INSPECTION / APPROVALS REQUIRED.
- THE CONTRACTOR SHALL STAKE OUT ALL LIGHT FIXTURE AND TRANSFORMER LOCATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT, OWNER, OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. EXACT LOCATIONS OF CONTROLLERS, ELECTRICAL PANELS, ETC. TO BE COORDINATED WITH AND APPROVED BY OWNER, OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- FINAL AIMING AND ADJUSTMENT SHALL BE MADE AT NIGHT WITH LANDSCAPE ARCHITECT PRESENT TO GIVE FINAL APPROVAL.
- THE CONTRACTOR SHALL COORDINATE, STAKE AND FLAG ALL LOCATIONS WHERE ELECTRICAL CONDUIT OR P.V.C. SLEEVING MAY BE REQUIRED BENEATH WALKS OR OTHER PAVED AREAS PRIOR TO HARDSCAPE INSTALLATION.
- ALL ELECTRICAL WIRING RUNNING UNDER PAVED AREAS SHALL BE PLACED IN ELECTRICAL CONDUIT OR PVC SLEEVES PROVIDED BY CONTRACTOR.
- CONTRACTOR SHALL RUN ALL NECESSARY ELECTRICAL WIRING TO UTILITY PANEL AND TRANSFORMER.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF 36" OF BURIES EXCESS CABLE AT EACH FIXTURE TO ALLOW FOR FIXTURE ADJUSTMENT.
- ALL LIGHTING TO BE PLACED ON AN APPROPRIATE TIMER. THE CONTRACTOR SHALL SELECT AN APPROPRIATE TIMER FOR ALL LIGHTS AND SET THE TIME APPROPRIATELY FOR PROPER NIGHT TIME ILLUMINATION, FOR APPROVAL BY OWNER OR OWNERS REPRESENTATIVE.
- CONTRACTOR SHALL PROVIDE GROUND FAULT CIRCUIT BREAKERS FOR ALL CIRCUITS AS REQUIRED BY NATIONAL, STATE AND LOCAL CODES.
- THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, LABOR, EXCAVATION AND BACKFILL NECESSARY TO COMPLETE THE WORK.
- ALL FIXTURES PER MODELS SPECIFIED UNLESS CONTRACTOR GETS APPROVAL FROM LANDSCAPE ARCHITECT FOR A SUBSTITUTION.
- SYSTEM INSTALLATION, INCLUDING PARTS AND LABOR, SHALL BE GUARANTEED AND REPAIRED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.
- CONTRACTOR TO PROVIDE "AS-BUILT" DRAWINGS IMMEDIATELY AFTER FINAL ACCEPTANCE, ALONG WITH ALL INSTRUCTION MANUALS FOR ALL EQUIPMENT INSTALLED.
- IF POSSIBLE, FIELD MODIFICATIONS WILL BE DIRECTED BY THE LANDSCAPE ARCHITECT, OWNER OR OWNERS REPRESENTATIVE.

**SOIL AMENDMENT NOTES:**

- TOPSOIL SHALL CONSIST OF THE NATURAL LOAM, SANDY LOAM, SILT LOAM, OR CLAY LOAM HUMUS BEARING SOILS, ADAPTED TO THE SUSTENANCE OF PLANT LIFE, WITH THE FOLLOWING TEXTURE:
  - ORGANIC MATERIAL - TWO (2) TO TWENTY (20) PERCENT BY MASS
  - SAND CONTENT - TWENTY (20) TO SIXTY (60) PERCENT BY MASS
  - CLAY-SILT CONTENT - THIRTY FIVE (35) TO SEVENTY (70) PERCENT BY MASS.
  - TOPSOIL PH SHALL BE BETWEEN FIVE (5) AND SEVEN (7).
- TOPSOIL SHALL BE OF UNIFORM QUALITY AND FREE FROM FOREIGN MATERIAL SUCH HARD CLODS, SOD, STIFF CLAY, HARD PAN, STONES LARGER THAN ONE (1) INCH DIAMETER, LIME CEMENT, ASHES, SLAG, CONCRETE, TAR RESIDUES, TARRER PAPER, BOARDS, CHIPS, STICKS, OR OTHER UNDESIRABLE MATERIALS. IT SHALL ALSO BE REASONABLY FREE FROM WEEDS AND OBJECTIONABLE PLANT MATERIAL.
- AFTER ALL DEMOLITION, CLEARING AND DISPOSAL IS COMPLETED, THE CONTRACTOR SHALL STRIP FROM THE TOP OF THE EXISTING GROUND ALL TOPSOIL IN ALL AREAS TO BE GRADED.
- PRIOR TO STOCKPILING OF TOPSOIL, TOPSOIL SHALL BE SCREENED WITH A ONE HALF (1/2) INCH SIZE SIEVE. STOCKPILE TOPSOIL IN DESIGNATED OR APPROVED LOCATIONS WITH PROPER DRAINAGE AND WHERE IT WILL NOT INTERFERE WITH THE WORK. AFTER TOPSOIL HAS BEEN STOCKPILED, CONTRACTOR SHALL QUANTIFY THE AMOUNTS AT NO ADDITIONAL COST TO THE OWNER. QUANTITIES SHALL BE GIVEN TO THE ARCHITECT, OWNER AND SITE DESIGN PROFESSIONAL.
- IF AMOUNT OF SCREENED TOPSOIL STOCKPILED FROM STRIPING OPERATIONS IS INSUFFICIENT TO PROVIDE THE NECESSARY AMOUNTS (4" MINIMUM DEPTH), IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN (FROM OFF-SITE SOURCE) THE NECESSARY AMOUNT OF SCREENED TOPSOIL TO COMPLETE THE PROJECT.
- SCREENED TOPSOIL SHALL BE DISTRIBUTED WITH A MINIMUM DEPTH OF FOUR (4) INCHES TO ALL GRADED AREAS (NOT INCLUDING BUILDING, PAVED, SYNTHETIC TURF, PERVIOUS PAVEMENT, ETC.) AND / OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. GROUND SHALL BE SCARIFIED BEFORE PLACING TOPSOIL. AREAS WHERE SCREENED TOPSOIL IS DISTRIBUTED SHALL BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATION (SEASON DEPENDENT) OR TEMPORARY MULCH WITHIN FOURTEEN (14) CALENDAR DAYS OF DISTRIBUTION.

**PLANTING NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS, INCLUDING UTILITIES, AND PROMPTLY REPORTING ANY DISCREPANCIES OR CONFLICTS WITH PLANTING AREAS. REPORT INFORMATION TO OWNER, OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE AND MAKE REPAIRS THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
- LANDSCAPE PLANTING AND / OR MULCHED AREAS TO BE FINE GRADED, HAND RAKED SMOOTH AND FREE OF DEBRIS.
- CONTRACTOR TO PERFORM SOIL TESTS AS NECESSARY TO ASSURE PLANT HEALTH AND GROWTH.
- MULCH ALL PLANTING BEDS TO A MIN. 3" DEPTH WITH MULCH SPECIFIED IN PLANT SCHEDULE.
- CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID / PROPOSAL IS SUBMITTED.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES ONLY. CONTRACTOR SHALL MAKE OWN QUANTITY TAKEOFFS USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- GALLON SIZES ARE FOR PRICING PURPOSES ONLY. PLANT MUST MEET HEIGHTS AND WIDTHS SPECIFIED IN PLANT SCHEDULE.
- ROOT TYPE MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, OTHER SPECIFICATIONS REMAINING UNCHANGED, EXCEPT IN THE CASE OF CONTAINER GROWN SPECIMEN TREES AS INDICATED IN THE TREE PLANTING SCHEDULE.
- ANY SIGNIFICANT ROOTS ENCOUNTERED 2" DIA. AND LARGER SHALL BE DUG OUT BY HAND AND CLEANLY CUT BACK IN THE FOOTING / FOUNDATION AREA TO PROMOTE ROOT RE-GROWTH AND HELP PREVENT ROOT DIEBACK.
- ALL PLANT MATERIAL (EXCEPT SEASONAL COLOR) SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.
- ALL SEASONAL COLOR SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR THREE MONTH TIME FRAMES.

**IRRIGATION NOTES:**

- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, BACK FLOW CONTROLLER, AND IRRIGATION METER AND TO PROVIDE 100% COVERAGE FOR ALL NEW PLANTINGS. DRIP IRRIGATION TO BE USED FOR ALL PLANTINGS, EXCEPT LAWNS.
- NO IRRIGATION COMPONENTS SHALL BE CLOSER THAN 12" TO ANY EDGE OF PAVEMENT OR CURB AND GUTTER. IRRIGATION SHALL NOT SPRAY BEYOND LANDSCAPED AREAS, OR INTO ANY UNDISTURBED BUFFERS. NO OVER SPRAY SHALL BE PERMITTED ONTO ADJACENT PROPERTIES OR PEDESTRIAN SIDEWALK AREAS.
- LANDSCAPE CONTRACTOR TO FIELD VERIFY ALL COMPONENT LOCATIONS TO ENSURE APPROPRIATE COVERAGE.
- LANDSCAPE CONTRACTOR SHALL LOCATE WATER SOURCE AND PROVIDE POWER TO CONTROLLER.
- CONTROLLER LOCATION TO BE SPECIFIED BY OWNERS REPRESENTATIVE IN FIELD PRIOR TO CONSTRUCTION.
- ALL DRIP TUBING SHALL BE COVERED WITH MIN. 3" OF MULCH.
- ALL DRIP AND SPRAY ZONES SHALL BE SEPARATE.
- CONTRACTOR SHALL SUBMIT FINAL IRRIGATION PLANS TO OWNER'S REPRESENTATIVE AND ALL REVIEWING BODIES / AGENCIES FOR FINAL APPROVAL PRIOR TO INSTALLATION.

**TURF AND GRASSING NOTES:**

- GRASS SEED: PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSIS OF NORTH AMERICA. PROVIDE SEED MIXTURE COMPOSED OF GRASS SPECIES, PROPORTIONS AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED, AS SPECIFIED SEED MANUFACTURER.
- SOD SHALL BE STRONGLY ROOTED AND FREE OF PERNICIOUS WEEDS. ALL NETTING SHALL BE REMOVED FROM SOD BEFORE IT IS LAID.
- ALL AREAS IN WHICH EARTH/WORK SHALL BE SUSPENDED FOR MORE THAN TWO (2) WEEKS SHALL BE GRASSED WITH TEMPORARY GRASS.
- AFTER TOPSOIL HAS BEEN INSTALLED, AND BEFORE ANY SOD IS LAID, CORRECT ALL SOFT SPOTS AND IRREGULARITIES IN GRADE. THE SOD SHALL BE LAID BY BUTTING THE ENDS AND SIDES UP EVENLY AND STAGGERING THE ROLLS OF SOD. CONTRACTOR SHALL NOT OVERLAP SOD. AS SOON AS THE SOD IS LAID OR AS IT IS BEING LAID ROLL OVER WITH A LIGHT ROLLER, MAKING CERTAIN THAT ALL OF THE SOD IS IN CONTACT WITH THE SOIL. THE SOIL SHALL BE TRUED TO FINISH GRADE, EVEN AND FIRM AT ALL POINTS.
- SEED SHALL BE AT A RATE OF 10 POUNDS PER ACRE.
- THIRTY DAYS AFTER LAST SEEDING/SODDING OPERATION, APPLY 1 POUND OF TYPE A NITROGEN FERTILIZER PER ACRE OF LAWN AREAS AND IMMEDIATELY WATER.
- UPON COMPLETION OF PLANTINGS ALL EXCESS SOIL STONES AND DEBRIS WHICH HAS NOT PREVIOUSLY BEEN CLEANED UP SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AS DIRECTED BY THE OWNERS REPRESENTATIVE.
- ALL LAWN AREAS THAT DO NOT SHOW SATISFACTORY GROWTH WITHIN (18) DAYS AFTER PLANTING SHALL BE RE-PLANTED AND RE-FERTILIZED AS SPECIFIED UNTIL A SATISFACTORY LAWN IS ESTABLISHED. THE LAWN SHALL BE CONSIDERED ESTABLISHED WHEN ITS REASONABLY FREE FROM WEED, GREEN IN APPEARANCE AND THE SPECIFIED GRASS IS VIGOROUS AND GROWING WELL ON EACH SQ. FT. OF LAWN AREA.
- LAWN SHALL BE PROTECTED AND MAINTAINED BY WATERING, MOWING, AND REPLANTING, OVERSEEING, AS NECESSARY FOR AS LONG AS IS NECESSARY TO ESTABLISH A UNIFORM STAND. SCATTERED BARE SPOTS, NONE OF WHICH IS LARGER THAN ONE SQ. FT., WILL BE ALLOWED UP TO MAXIMUM OF THREE PERCENT OF ANY LAWN AREA. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ANY EROSIONAL DAMAGE TO THE LAWN AREA. FULL COVERAGE IS REQUIRED IN SIXTY DAYS.
- MAINTENANCE OF GRASSED AREAS SHALL CONSIST OF MOWING, WATERING AND FERTILIZING. ALL GRASSED AREAS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 6" ABOVE FINISHED GRADE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL GRASSED AREAS UNTIL ACCEPTANCE BY OWNER AT END OF PROJECT. LAWN MAINTENANCE SHALL OCCUR AT A MINIMUM OF ONCE PER SEVEN CALENDAR DAYS.
- FINAL SEEDING AND SOD AREAS / SQUARE FOOTAGES TO BE PAINTED IN FIELD AND APPROVED AND ADJUSTED IN FIELD BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- SEEDING SHALL TAKE PLACE IMMEDIATELY AFTER FINE GRADING. MAINTAIN SEEDED LAWN UNTIL COMPLETION AND ACCEPTANCE OF ENTIRE PROJECT.
- SEEDING BED SHALL HAVE TOPSOIL LOOSEN TO A DEPTH OF 4". REMOVE STONE OVER 1" IN ANY DIMENSION, ROOTS, RUBBISH, AND EXTRANEIOUS MATTER.

**SHEET INDEX**

- CS - COVER SHEET & NOTES
- L500 - PLANTING PLAN 1
- L501 - PLANTING PLAN 2
- L502 - PLANTING PLAN 3
- L503 - PLANTING PLAN 4
- L510 - PLANT SCHEDULE AND DETAILS

**ISSUED:  
MAR 10, 2025**

**PROJECT TEAM**

**LANDSCAPE ARCHITECT**

WITMER JONES KEEFER  
BLUFFTON, SOUTH CAROLINA  
(843) 757.7411

**SURVEYING**

ATLAS SURVEYING INC.  
RIDGELAND, SC  
843-645-9277

**CIVIL ENGINEER**

CAROLINA ENGINEERING CONSULTANTS  
BEAUFORT, SC  
843-322-0553



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THIS SHEET TO SCALE AT: 24"x36"

SITE DEVELOPMENT PLANS FOR

**1026 RIBAUT ROAD**  
BEAUFORT, SC

DATE:	MAR 10, 2025
PROJECT NO.:	20020.01
DRAWN BY:	KJ
CHECKED BY:	DK

**PRELIMINARY  
SUBMITTAL PLAN,  
NOT FOR  
CONSTRUCTION**

REVISIONS:


**DRAWING TITLE  
COVER SHEET AND  
PROJECT NOTES**

**DRAWING NUMBER**

**CS**

**\*\*\*\*CAUTION\*\*\*\***

UTILITY PROTECTION CENTER

3 DAYS BEFORE DIGGING  
CALL TOLL FREE  
1-888-721-7877

A ONE-CALL SYSTEM FOR COMMUNITY AND JOB SAFETY



PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	X/L50X
14.2	PALM TREE PLANTING	X/L50X
14.3	SHRUB PLANTING	X/L50X
14.4	GROUND COVER PLANTING	X/L50X
14.5	ROOT BARRIER	X/L50X

PLANT KEY LEGEND		
Abbrev	Botanical Name	Common Name
<b>TREES</b>		
MAGG	Magnolia grandiflora	Southern Magnolia
QUET	Quercus texana	Nuttall Oak
QUEV	Quercus virginiana	Live Oak
SABP	Sabal palmetto	Cabbage Palm
TAXD	Taxodium distichum	Bald Cypress
<b>UNDERSTORY TREES</b>		
ILEE	Ilex x attenuata 'East Palatka'	East Palatka Holly
ILES	Ilex x attenuata 'Savannah'	Savannah Holly
LAGN	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle



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SITE DEVELOPMENT PLANS  
 FOR  
**1026 RIBAUT ROAD**  
 BEAUFORT, SC

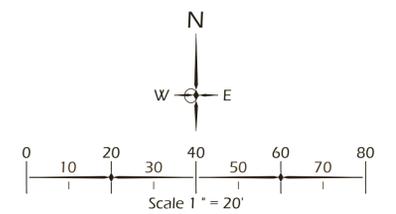
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 CHECKED BY: DK

**PRELIMINARY  
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 CONSTRUCTION**

REVISIONS:


DRAWING TITLE  
**PLANTING PLAN**

DRAWING NUMBER  
**L500**





PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	X/L50X
14.2	PALM TREE PLANTING	X/L50X
14.3	SHRUB PLANTING	X/L50X
14.4	GROUND COVER PLANTING	X/L50X
14.5	ROOT BARRIER	X/L50X

**PLANT KEY LEGEND**

Abbrev	Botanical Name	Common Name
<b>TREES</b>		
MAGG	Magnolia grandiflora	Southern Magnolia
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ILES	Ilex x attenuata 'Savannah'	Savannah Holly
LAGN	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle



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 BEAUFORT, SC

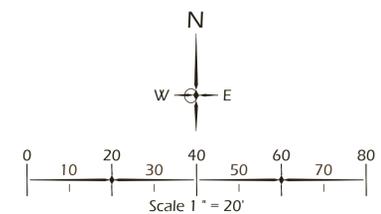
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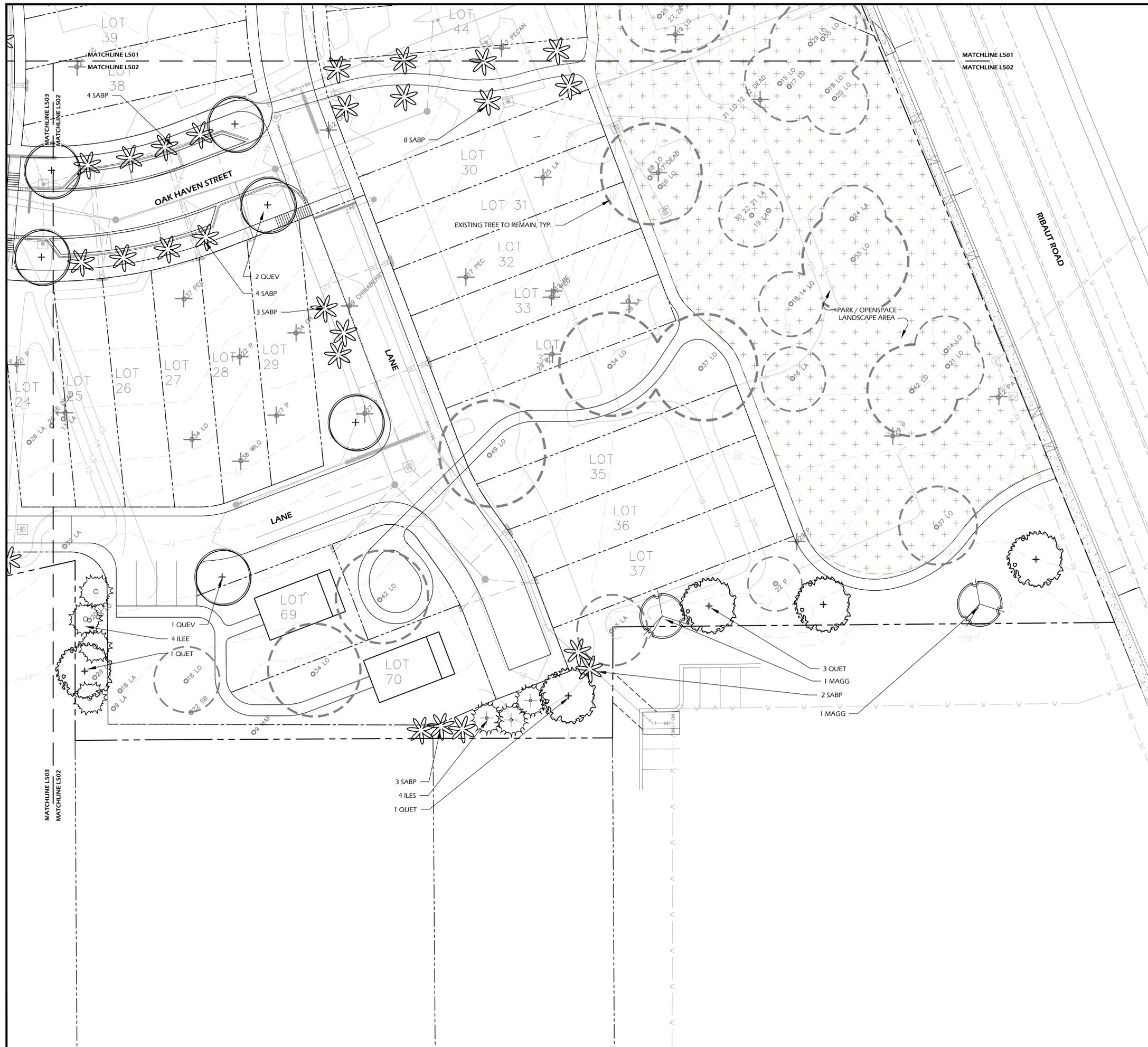
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DRAWING TITLE  
**PLANTING PLAN**

DRAWING NUMBER  
**L501**





PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	X/L50X
14.2	PALM TREE PLANTING	X/L50X
14.3	SHRUB PLANTING	X/L50X
14.4	GROUND COVER PLANTING	X/L50X
14.5	ROOT BARRIER	X/L50X

**PLANT KEY LEGEND**

Abbrev	Botanical Name	Common Name
<b>TREES</b>		
MAGG	Magnolia grandiflora	Southern Magnolia
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TAXD	Taxodium distichum	Bald Cypress
<b>UNDERSTORY TREES</b>		
ILEE	Ilex x attenuata 'East Palatka'	East Palatka Holly
ILES	Ilex x attenuata 'Savannah'	Savannah Holly
LAGN	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle



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SITE DEVELOPMENT PLANS  
 FOR  
**1026 RIBAUT ROAD**  
 BEAUFORT, SC

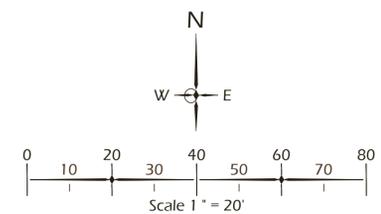
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 PROJECT NO.: 20020.01  
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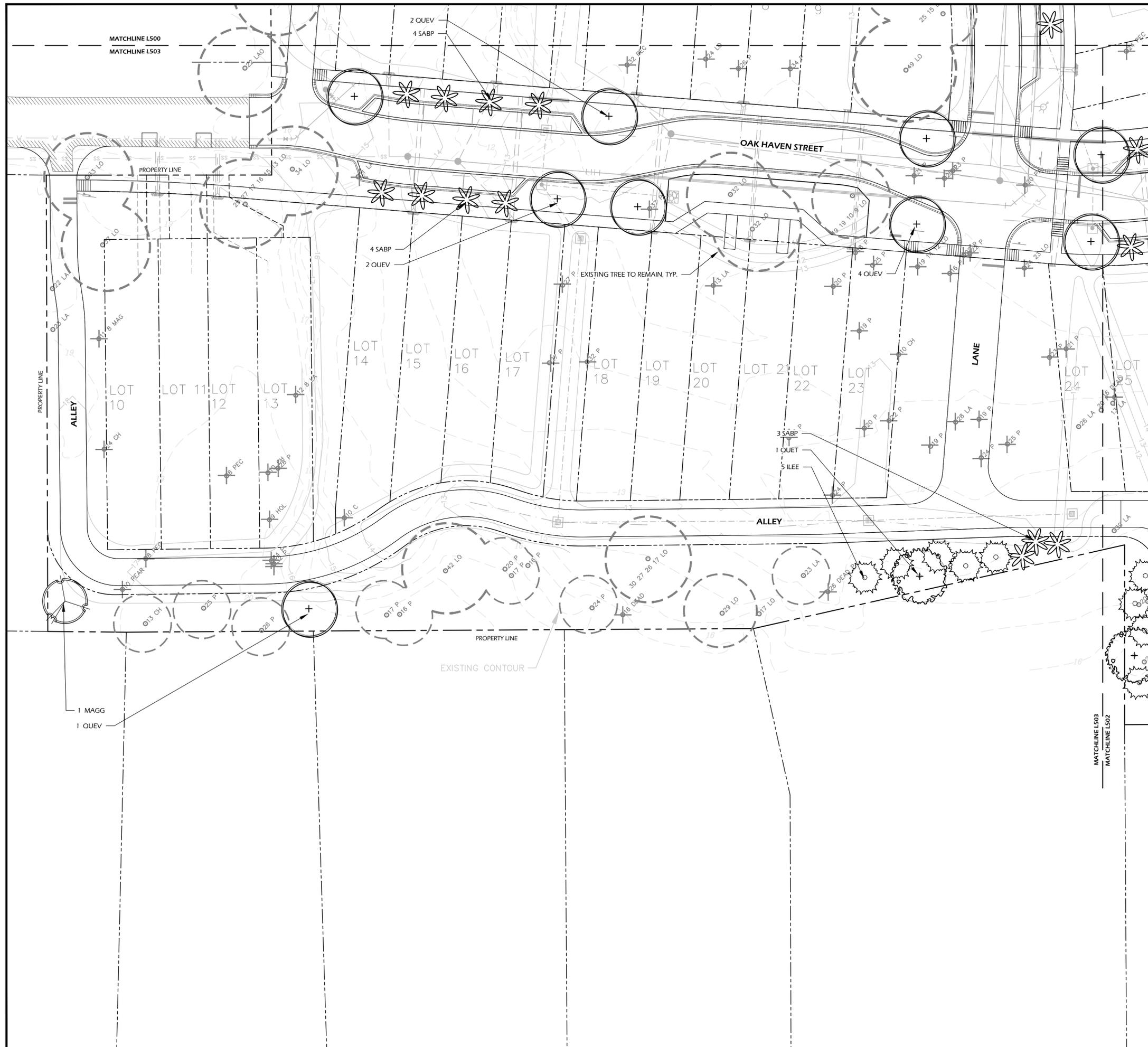
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 CONSTRUCTION**

REVISIONS:


DRAWING TITLE  
**PLANTING PLAN**

DRAWING NUMBER  
**L502**





PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	X/L50X
14.2	PALM TREE PLANTING	X/L50X
14.3	SHRUB PLANTING	X/L50X
14.4	GROUND COVER PLANTING	X/L50X
14.5	ROOT BARRIER	X/L50X

PLANT KEY LEGEND		
Abbrev	Botanical Name	Common Name
<b>TREES</b>		
MAGG	Magnolia grandiflora	Southern Magnolia
QUET	Quercus texana	Nuttall Oak
QUEV	Quercus virginiana	Live Oak
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TAXD	Taxodium distichum	Bald Cypress
<b>UNDERSTORY TREES</b>		
ILEE	Ilex x attenuata 'East Palatka'	East Palatka Holly
ILES	Ilex x attenuata 'Savannah'	Savannah Holly
LAGN	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle



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SITE DEVELOPMENT PLANS  
 FOR  
**1026 RIBAUT ROAD**  
 BEAUFORT, SC

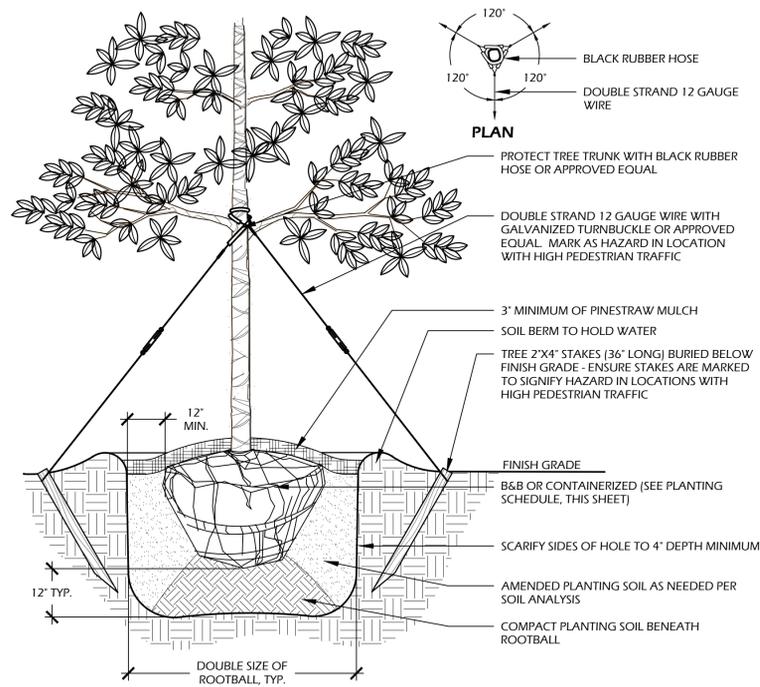
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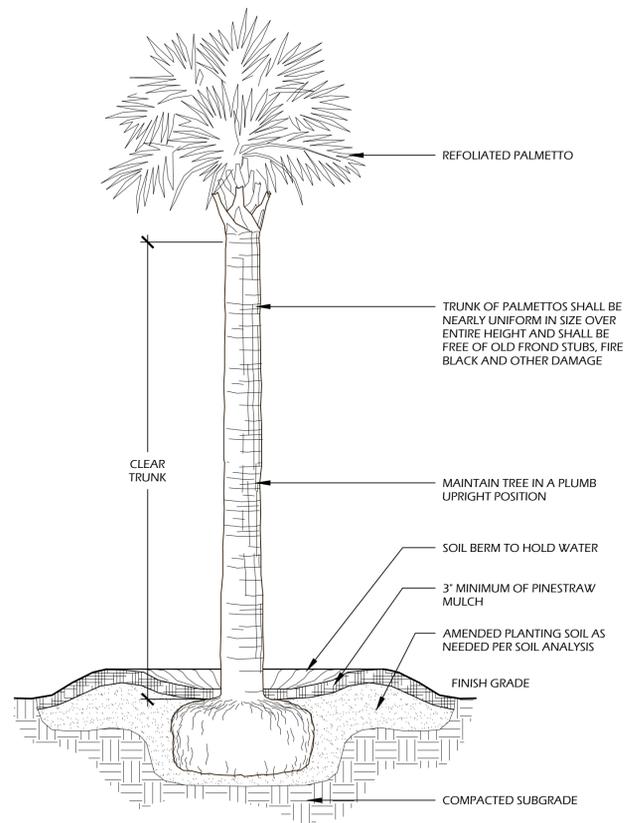
DRAWING TITLE  
**PLANTING PLAN**

DRAWING NUMBER  
**L503**



- NOTES:**
- TREE STAKING OPTIONAL, HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
  - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
  - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L510 TREE PLANTING  
SCALE: N.T.S.

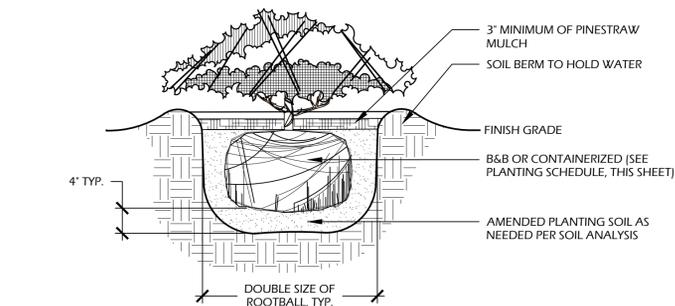


- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
  - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
  - SABAL PALMETTOS SHALL BE REFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L510 PALM TREE PLANTING  
SCALE: N.T.S.

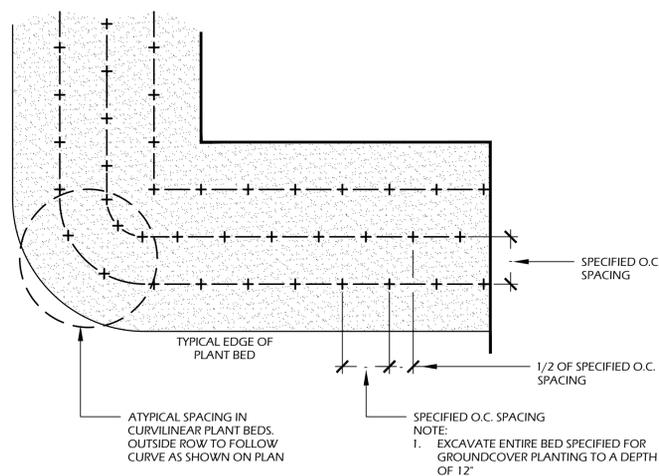
**PLANT SCHEDULE:**

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal/Spacing	Notes
<b>TREES</b>								
-	MAGG	Magnolia grandiflora	Southern Magnolia	12'-14'	6'-7'	Cont.	-	Full to ground
-	QUET	Quercus texana	Nuttall Oak	14'-16'	6'-8'	Cont.	4'	Full
-	QUEV	Quercus virginiana	Live Oak	14'-16'	6'-8'	Cont.	4'	Full
-	SABP	Sabal palmetto	Cabbage Palm	12'-16'	-	Cont.	-	Refoliated, full clear trunk, refer to plan for heights
-	TAXD	Taxodium distichum	Bald Cypress	14'-16'	6'-8'	Cont.	4'	Full
<b>UNDERSTORY TREES</b>								
-	ILEE	Ilex x attenuata 'East Palatka'	East Palatka Holly	6'-7'	3'-4'	15 gal.	-	Full
-	ILES	Ilex x attenuata 'Savannah'	Savannah Holly	6'-7'	3'-4'	15 gal.	-	Full
-	LAGN	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle	10'-12'	5'-6'	45 gal.	-	Full

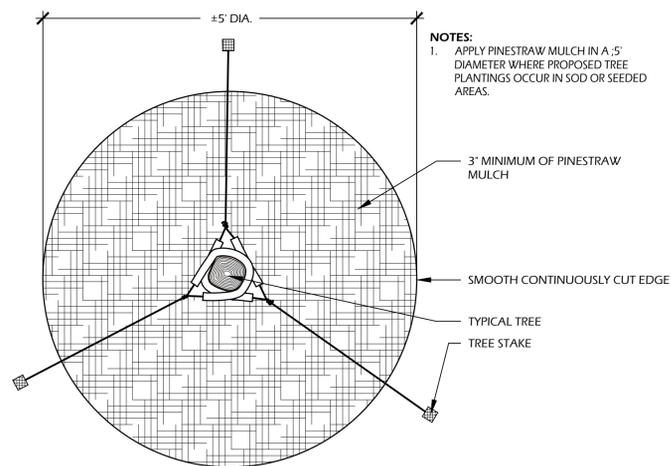


- NOTES:**
- WHEN GROUNDCOVERS AND SHRUBS ARE USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
  - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
  - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

3 // L510 SHRUB PLANTING  
SCALE: N.T.S.



4 // L510 GROUND COVER PLANTING  
SCALE: N.T.S.



5 // L510 TREE STAKING  
SCALE: N.T.S.



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THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS  
FOR  
**1026 RIBAULT ROAD**  
BEAUFORT, SC

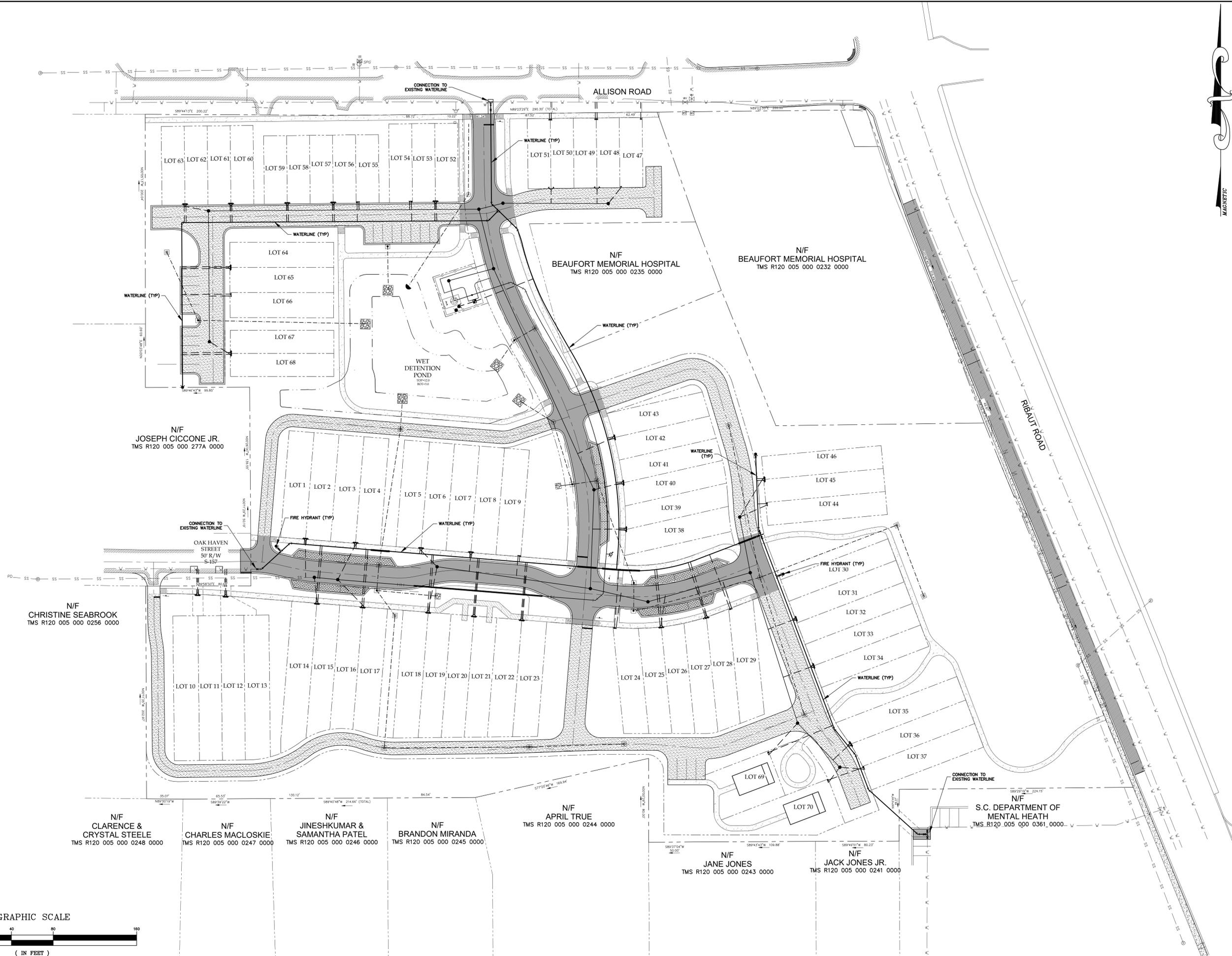
DATE: MAR 10, 2025  
PROJECT NO.: 20020.01  
DRAWN BY: KJ  
CHECKED BY: DK

**PRELIMINARY SUBMITTAL PLAN, NOT FOR CONSTRUCTION**

REVISIONS:

DRAWING TITLE  
**PLANT SCHEDULE AND DETAILS**

DRAWING NUMBER  
**L501**



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PLAN REVISIONS

NO.	DESCRIPTION	DATE
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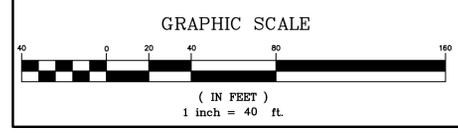
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CITY OF BEAUFORT  
BEAUFORT COUNTY, SC

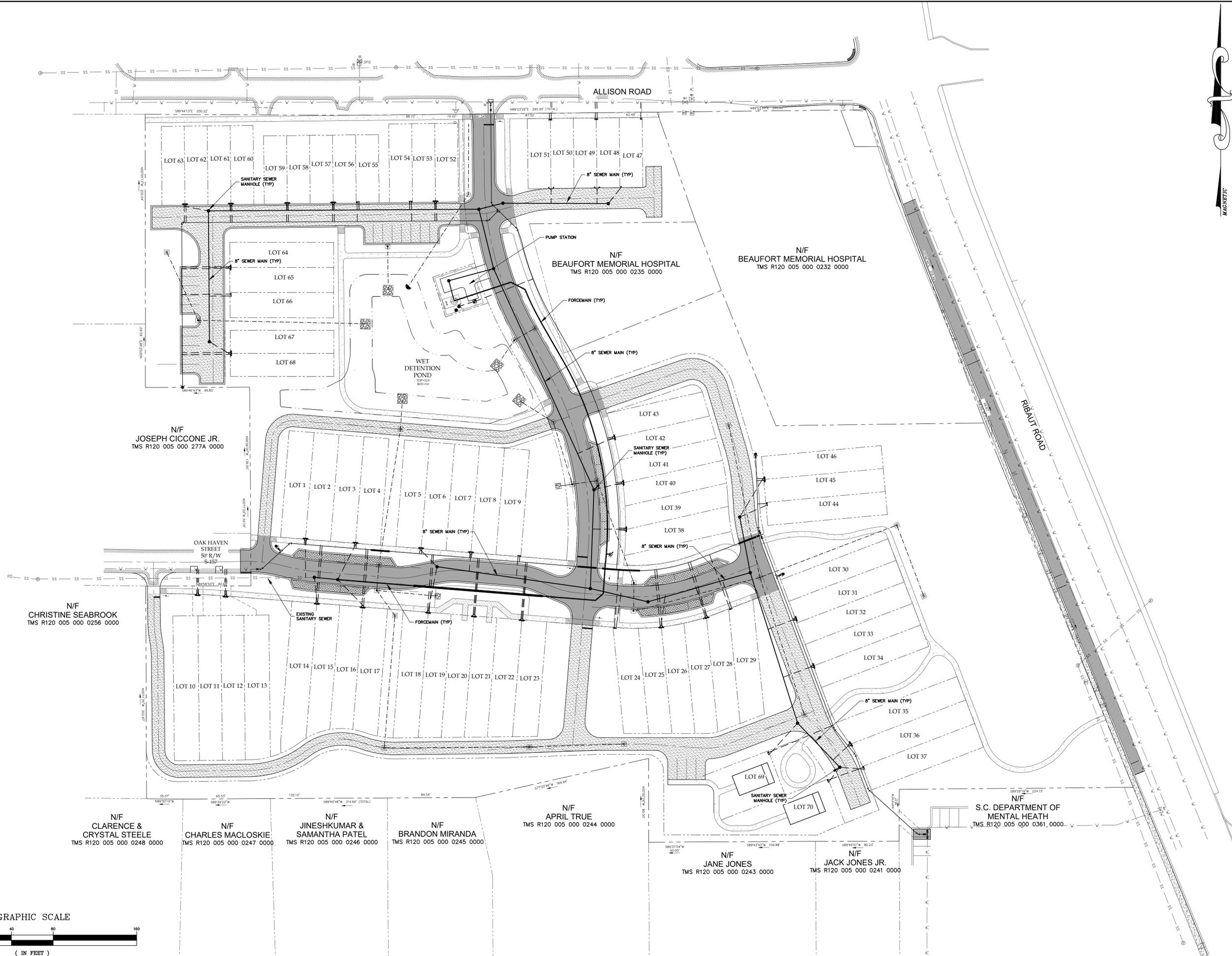
CAROLINA ENGINEERING CONSULTANTS, INC.  
843/522-0553  
843/522-0556 (FAX)  
WWW.CAROLINAENGINEERING.COM  
PO BOX 294  
BEAUFORT, SC 29901

PROJECT: 2037  
DATE: 03/25/24  
REVISED: 03/10/25  
DRAWN BY: BJS  
ENGINEER: JPA  
SCALE: 1"=40'

WATER EXHIBIT

1 OF 1





ISOMETRIC

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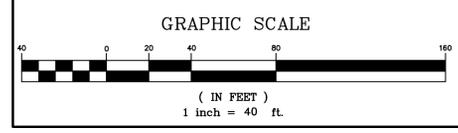
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 CITY OF BEAUFORT  
 BEAUFORT COUNTY, SC

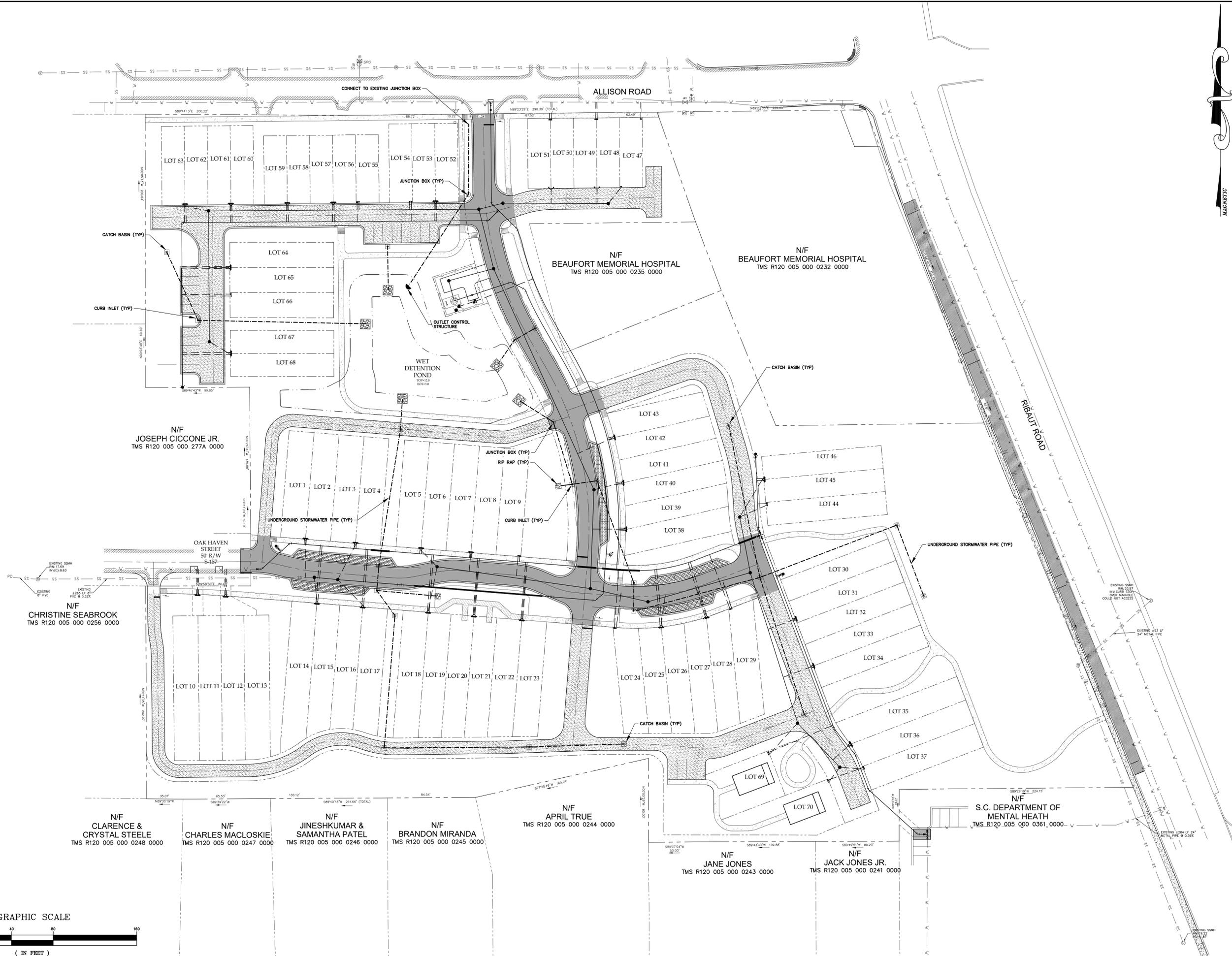
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 PO BOX 294  
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PROJECT:	2037
DATE:	03/25/24
REVISED:	03/10/25
DRAWN BY:	BJS
ENGINEER:	JPA
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**SANITARY SEWER EXHIBIT**

**1**  
OF 1





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**1026 RIBAUT ROAD**  
 CITY OF BEAUFORT  
 BEAUFORT COUNTY, SC

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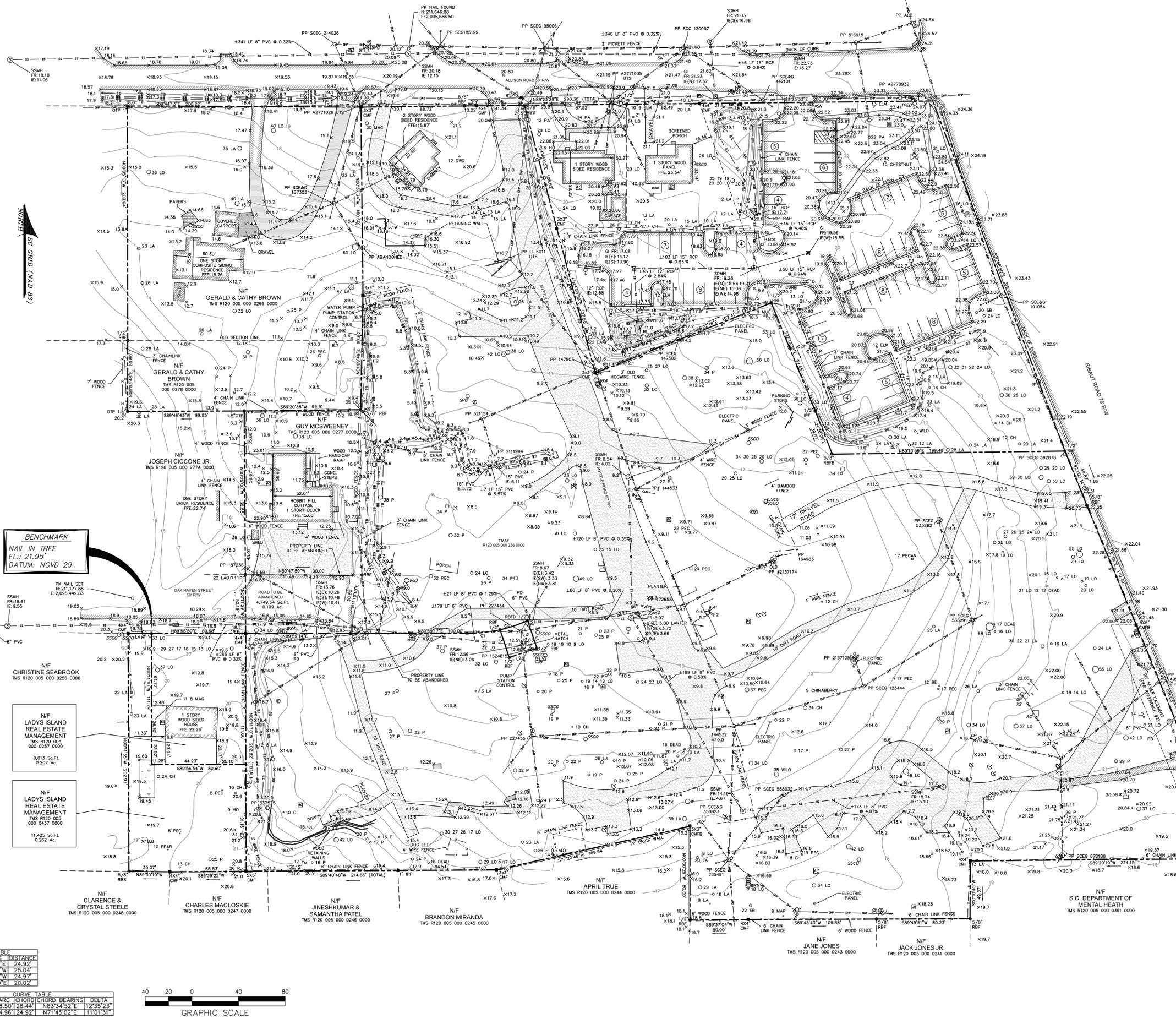
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DATE:	03/25/24
REVISED:	03/10/25
DRAWN BY:	BJS
ENGINEER:	JPA
SCALE:	1"=40'

**STORM EXHIBIT**

**1**  
OF 1



**APPROVED SKETCH**  
**PLAN MPC 12-2021**



- LEGEND**
- CMF ■ CONC. MONUMENT FOUND
  - CMFB ■ CONC. MONUMENT FOUND BROKEN
  - OTP ○ OPEN TOP PIPE
  - RBF ● IRON REBAR FOUND
  - RBS ○ IRON REBAR SET
  - XS x SCRIBED X
  - ACU AIR CONDITIONING UNIT
  - OCJ Cable Junction Box
  - EM Electric Meter
  - FH Fire Hydrant
  - GI Grate Inlet
  - GM Gas Meter
  - GW GUY WIRE
  - ICV IRRIGATION CONTROL VALVE
  - JB Junction Box
  - LP Light Pole
  - MB Mail Box
  - PP Power Pole
  - SDM Storm Drain Manhole
  - SE Spot Elevation
  - SP Spigot
  - SSCO Sanitary Sewer Clean Out
  - SV Gas Valve
  - SM Sanitary Sewer Manhole
  - SP Gas Pipe
  - UP Utility Pole
  - TEL TELEPHONE JUNCTION BOX
  - TE Transformer-Electric
  - UGM Underground Gas Marker
  - WM Water Meter
  - FFE Finished Floor Elevation
  - IE Invert Elevation
  - PVC Polyvinyl Chloride Pipe
  - RCP Reinforced Concrete Pipe
  - F Fence Line
  - OPH Overhead Power Line
  - OLF Old Hogwire Fence
  - UGS Underground Gas Line
  - UDM Underground Communications Line
  - USD Underground Storm Drain Line
  - P Pine
  - LA Laurel Oak
  - LO Live Oak
  - MAP Red Maple
  - PEC Pecan
  - CH Cherry
  - DWD Dogwood
  - WLO Willow Oak
  - SB Sugar Berry
  - MUL Mulberry
  - HO Holly
  - EP Edge of Pavement
  - CON Concrete
  - OPED Telephone Pedestal
  - PD Pipe Direction

**BENCHMARK**  
 NAIL IN TREE  
 EL.: 21.95'  
 DATUM: NGVD 29

N/F CHRISTINE SEABROOK  
 TMS R120 005 000 0256 0000

N/F LADY'S ISLAND REAL ESTATE MANAGEMENT  
 TMS R120 005 000 0257 0000  
 9.013 SdFl.  
 0.207 Ac.

N/F LADY'S ISLAND REAL ESTATE MANAGEMENT  
 TMS R120 005 000 0437 0000  
 11.425 SdFl.  
 0.392 Ac.

N/F CLARENCE & CRYSTAL STEELE  
 TMS R120 005 000 0248 0000

N/F CHARLES MACLOSKIE  
 TMS R120 005 000 0247 0000

N/F JINESHKUMAR & SAMANTHA PATEL  
 TMS R120 005 000 0246 0000

N/F BRANDON MIRANDA  
 TMS R120 005 000 0245 0000

N/F APRIL TRUE  
 TMS R120 005 000 0244 0000

N/F JANE JONES  
 TMS R120 005 000 0243 0000

N/F JACK JONES JR.  
 TMS R120 005 000 0241 0000

N/F S.C. DEPARTMENT OF MENTAL HEALTH  
 TMS R120 005 000 0361 0000

**LINE TABLE**

LABEL	BEARING	DISTANCE
L1	S19°27'16"E	24.97'
L2	S71°38'15"W	25.04'
L3	N18°10'57"W	24.97'
L4	N89°58'50"E	20.02'

**CURVE TABLE**

LABEL	RADIUS	ARC LENGTH	CHORD BEARING	DELTA
C1	129.69'	28.50'	N83°34'52"E	12°35'23"
C2	129.69'	24.96'	N71°45'02"E	11°01'31"



SSMH FR.20.14  
 IE:12.79

# CONCEPTUAL SITE PLAN

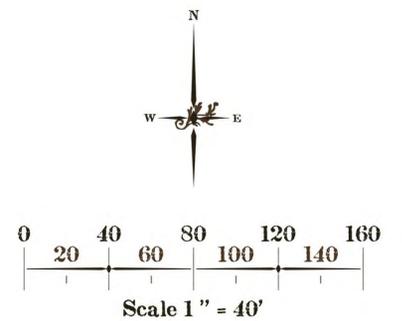


**DEVELOPMENT SUMMARY**  
**PARCEL 'A' ±1.6 AC**

**PARCEL 'B' ±10.4 AC**  
 ±56,800 SF TOTAL

RETAIL, RESTAURANT, OFFICE,  
 MEDICAL -  
 REQUIRES 1 SPACE/400 SF

±142 PARKING SPACES REQUIRED  
 ±150 PARKING SPACES PROVIDED



**FORMERLY SUBMITTED  
SITE PLAN 2020**

# RIBAUT APARTMENTS



## APARTMENT BUILDING

5 STORIES OVER PARKING LEVEL

1ST FLR (PARKING)	= 100,000 SF
2ND FLR (AMENITY)	= 10,000 SF
2ND FLR (RESIDENTIAL)	= 55,300 SF
3RD FLR (RESIDENTIAL)	= 55,300 SF
4TH FLR (RESIDENTIAL)	= 55,300 SF
5TH FLR (RESIDENTIAL)	= 55,300 SF
6TH FLR (RESIDENTIAL)	= 55,300 SF

**TOTAL GSF = 386,500 SF**

CONDITIONED SPACE = 286,500 SF

## UNIT MIX - 234 UNITS

STUDIOS (15%)	= 36 UNITS
1 BDS (40%)	= 94 UNITS
2 BDS (40%)	= 94 UNITS
3 BDS (5%)	= 10 UNITS

## PARKING

SITE PARKING = 75 SPACES  
 APARTMENT BLDG PARKING = 340 SPACES

**TOTAL PARKING = 415 SPACES**

# **3659 TRASK PARKWAY**

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**Annexation & Rezoning Request  
(Former Greyhound Bus Station  
property)**



# STAFF REPORT – PLANNING COMMISSION

## Annexation / Rezoning Request

DATE: April 21, 2025

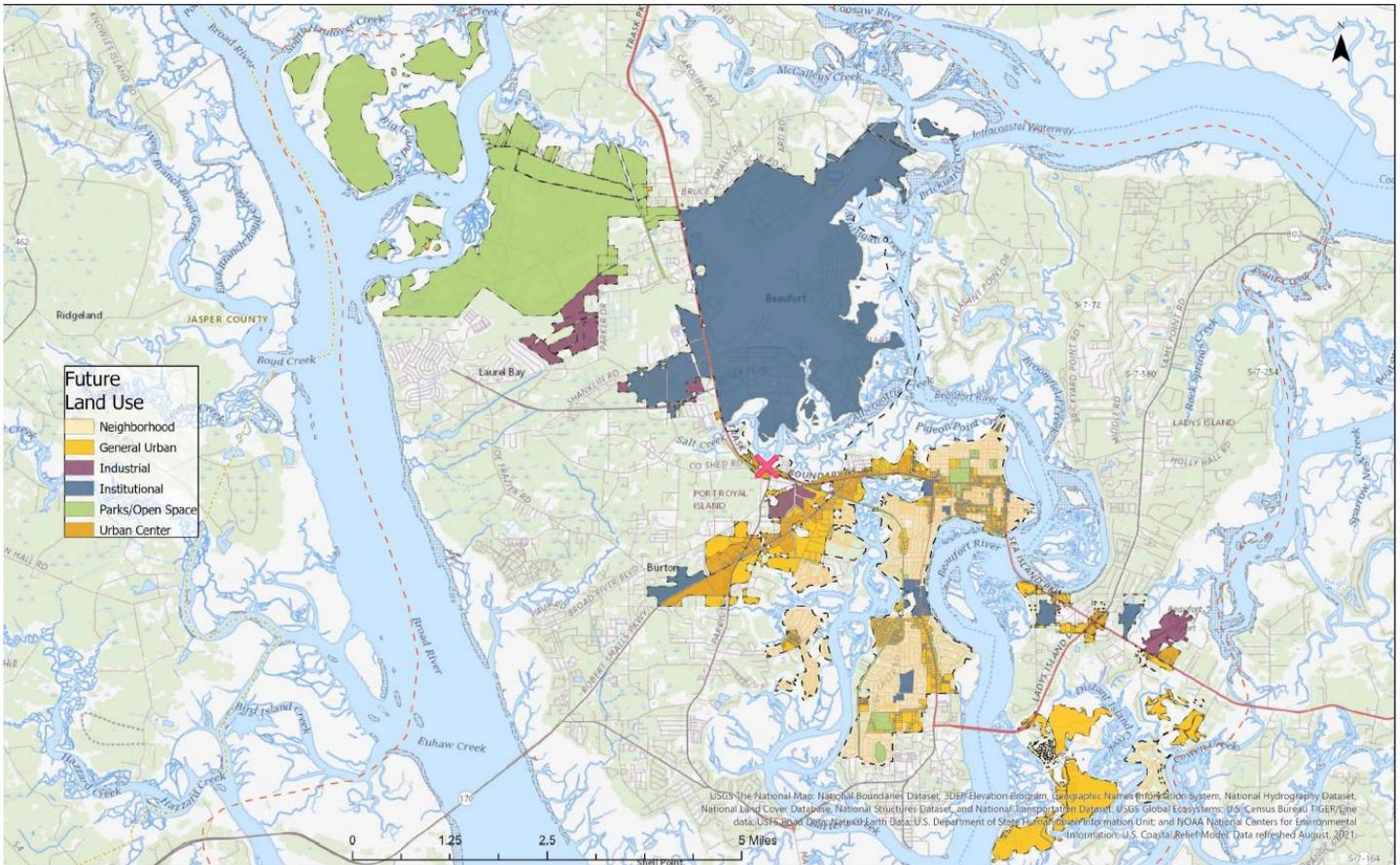
<i><b>GENERAL INFORMATION</b></i>		
<b>Applicants:</b>	Willie “Mack” Stansell III (Owner)	
<b>Site Location/Address:</b>	3659 Trask Parkway (US Hwy. 21) / PIN: R100 026 000 0151 0000	
<b>Applicant's Request:</b>	Request is to bring specific property into the City of Beaufort to make it easier as per City Zoning & Development Code to re-use currently vacant building (former Greyhound Bus Station) as a BBQ Restaurant.  <u>Square footage of existing structure: 1,985</u>	
<b>Current Zoning:</b>	Beaufort County: Neighborhood Mixed-Use (C3NMU)	
<b>Lot size:</b>	Approx. 1.72 acres (74,923 sq. ft.)	
<i><b>ZONING DISTRICT INFORMATION</b></i>		
	C3NMU (County)	T5-UC // RMX (City)
<b>Lot Width at Setback:</b>	70 ft. min.	N/A // 60 ft. min.
<b>Min. Lot Size:</b>	10,890 sq. ft.	N/A // 6,000 sq. ft.
<b>Front Setback:</b>	30 ft. min.	0 ft. min, 15 ft. max. // 10 ft. min., 60 ft. max.
<b>Side Setback:</b>	10 ft. min.	0 ft. min. // 10 ft. min.
<b>Rear Setback:</b>	50 ft. min.	5 ft. min. // 15 ft. min.
<b>Permissible Uses</b>	Restaurant, Café, Coffee Shop only permitted as part of a Traditional Community Plan (TCP) as per BFT County Dev. Code Sec. 2.3, Sec. 7.2.90 (*)	Retail & Restaurants are permitted outright in “RMX” and conditionally permitted in “T5-UC”, see Sec. 3.6.2. D.
<i><b>SURROUNDING ZONING, LAND USE AND REQUIRED BUFFERS</b></i>		
<u><b>Adjacent Zoning</b></u>	<u><b>Adjacent Land Uses</b></u>	<u><b>Setbacks for Adjacent Zoning /Buffer required if rezoned</b></u>
North: -	Albergotti / Salt Creek	N/A
South: T5-UC/RMX (City)	Home2 Suites / Tru by Hilton Hotels	N/A
East: C3NMU (County)	Commercial (fmr. Restaurant) / residential	N/A
West: T5-UC/RMX (City)	Howard-Johnson Hotel	N/A

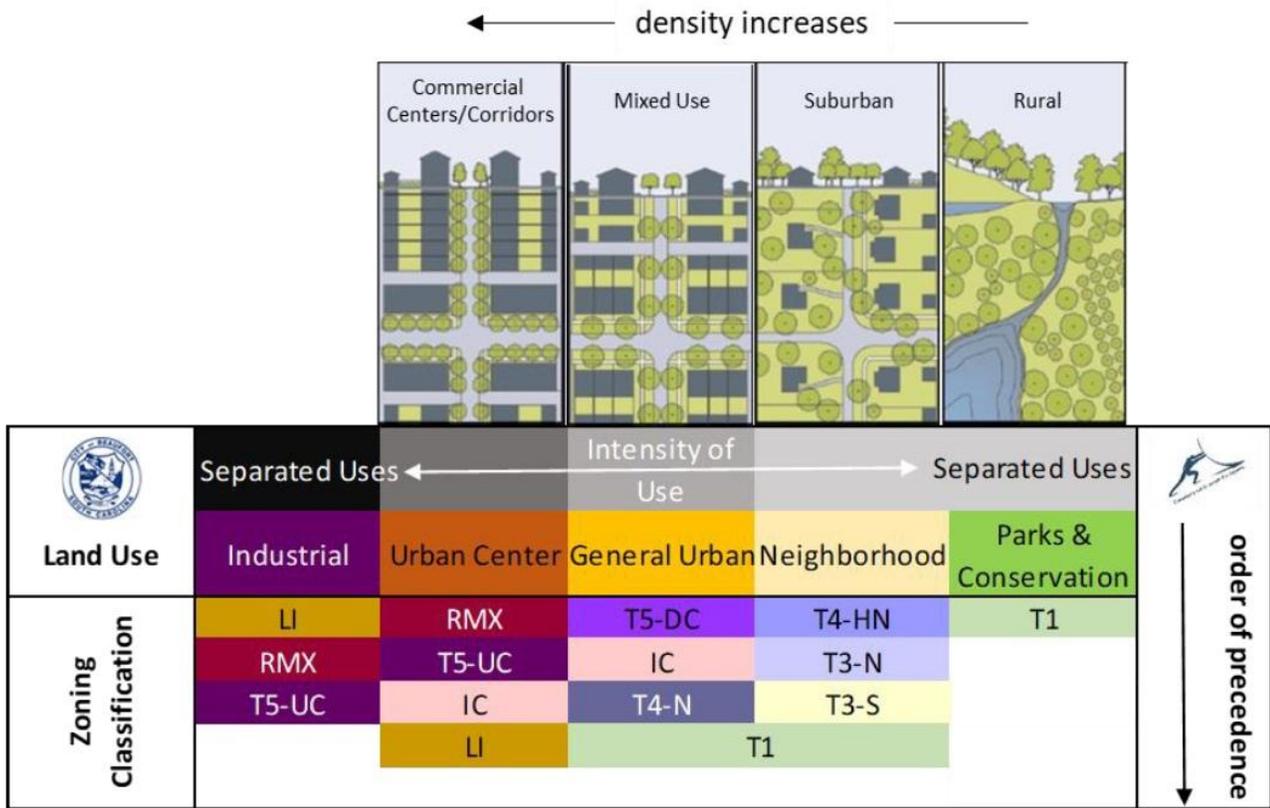
**Background:** The applicant wants to bring subject property, which is the site of the former Greyhound Bus Station, into the City of Beaufort to make it easier to re-use this property commercially. The property owner together with a prospective tenant have attended the TRC / Pre-Design Meeting on March 18, 2025 to present plans to make this a new BBQ restaurant. The property is currently located within the County, and zoned C3-Neighborhood Mixed-Use. A possible restaurant re-use within the current County zoning district is only permissible as part of a Traditional Community Plan (TCP), which strives to create a compact, walkable and place-based neighborhood development pattern.

**Compatibility with Adjacent Zoning:** The surrounding area is reflected by a checkerboard pattern of parcels that are primarily auto-oriented or lodging-related retail uses, such as gas stations, convenience stores, hotels and restaurants. The parcels of land around the subject property are either located within the City of Beaufort or are located within the unincorporated area of Beaufort County. The site is adjacent to both City and County properties zoned **T5-UC/RMX (City) or Neighborhood Mixed-Use - C3NMU (Beaufort County)**.

- **City of Beaufort – Transect-Based Zoning District: T5-URBAN CORRIDOR DISTRICT (T5-UC)**  
The T5-Urban Corridor district consists of higher density, mixed-use buildings that accommodate retail, rowhomes, offices, and apartments located along primary thoroughfares.
- **City of Beaufort – Conventional Zoning District: REGIONAL MIXED-USE (RMX)**  
The RMX district's intensity accommodates region- and community-serving commercial and business uses, as well as highway-oriented businesses.
- **Beaufort County – Conventional Zoning District: Neighborhood Mixed Use (C3NMU)**  
The Neighborhood Mixed Use (C3) Zone provides for high-quality, moderate-density (averaging under three dwelling units per acre) residential development, with denser areas of multi-family and mixed-use development to provide walkability and affordable housing options. The design requirements are intended to provide a suburban character and encourage pedestrian, as well as automobile, access.

**Compliance with City Plans – 2021 Beaufort Comprehensive Plan / Future Land Use Map:** The Future Land Use Map (FLUM) of the 2021 Beaufort Comprehensive Plan classifies the area around the subject property as ***“Urban Center”***.





As per graph above, the City's T5-UC and RMX Zoning Districts support the kind of land uses and use intensities that support the kind of development and land use pattern as per *Urban Center* designation. Moreover, the *Urban Center* is intended to accommodate regional and community businesses and limited, light industry.

**2014 Civic Master Plan Compliance:**

As per Chapter 8 – Mixed-Use Corridors of Vibrant Activity – the area of concern is not explicitly identified. However, the proximity to the gateway of Parris Island Gateway Road and Trask Parkway (US-21), make the subject area a hub for regional mobility, shopping, dining and services that are mixed use in nature and accommodate pedestrians, bicyclists and motor vehicles in a safe and attractive manner.

Although this specific annexation/rezoning request does not entail redevelopment of the site (yet), the intended commercial re-use would complement the nature of the current uses around as well as the anticipated uses along this corridor and gateway location.

**ZONING DISTRICT USES/DEVELOPMENT STANDARDS:**

<b><u>Lot Configuration &amp; Building Standards</u></b>		
	<b><u>T5-UC</u></b>	<b><u>RMX</u></b>
<b>Lot Width at Front Setback</b>	N/A	60 ft. min.
<b>Lot Size</b>	N/A	6,000 sq. ft.
<b>Max. Lot Coverage</b>	100%	65% max. (impervious surfaces)
<b>Primary Building Height</b>	5 stories max. (2 stories min.)	4 stories max.
<b>Front Setback</b>	0 ft. min., 15 ft. max.	10 ft. min.; 60 ft. max.
<b>Parking Pad Location</b>	Front setback: 40 ft. min.; Side setback (corner): 5 ft.	Parking areas and drive aisles shall be located in the side or rear yard whenever possible.
<b>Land Uses:</b>	Higher density, mixed-use buildings that accommodate retail, rowhomes, offices, and apartments located along primary thoroughfares.	Accommodates regional- and community-serving commercial and business uses, as well as highway-oriented businesses.

**REZONING REVIEW CRITERIA**

**Required Findings:** The PC is to recommend a rezoning to the City Council utilizing the factors found in Section 9.16.3 C as reflected in the table below (a check mark indicates Staff support; an x indicates lack of Staff support on each item).

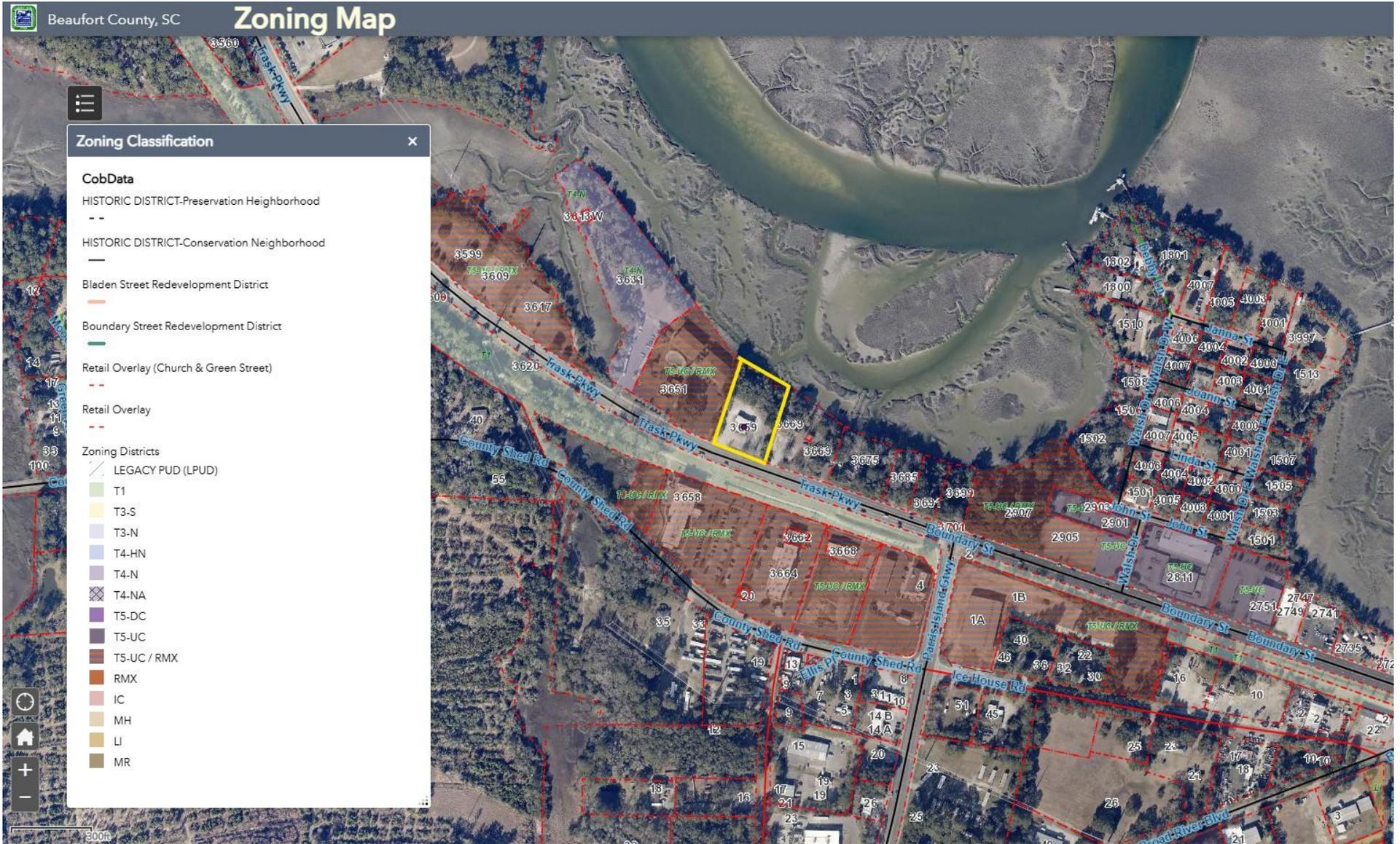
<b><u>9.16.3 C Finding of Fact</u></b>	<b><u>Rationale Present (yes/no)</u></b>	<b><u>Staff Analysis of Rationale</u></b>
a. Consistency (or lack thereof) with the Comprehensive Plan and Civic Master Plan	Yes	✓ The “T5-UC” & “RMX” Districts are recommended districts in the “Urban Center” category as designated in the Comprehensive Plan
b. Compatibility with the present zoning, with conforming uses of nearby property, and with the character of the neighborhood	Yes	✓ Current land-uses along the Trask Parkway corridor as well as across the highway at the Gateway node location of Parris Island Gateway Rd. / Trask Pkwy. are primarily auto- and lodging related in nature, i.e. gas & convenience station, several hotels and restaurants
c. Suitability of the property that would be affected by the amendment	Yes	✓ The property, which served as the former Greyhound Bus Station, already has ample parking in place and would be a perfect location for a commercial business/restaurant.
d. Compatibility with the natural features of — and any archaeological or cultural resources on — the property	Yes	✓ The property abuts Albergotti/Salt Creek in the rear with a Critical Line Buffer of 30 ft. in place, which will remain and serves as a commodity for outside visitors.
e. Marketability of the property that would be affected by the amendment; and	Yes	<ul style="list-style-type: none"> <li>✓ The property is already suitable for any highway-related commercial business.</li> <li>✓ It would serve as a great redevelopment opportunity and thus, would improve the overall impression of this highly visible corridor &amp; gateway</li> </ul>
f. The availability of roads, sewer, water, and stormwater facilities	Yes / TBD	✓ Access to the main highway as well as adequate parking already exists

generally suitable and adequate for the affected property.		<input checked="" type="checkbox"/> Water, and especially sewer access need to be determined by property owner before any future Change-of-Use or Redevelopment Request
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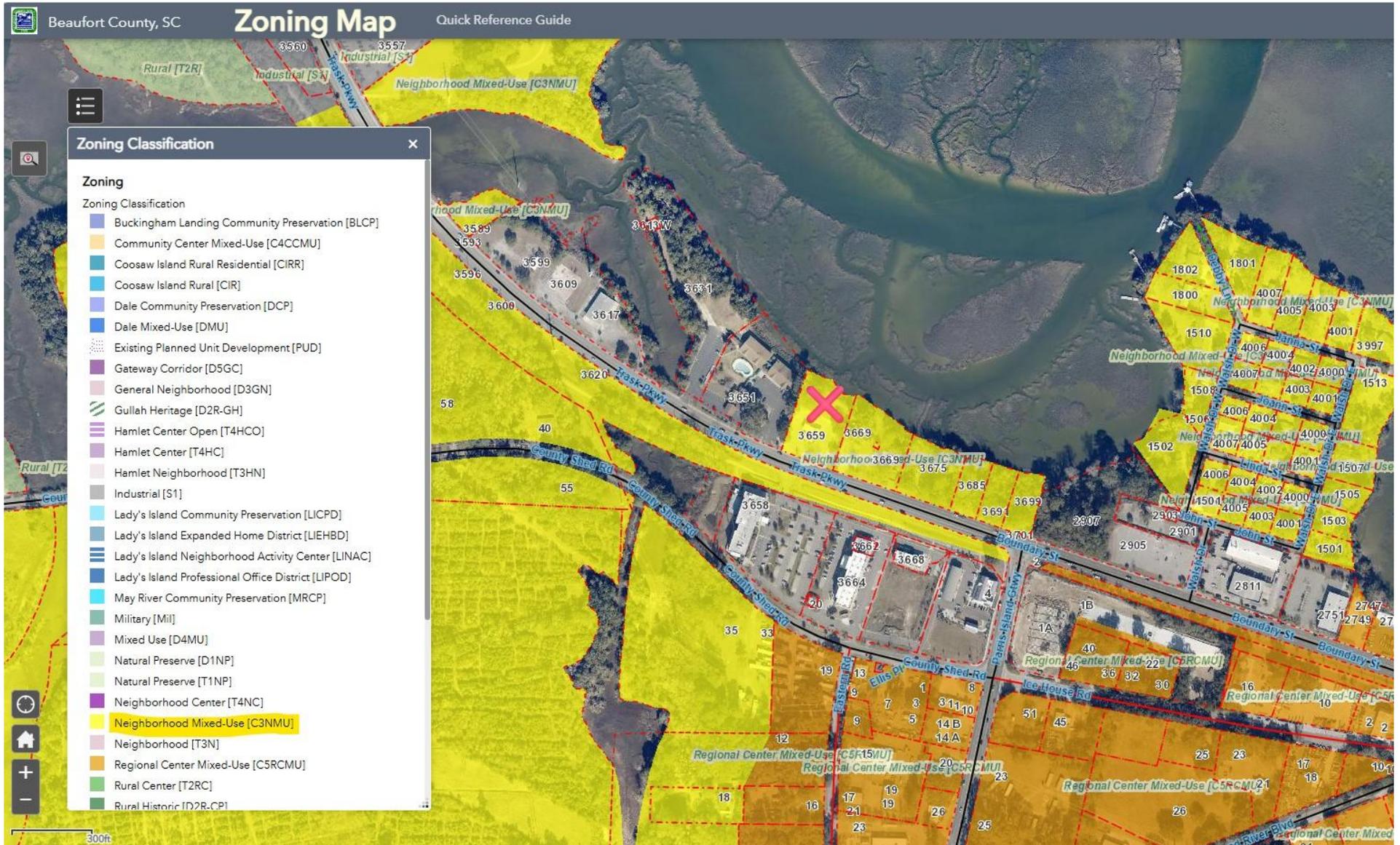
**FINDINGS AND RECOMMENDATIONS**

**Staff Recommendation:** Staff recommends approval of the annexation & rezoning request and suggests designation of the subject property to be zoned “T5-UC/RMX” as this would match the City Zoning designation of most properties within the immediate neighborhood/corridor.

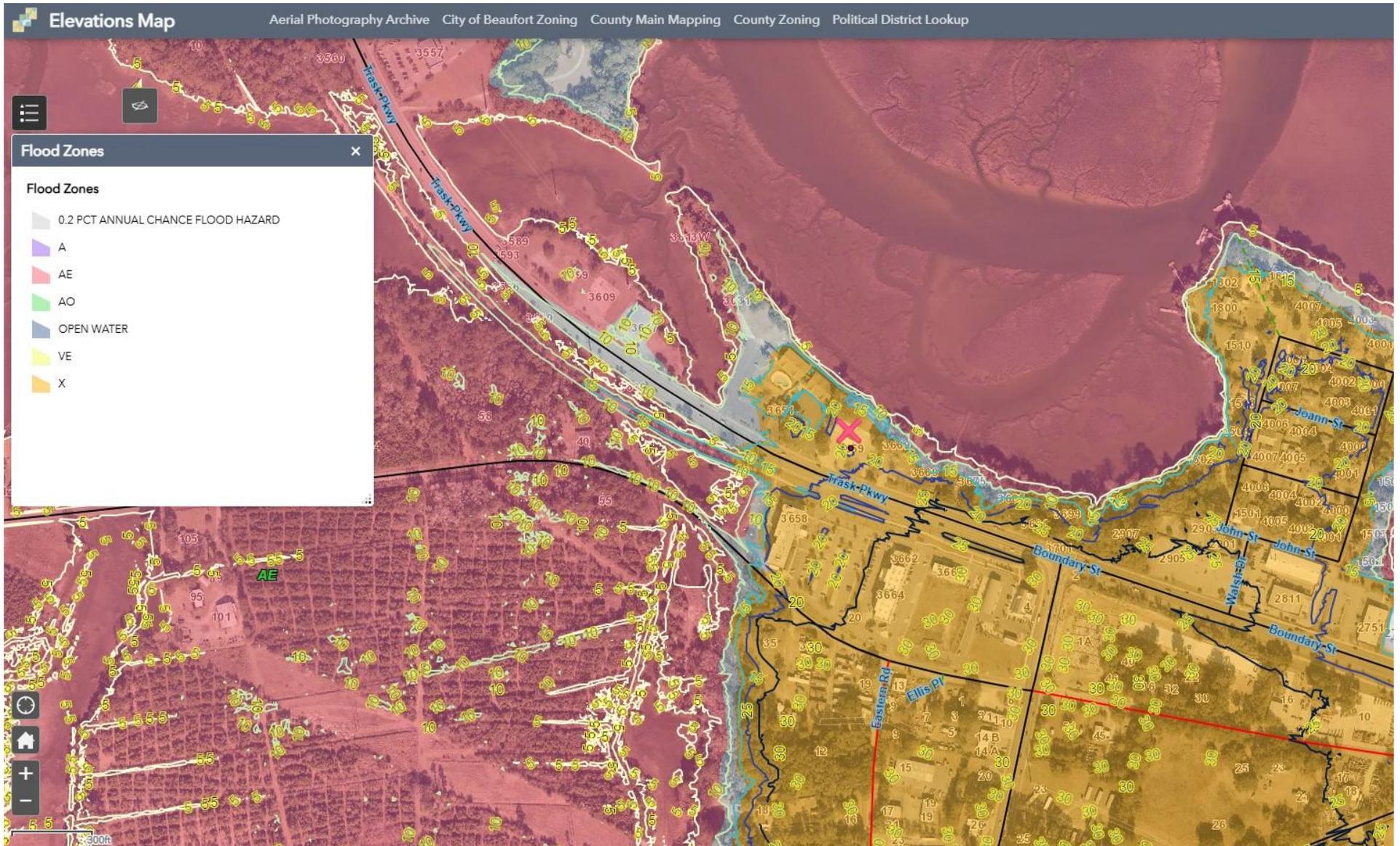
# Location of subject property on City of Beaufort, SC – Zoning Map



# Location of subject property within Beaufort County, SC – Zoning Map



# Location of subject property within Floodplain and Elevations Map



# Google Maps General Location Map

3659 Trask Pkwy

Restaurants Hotels Things to do Transit Parking Pharmacies ATMs

Salt Creek Sign in

3659 Trask Pkwy  
Building

Directions Save Nearby Send to phone Share

3659 Trask Pkwy, Beaufort, SC 29906

- Suggest an edit on 3659 Trask Pkwy
- Add a missing place
- Add your business

Photos

Layers

Home2 Suites by Hilton Beaufort

Tiru by Hilton Beaufort

Caliber Collision

Extra Space Storage

Tractor Supply Co

The UPS Store

Precision Air HVAC Inc.

US HWY 21

Trask Pkwy

County Shed Rd

Ice House Rd

Broad River Blvd

Boundary St

Janna St

Walter Dr

Linda St

State Rd US-7399

Imagery ©2024 Airbus, Maxar Technologies, Map data ©2024 United States Terms Privacy Send Product Feedback 200 ft

# Google Maps Streetview - Looking Southwest



# Google Maps Streetview – Looking West



← 3659 Trask Pkwy 🔍 ✕

**3657 US-21**  
Beaufort, South Carolina  
📍  
Google Street View  
Jun 2023 [See more dates](#)



# Google Maps Streetview - Looking North



TO THE MEMBERS OF )  
CITY COUNCIL ) PETITION OF ANNEXATION  
CITY OF BEAUFORT, SOUTH CAROLINA )

We, the undersigned freeholders, pursuant to Section 5-3-150, South Carolina Code of Laws, 1976, as amended, do pray that your Honorable Body accept the petition and annex the enclosed described area, and enact an Ordinance declaring the area annexed to the City of Beaufort with full City privileges accorded to, and responsibilities required of, the said residents thereof and the lands and properties and businesses erected therein, subject only to the conditions, provisions, and limitations hereinafter set forth. The said annexation shall be upon terms, limitations, provisions, and conditions as follows:

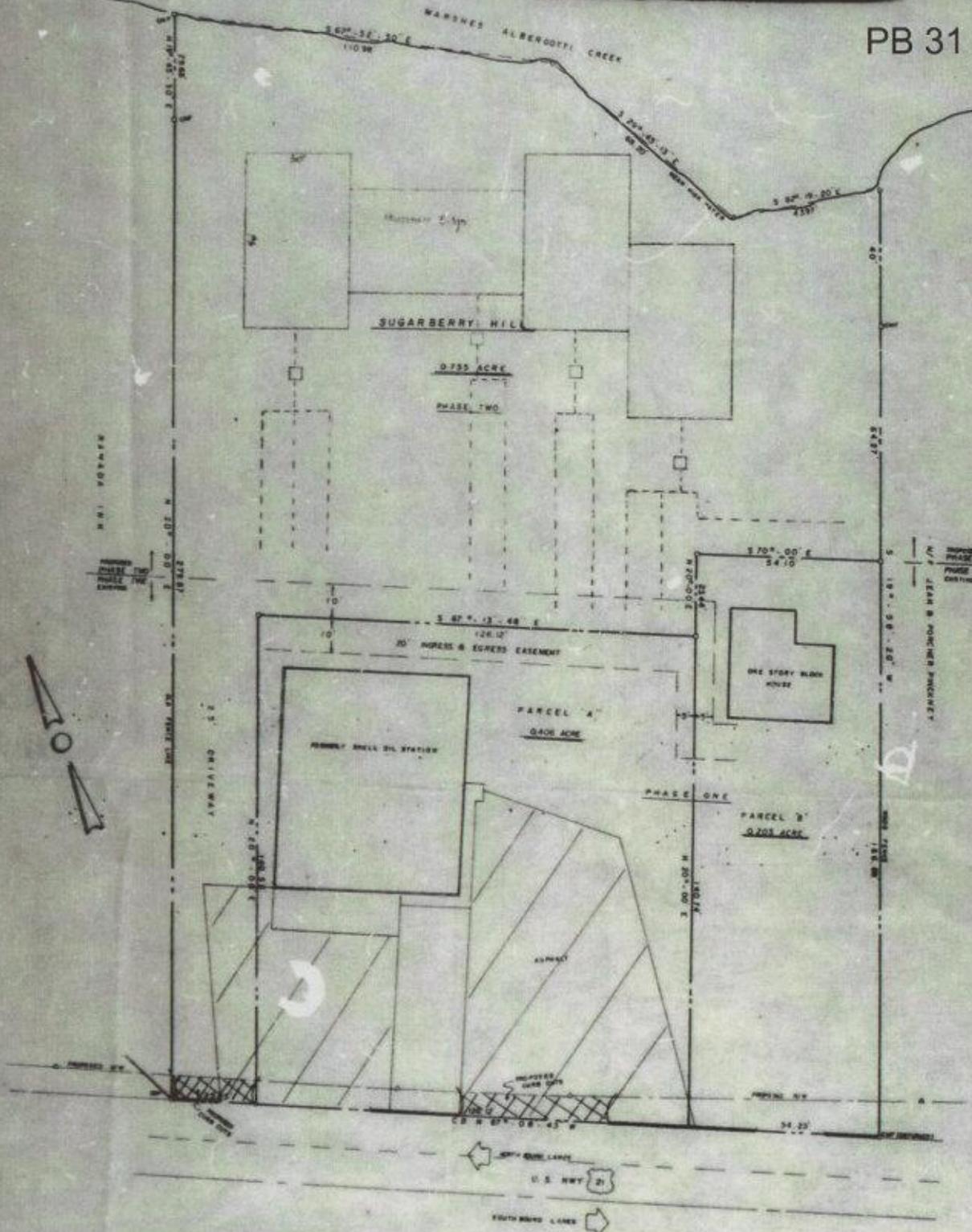
The City of Beaufort shall furnish and render as promptly as practical to said area, its residents and properties, all of privileges, benefits, rights and services now and hereinafter to be accorded the citizens within the corporate limits of the City of Beaufort in every particular under its charter and general special laws of South Carolina applicable to the City of Beaufort, and subject to the existing ordinances of the City.

The petitioning area to be annexed is described as follows:

3659 Trask Pkwy, Beaufort, SC. 29906

Plat of area to be annexed and list of freeholders are attached hereto.

Name (print)	Address	Signature	Date of Signature



SURVEY FOR  
**JACK VANE**  
 BURTON  
 FORT ROYAL ISLAND  
 BEAUFORT COUNTY SOUTH CAROLINA

BEAUFORT COUNTY DEVELOPMENT STANDARDS  
 - FINAL PLAN APPROVAL -  
 This is to certify that the Beaufort County Joint Planning Commission is in full compliance with the plan shown herein and that the same meets the requirements of the Beaufort County Development Standards and that the same is in full compliance with the requirements of a development permit.  
 Date of Planning Commission approval 6/21/83  
 Development Plan # 0686  
 Certified by *Charles Sator*

9-30-83  
 Plat Book 31  
 page 183  
*J.C. Sator*  
 400 C. SPANGLER BLVD  
 P.O. BOX 1337  
 BEAUFORT, SC 29502

PAUL  
3/18/25  
CL



# REZONING APPLICATION (EXCEPT FOR PUDS)

Community Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
Email: development@cityofbeaufort.org/www.cityofbeaufort.org

Application Fee: \$400 +  
\$25 for each additional lot  
Receipt 186101

OFFICE USE ONLY: Date Filed: 3/18/25 Application #: 28475 Zoning District: \_\_\_\_\_

**Submittal Requirements:** You must attach a boundary map prepared by a registered land surveyor of the tract, plot, or properties, in question, and all other adjoining lots of properties under the same ownership. Eight (8) hardcopies of all application materials are required along with a digital copy.

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application?  Yes  No

### Applicant, Owner and Property Information

Property Address: 3659 TRASK PKWY

Property Identification Number (Tax Map & Parcel Number): R100 026 000 0151 0000

Applicant Name: Willie Mack Stansell III

Applicant Address: 58 Governors Trace Beaufort, Se. 29907

Applicant E-mail: STANSELL64@GMAIL.COM Applicant Phone Number: 843-441-6402

Property Owner (if other than the Applicant): Willie Mack Stansell III, Susan Betty Stansell

Property Owner Address: 58 Governors Trace, Beaufort, Se. 29907

Have any previous applications been made for a map amendment affecting these same premises? ( ) YES (X) NO

If yes, give action(s) taken: \_\_\_\_\_

Present zone classification: County Comp Imp

Requested zone classification: T5-UC / T5-UC / RMC (Any Comm use)

Total area of property: 1.72 Acre

Existing land use: Vacant, The old Greyhound Bus Station

Desired land use: Multifuse,

Reasons for requesting rezoning: Annexation into the City

Applicant's Signature: [Signature] Date: 3-18/25

NOTE: If the applicant is not the property owner, the property owner must sign below.

Property Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

See Section 9.16 of The Beaufort Code for complete information about Rezoning (except for PUDS) | updated May 14, 2024



# Beaufort County, South Carolina

generated on 11/18/2024 1:40:57 PM EST

Property ID (PIN)	Alternate ID (AIN)	Parcel Address	Data refreshed as of	Assess Year	Pay Year
R100 026 000 0151 0000	00157341	3659 TRASK PKWY,	11/15/2024	2024	2024

### Current Parcel Information

Owner	BATTEY COLDEN R Jr	Property Class Code	ComImp Other
Owner Address	PO BOX 52427 ATLANTA GA 30355	Acreage	1.7200
Legal Description	#BKO1007 CAR RENTAL 0.04 AC TO US 21 R/W		

### Historic Information

Tax Year	Land	Building	Market	Taxes	Payment
2024	\$344,000	\$65,800	\$409,800	\$7,600.87	\$0.00
2023	\$344,000	\$65,800	\$409,800	\$7,600.88	\$7,600.88
2022	\$375,700	\$42,300	\$418,000	\$7,051.34	\$7,262.88
2021	\$375,700	\$42,300	\$418,000	\$6,914.82	\$6,914.82
2020	\$375,700	\$42,300	\$418,000	\$6,737.14	\$6,737.14
2019	\$375,700	\$42,300	\$418,000	\$6,661.30	\$6,661.30
2018	\$375,700	\$42,300	\$418,000	\$6,329.22	\$6,349.31
2017	\$244,200	\$69,900	\$314,100	\$5,659.65	\$5,659.65
2016	\$244,200	\$69,900	\$314,100	\$5,542.23	\$5,542.23
2015	\$244,200	\$69,900	\$314,100	\$5,318.28	\$5,318.28
2014	\$244,200	\$69,900	\$314,100	\$5,146.00	\$5,146.00

### Sales Disclosure

Grantor	Book & Page	Date	Deed	Vacant	Sale Price
BATTEY COLDEN R JR	4351 3089	7/12/2024	Fu		\$400,000
VANE JUDITH S	612 1959	11/23/1992	Fu		\$300,000
VANE JACK	597 37	12/9/1991	Fu		\$1
KING PETROLEUM CO INC	378 1923	8/1/1983	Fu		\$115,000
KING PETROLEUM CO INC	128 73	1/1/1980	Fu		\$0
		12/31/1776	Or		\$0

Narrative, C/O: Willie Mack Stansell III,

Respectfully request approval of the annexation of 3659 Trask Pkwy into the City of Beaufort as to provide for the continued growth and progress for all parties concerned.

The opportunity to annex into the city for this property will allow for a higher quality of life for its residents, while increasing economic opportunities and ultimately boosting the local economy. We believe by becoming part of the City of Beaufort we are preserving the unique character and identity of the annexed areas around this property, respecting our history and culture.

r/



Willie Mack Stansell III





**EXHIBIT "A"**

A 2/3 undivided interest of all that certain piece, parcel or tract of land, together with all buildings and improvements thereon, situate, lying and being in Beaufort Township, in the County of Beaufort, State of South Carolina, and measuring Two Hundred Five and Four-Tenths (205.4') feet, more or less, on U.S. Highway 21, and extending back therefrom to the water and marshes of Albergotti Creek, bounded on the North and East by Albergotti Creek and lands of Sidney Smith; on the South by U.S. Highway 21; on the West by lands of Terhune; as reference to plat thereof prepared by J.N. Frank dated 20 September 1958, will more fully show.

This conveyance is made subject to all easements, restrictions, covenants and conditions of record and otherwise affecting the property.

This being the same property conveyed to the within named Grantor(s) by Deed from Judith S. Vane dated November 23, 1992 and recorded on December 8, 1992 in Book 612 at Page 1959 in the office of the Register of Deeds for Beaufort County, South Carolina.

This deed was prepared by Kevin E. Dukes, Esquire, of Harvey & Battey, PA, 1001 Craven Street, Beaufort, South Carolina 29902.

**BEAUFORT COUNTY TAX MAP REFERENCE:** R100 026 000 0151 0000

**30 Cougar Drive  
(Lady's Island Middle School)**

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**Rezoning Request  
(T3-S to IC)**



# STAFF REPORT – PLANNING COMMISSION

## Rezoning Request

**DATE: April 21, 2025**

<i><b>GENERAL INFORMATION</b></i>		
<b>Applicant:</b>	Beaufort County School District	
<b>Address/Parcel Number:</b>	30 Cougar Drive, R123 015 000 0110 0000	
<b>Applicant's Request:</b>	Rezone from T3-Suburban District (T3-S) to Institutional & Campus District (IC)	
<b>Current Zoning:</b>	T3-S	
<i><b>ZONING DISTRICT INFORMATION</b></i>		
	<b>T3-S</b>	
<b>Lot Width at Setback:</b>	75 ft min	
<b>Min. Lot Size</b>	9,000 sqft min	
<b>Front Setback</b>	20 ft min	
<b>Side Setback</b>	Interior: 10 ft min Corner/Alley: 15 ft min	
<b>Rear Setback</b>	15 ft min	
<b>Building Height:</b>	2.5 stories max	
<i><b>SURROUNDING ZONING, LAND USE AND REQUIRED BUFFERS</b></i>		
<u>Adjacent Zoning</u>	<u>Adjacent Land Uses</u>	<u>Setbacks for Adjacent Zoning /Buffer required if rezoned</u>
North: T3-N	Single Family Residential	15 ft.
South: County Zoning (T4HCO - Hamlet Center Open)	Commercial	N/A
East: N/A	Marsh	30 ft. Critical Area Buffer
West: County Zoning (T4NC - Neighborhood Center & T3N - Neighborhood)	Commercial/Residential	N/A

**Background:** The 41.3-acre sized parcel in question (R123 015 000 0110 0000) is currently home to the Lady’s Island Middle School (LIMS). Beaufort County School District plans to make significant alterations & improvements to the existing site and building. Currently, the T3-S zoning restricts the applicant in making many of the proposed changes, due to the T3-S district standards being primarily intended for single-family suburban residential structures, not large-scale buildings like the middle school.

The IC zoning district better aligns with the existing and future public-school use of the parcel and allows for better site design when considering the proposed alterations & improvements of the Lady’s Island Middle School.

**Compatibility with Adjacent Zoning:** The site is adjacent to both City and County properties zoned T3-N (City - North), T4HCO (County - South) and T4NC & T3N (County - West). It also is located west, across the marsh from Beaufort Executive Airport.

**Compliance with City Plans – 2021 Beaufort Comprehensive Plan:** The Future Land Use Map (Map 5 – Future Land Use) of the Comprehensive Plan identifies the Lady’s Island Middle School parcel as one to be classified Institutional. This rezoning will accomplish exactly that.

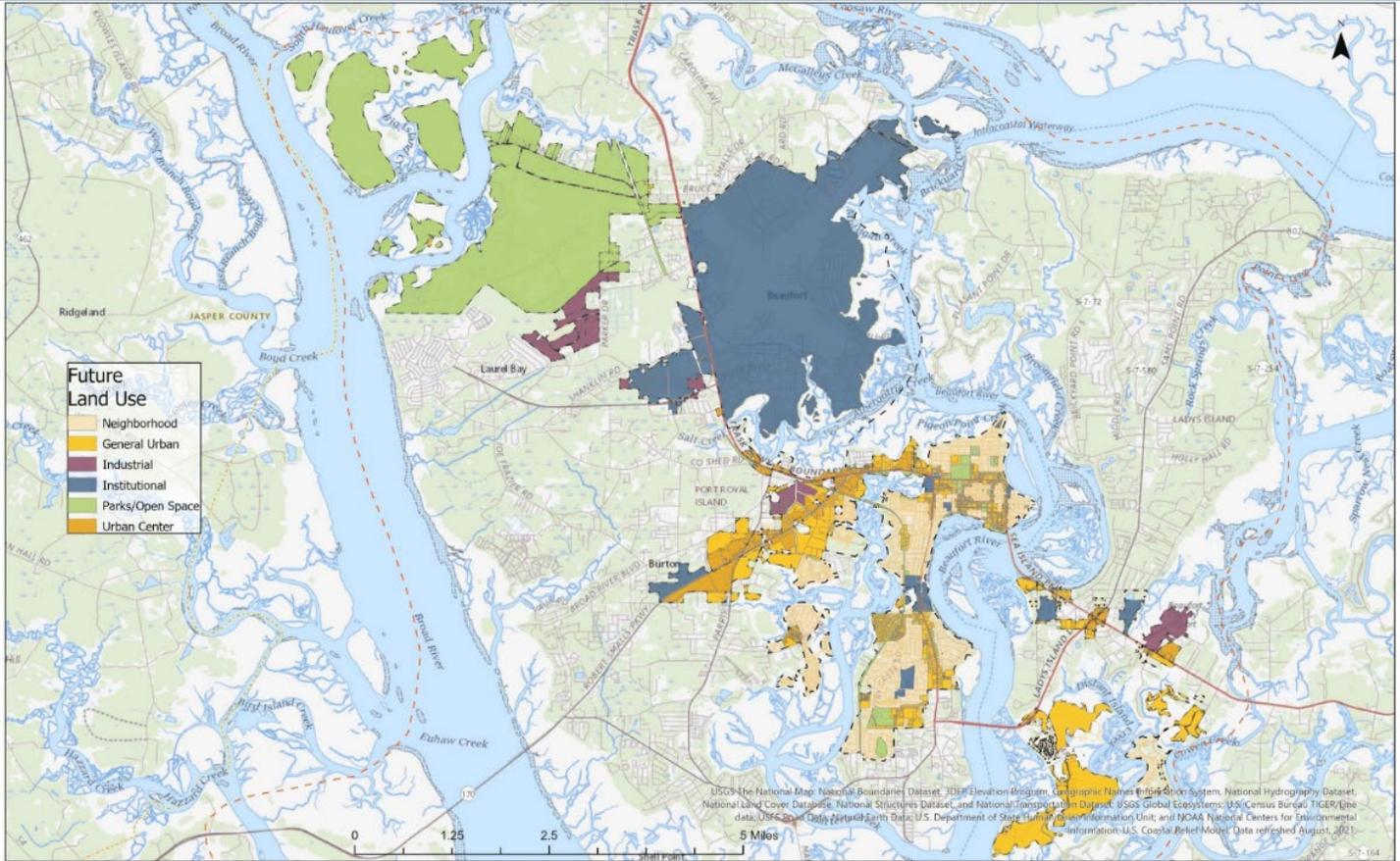
**2014 Civic Master Plan Compliance:** The Lady’s Island Middle School is identified by the Civic Master Plan as one of the various elementary/middle schools within the City of Beaufort (Ch. 7.5, pg. 150). While there is no language on Lady’s Island Middle School specifically, the rezoning will aid in existing and future public-school use and site design.

**ZONING DISTRICT USES/DEVELOPMENT STANDARDS:**

<b><u>IC – Institutional &amp; Campus District</u></b>	
<b>Residential Units/Acre</b>	30 units/acre max
<b>Minimum Lot Width</b>	50 ft min
<b>Lot Size</b>	5,000 sqft min
<b>Impervious Surface Coverage</b>	65% max
<b>Height</b>	4 stories
<b>Uses</b>	The IC district supports generally non-residential institutions and employment areas that are designed in a campus-like setting, such as hospitals, universities, research facilities, and offices. It is intended to ensure that these unique institutions are designed to be compatible with their surroundings and the rest of the city.

## FUTURE LAND USE PLAN

The Future Land Use Map envisions the area as Institutional. The Institutional & Campus District (IC) is the appropriate zoning district for this parcel as per the Comprehensive Plan.



## REZONING REVIEW CRITERIA

**Required Findings:** The PC is to recommend a rezoning to the City Council utilizing the factors found in Section 9.16.3 C found below. Staff analysis on the project based on these findings is found below.

<b><u>9.16.3.C.2 - Finding of Fact</u></b>	<b><u>Rationale Present (yes/no)</u></b>	<b><u>Staff Analysis of Rationale</u></b>
<b>a. Consistency (or lack thereof) with the Comprehensive Plan and Civic Master Plan</b>	Yes	✓ The “IC” zoning district is the appropriate district for schools and specifically for this parcel as outlined in the Comprehensive Plan.
<b>b. Compatibility with the present zoning, with conforming uses of nearby property, and with the character of the neighborhood</b>	Yes	✓ The “IC” zoning district is consistent, compatible, and appropriate for the Lady’s Island Middle School.
<b>c. Suitability of the property that would be affected by the amendment</b>	Yes	✓ The “IC” zoning district perfectly corresponds with the intention and current use of the property.
<b>d. Compatibility with the natural features of — and any archaeological or cultural resources on — the property</b>	Yes	✓ The “IC” zoning district is compatible with the natural features of the property.
<b>e. Marketability of the property that would be affected by the amendment; and</b>	Yes	✓ The property is owned by the Beaufort County School District and is utilized as a middle school. ✓ The “IC” zoning district would not affect the marketability of the property.
<b>f. The availability of roads, sewer, water, and stormwater facilities generally suitable and adequate for the affected property.</b>	Yes	✓ The “IC” zoning district would not restrict the availability of these facilities.

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## **FINDINGS AND RECOMMENDATIONS**

**Staff Recommendation: Staff recommends approval of rezoning from “T3-Suburban District (T3-S)” to “Institutional & Campus District (IC)” zoning designation.**



# REZONING APPLICATION (EXCEPT FOR PUDS)

Community Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
Email: development@cityofbeaufort.org/www.cityofbeaufort.org

**Application Fee: \$400 +  
\$25 for each additional lot**  
Receipt \_\_\_\_\_

**OFFICE USE ONLY:** Date Filed: \_\_\_\_\_ Application #: \_\_\_\_\_ Zoning District: \_\_\_\_\_

**Submittal Requirements:** You must attach a boundary map prepared by a registered land surveyor of the tract, plot, or properties, in question, and all other adjoining lots of properties under the same ownership. Eight (8) hardcopies of all application materials are required along with a digital copy.

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application?  Yes  No

### Applicant, Owner and Property Information

Property Address: 30 Cougar Dr. Lady's Island, SC 29907

Property Identification Number (Tax Map & Parcel Number): R123 015 000 0110 0000

Applicant Name: Beaufort County School District

Applicant Address: 2900 Mink Point Blvd. Beaufort, SC 29902

Applicant E-mail: Robert.Oetting@beaufort.k12.sc.us Applicant Phone Number: 843-322-0783

Property Owner (if other than the Applicant): \_\_\_\_\_

Property Owner Address: \_\_\_\_\_

Have any previous applications been made for a map amendment affecting these same premises? ( ) YES (X) NO

If yes, give action(s) taken: \_\_\_\_\_

Present zone classification: Suburban District (T3-S)

Requested zone classification: Institutional & Campus District (IC)

Total area of property: 41.3 acres

Existing land use: School

Desired land use: School

Reasons for requesting rezoning: IC zoning better aligns with the existing and future public school use of this parcel &

allows for better site design when considering the proposed re-build of the LIMS, as outlined in the attached narrative.

Applicant's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

NOTE: If the applicant is not the property owner, the property owner must sign below.

Property Owner's Signature: [Signature] Date: 2/18/25

See Section 9.16 of The Beaufort Code for complete information about Rezoning (except for PUDS) | updated May 14, 2024



**Project: Lady's Island Middle School Rebuild**  
30 Cougar Drive, Lady's Island, SC 29907

**Date: February 17, 2025**

**Owner: Beaufort County School District**  
P.O Drawer 309  
Beaufort, SC 29901

**Parcel:**  
Property ID: R123 015 000 0110 0000  
Acreage: 41.3 Acres  
Zoning: T3-S, City of Beaufort

The proposed rebuild of Lady's Island Middle School presents an opportunity to create a safer, more efficient, and environmentally responsible design that benefits students, staff, and the surrounding community. The existing T3-S zoning (Suburban District), imposes limitations that restrict optimal site planning. In contrast, an IC zoning (Institutional & Campus District), better aligns with the ongoing institutional use for this property, and since this zoning allows 3-story building heights, a new school can be more strategically placed within a smaller footprint onsite. Beaufort County School District feels that rezoning parcel R123 015 000 0110 000 allows for better site planning, enhances safety, and better preserves natural onsite elements as outlined below.

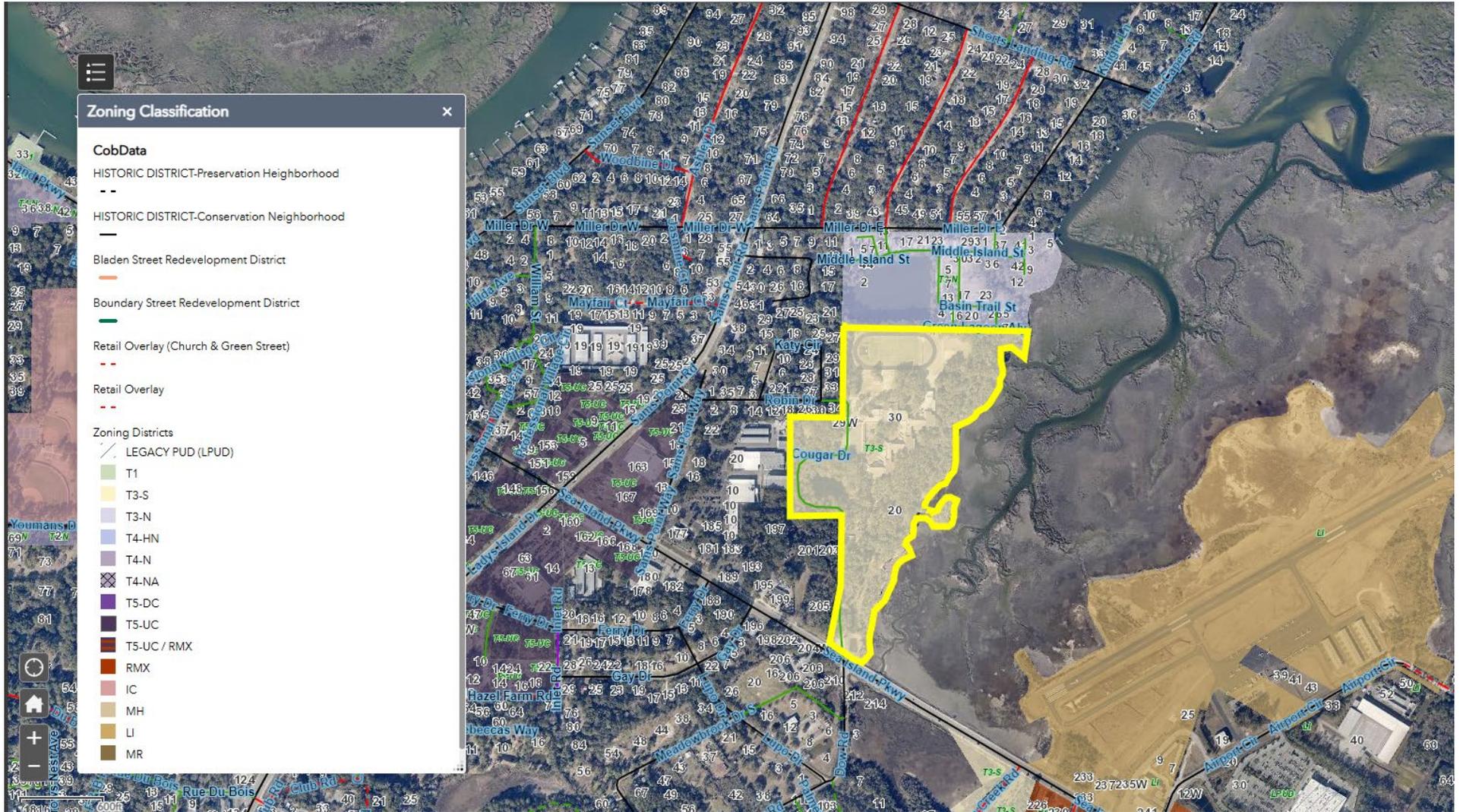
**Key Benefits of IC Zoning for this Parcel:**

- **Maintaining School Operations During Construction**  
By being able to place the new school between the existing school and football field under IC zoning, the existing school and athletic facilities can remain operational throughout the construction process. This ensures that students can continue their education without major disruptions, and extracurricular activities can proceed as planned.
- **Enhanced Control and Safety for Athletics**  
The ability to position the new building in a more strategic location allows for the athletic fields to be maintained behind the school. This placement provides better supervision and security, ensuring a safer environment for students during sporting events.
- **Preserving Significant Trees and Natural Features**  
A key advantage of IC zoning is the ability to work around existing mature trees, reducing the number that must be removed for construction. This not only preserves the natural character of the site but also contributes to long-term environmental sustainability.

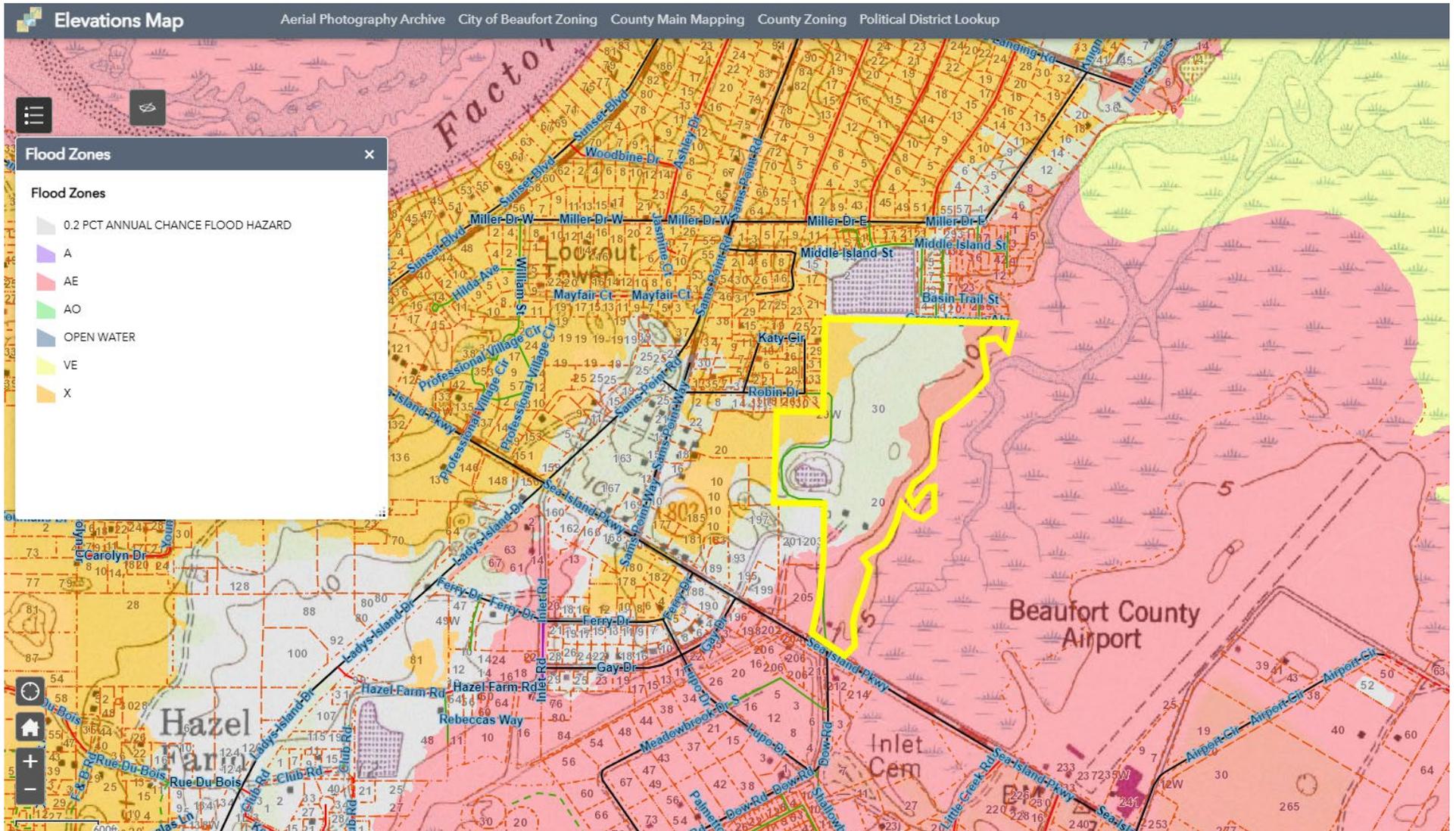
- **Reducing Building Footprint and Stormwater Impact**  
The flexibility offered by IC zoning enables a more compact and efficient building footprint. By designing a structure that fits within a smaller footprint, the overall impact on stormwater drainage is reduced, minimizing runoff and the amount of stormwater mitigation measures needed.
- **Increased Distance from Neighboring Homes**  
Under IC zoning, the new school can be positioned farther from adjacent residential properties. Centrally locating the new school will maintain a visual buffer from the property edges, fostering a more harmonious relationship between the school and the surrounding community.
- **Shortened Construction Timeline**  
A well-planned site layout facilitated by IC zoning helps streamline the construction process, reducing the overall duration of the project. This means fewer disruptions for students, faculty, and neighbors, allowing the community to benefit from the new facilities sooner.

By transitioning to IC zoning, Lady's Island Middle School can be rebuilt in a way that prioritizes student safety, environmental responsibility, and community harmony. IC zoning appears to be a better fit long-term for the current school use with minimized disruption on existing operations, making it the most suitable zoning designation for this vital project.

# Location of subject property on City of Beaufort, SC – Zoning Map



# Location of subject property within Floodplain and Elevations Map



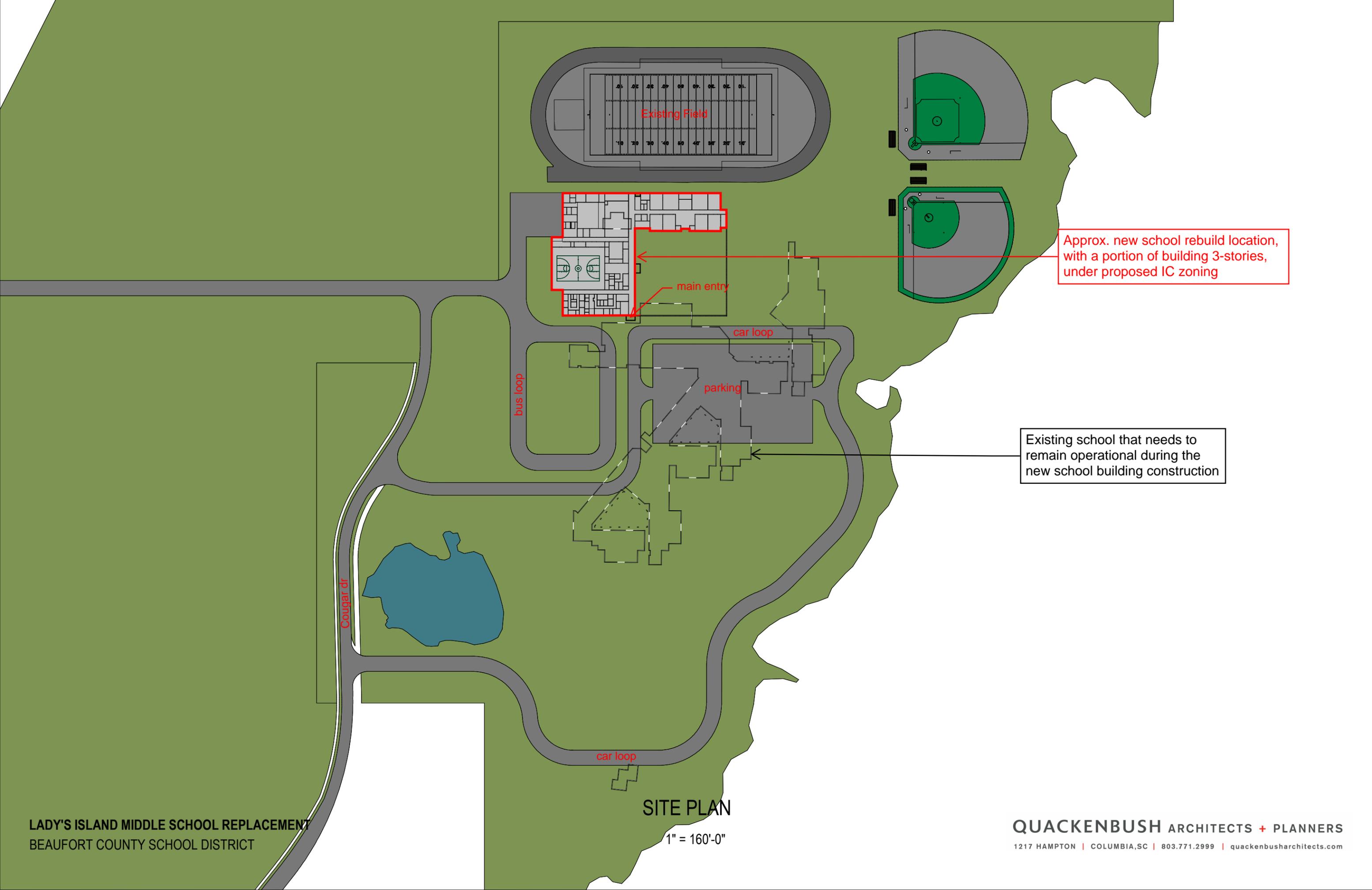
# Google Maps General Location Map

The image shows a Google Maps interface with a search bar at the top left containing "30 Cougar Dr". The main map area displays a satellite view of a residential and commercial area in Beaufort, SC, with a red pin marking the location of 30 Cougar Dr. The sidebar on the left provides details for the selected location:

- Search Bar:** 30 Cougar Dr
- Navigation:** Restaurants, Hotels, Things to do, Transit, Parking, Pharmacies, ATMs
- Location Details:** 30 Cougar Dr, Building
- Actions:** Directions, Save, Nearby, Send to phone, Share
- Address:** 30 Cougar Dr, Beaufort, SC 29907
- Options:** Suggest an edit on 30 Cougar Dr, Add a missing place, Add your business
- Photos:** A photo of the building at 30 Cougar Dr.
- At this place:** Lady's Island Middle School (3.0 stars, 12 reviews, Middle school · Floor 1, Closed · Opens 8:45 AM Wed)

The map shows various landmarks and streets, including Sea Island Animal Hospital, Tidal Wave Auto Spa, Food Lion, The UPS Store, SouthState Bank, and Beaufort Executive Airport. The bottom of the map includes copyright information: "Imagery ©2025 Airbus, Maxar Technologies, Map data ©2025 Google" and a scale bar for 500 feet.





Existing Field

main entry

car loop

parking

bus loop

Cougar dr

car loop

Approx. new school rebuild location, with a portion of building 3-stories, under proposed IC zoning

Existing school that needs to remain operational during the new school building construction

### SITE PLAN

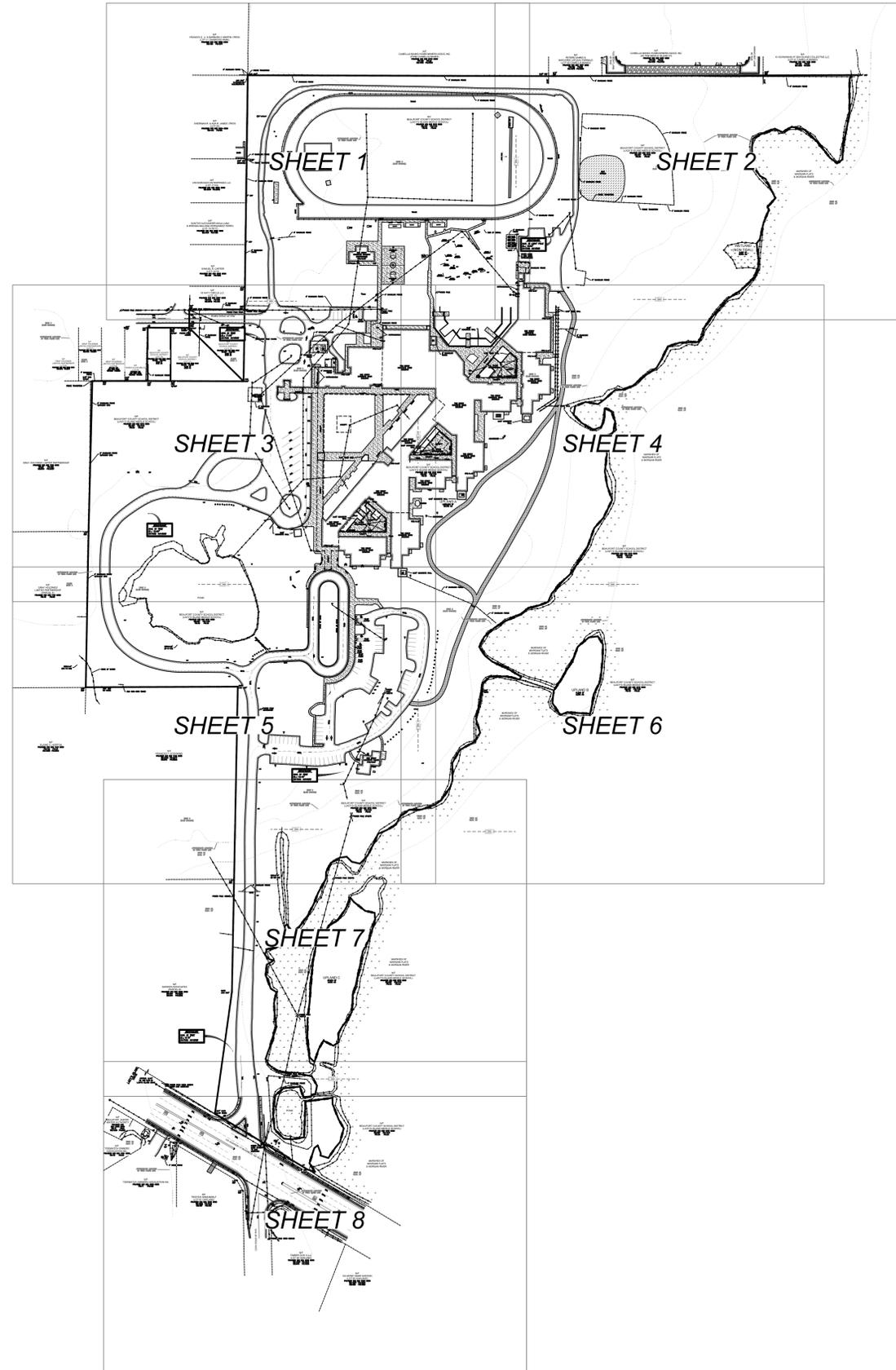
1" = 160'-0"

SC GRID (NAD 83)  
(2011)

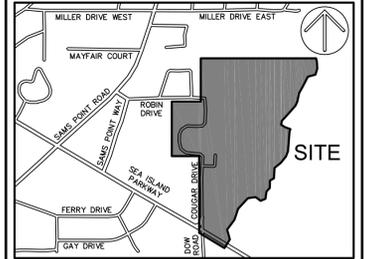
**PROJECT LIMITS ACREAGE CHART**

PIN: R123 015 000 0110 0000		PROPERTY TOTALS	
UPLAND A	1,668,800 SF 38.310 AC	PIN: R123 015 000 0110 0000	1,711,470 SF 39.290 AC
UPLAND B	11,839 SF 0.272 AC	LOT-10	5,715 SF 0.131 AC
UPLAND C	27,574 SF 0.633 AC	LOT-11	11,441 SF 0.263 AC
UPLAND TOTAL	1,708,213 SF 39.215 AC	LOT-12	11,681 SF 0.268 AC
WETLAND (NON-TIDAL)	3,257 SF 0.075 AC	PROJECT TOTAL	1,740,307 SF 39.952 AC
TOTAL	1,711,470 SF 39.290 AC		

LABEL	BEARING	DISTANCE	LABEL	BEARING	DISTANCE
L1	S24°16'54"W	9.12	L116	N36°32'13"W	7.50
L2	S00°49'55"W	25.78	L117	S52°23'49"W	6.49
L3	S00°35'30"E	21.01	L118	S08°06'51"E	21.78
L4	S00°29'39"W	27.13	L119	S75°29'36"W	17.04
L5	S10°23'15"W	28.97	L120	S11°59'18"W	20.19
L6	S12°31'32"W	41.42	L121	S78°14'38"W	21.35
L7	S01°34'58"W	31.31	L122	S18°47'29"W	12.41
L8	S58°20'32"W	13.76	L123	S43°20'38"E	12.87
L9	N54°59'43"W	18.68	L124	S74°05'17"E	10.33
L10	N37°49'53"W	43.40	L125	S58°54'43"W	17.48
L11	N47°35'30"W	39.61	L126	S03°58'04"W	24.50
L12	N76°54'05"W	27.94	L127	S20°56'02"E	29.65
L13	S59°05'56"W	23.34	L128	S59°38'54"E	13.77
L14	N65°34'03"W	18.07	L129	S12°03'44"W	24.56
L15	S69°54'53"W	30.92	L130	S03°40'01"E	22.94
L16	S59°54'38"W	21.67	L131	S07°11'31"E	23.43
L17	S06°57'46"W	19.53	L132	S17°58'15"W	24.56
L18	S00°43'45"E	36.93	L133	S16°43'43"W	24.12
L19	S35°55'31"E	29.94	L134	S20°58'18"W	11.52
L20	S62°09'09"E	13.61	L135	S18°55'56"W	13.98
L21	S27°45'05"E	30.30	L136	S29°29'54"E	14.87
L22	S24°48'01"E	16.02	L137	S54°29'53"E	26.32
L23	S39°56'56"W	26.16	L138	S86°55'25"E	28.27
L24	S22°46'49"E	9.80	L139	S80°40'41"E	29.92
L25	S22°26'31"W	28.77	L140	S78°50'43"E	17.90
L26	S13°03'13"W	38.33	L141	S29°52'47"E	23.21
L27	S07°18'45"E	11.08	L142	S61°12'24"W	12.44
L28	S05°08'02"E	16.72	L143	S84°46'54"W	15.54
L29	S22°27'44"W	20.82	L144	N17°39'03"W	23.57
L30	S46°28'35"W	37.66	L145	S84°37'22"E	35.44
L31	S57°06'08"W	36.73	L146	S50°27'11"W	23.43
L32	S40°40'06"W	52.06	L147	S07°42'40"W	38.43
L33	S47°49'43"W	21.43	L148	S25°37'46"E	35.48
L34	S14°17'53"W	17.28	L149	S44°26'41"E	28.91
L35	S30°39'20"W	16.42	L150	S85°12'14"E	15.62
L36	S87°52'29"W	41.34	L151	N81°29'00"E	28.47
L37	S22°27'44"W	20.82	L152	N02°29'21"E	61.80
L38	S26°18'47"W	34.27	L153	N00°54'06"W	15.63
L39	S30°18'40"W	18.29	L154	N82°29'43"E	11.53
L40	S67°47'58"W	21.67	L155	N82°25'52"E	48.31
L41	S50°11'54"W	34.52	L156	N00°21'44"E	12.97
L42	S67°44'13"W	23.05	L157	S21°31'57"E	36.75
L43	S86°08'48"W	18.06	L158	S30°18'27"E	21.47
L44	S48°18'31"W	29.90	L159	S15°05'00"W	30.92
L45	S53°30'22"W	17.03	L160	S41°01'31"W	14.64
L46	N80°29'10"W	27.84	L161	S34°20'50"W	28.10
L47	S68°16'07"W	24.21	L162	N72°17'08"W	18.06
L48	S10°52'49"W	19.01	L163	N10°29'06"E	4.56
L49	S44°46'26"E	24.18	L164	N20°32'44"W	18.38
L50	S58°04'18"E	28.52	L165	S52°50'25"W	9.37
L51	N70°07'43"E	20.01	L166	S18°13'49"W	14.16
L52	N17°50'38"E	21.91	L167	S17°43'48"W	20.25
L53	N00°43'52"E	18.58	L168	S33°23'56"E	22.27
L54	S66°05'06"E	15.34	L169	N72°17'08"W	32.06
L55	S20°53'49"E	23.36	L170	S27°43'45"W	13.43
L56	S08°52'43"W	21.43	L171	S40°00'45"W	13.55
L57	S42°54'23"W	28.34	L172	S43°23'54"E	28.56
L58	S09°43'46"E	28.30	L173	S24°25'35"E	20.07
L59	S07°14'36"W	37.08	L174	N86°53'16"E	26.27
L60	S09°17'48"E	31.75	L175	S83°52'13"E	20.75
L61	S19°32'18"E	32.22	L176	S72°12'40"E	78.51
L62	S63°03'30"W	43.49	L177	N34°26'26"E	21.07
L63	S42°09'40"W	28.63	L178	N31°05'32"E	39.79
L64	S19°31'00"W	42.67	L179	N28°10'22"E	22.83
L65	S31°50'44"W	26.43	L180	N21°36'01"E	25.24
L66	S32°21'44"W	41.89	L181	N50°12'19"E	30.92
L67	S47°17'31"W	20.14	L182	N82°34'08"E	19.86
L68	S42°32'43"W	39.56	L183	S31°49'09"E	20.45
L69	S23°26'29"W	20.07	L184	S01°14'41"E	32.19
L70	S68°44'03"W	20.94	L185	S05°43'27"W	27.35
L71	S74°15'31"W	24.70	L186	S07°08'26"W	21.45
L72	S51°34'05"W	22.18	L187	S27°15'30"W	30.53
L73	S47°48'29"E	36.44	L188	S09°07'54"E	24.16
L74	S57°26'23"W	26.67	L189	S12°22'16"W	18.53
L75	S48°45'53"W	29.93	L190	N86°52'35"E	24.26
L76	S26°57'47"W	24.14	L191	N85°24'47"W	25.27
L77	S34°05'30"E	24.42	L192	S68°44'00"W	18.19
L78	S51°28'50"E	19.39	L193	N33°57'50"W	30.64
L79	S67°35'45"E	31.97	L194	N05°35'43"E	17.41
L80	S57°58'17"E	39.42	L195	N06°16'34"E	9.60
L81	S41°56'15"W	7.19	L196	N10°50'48"E	31.16
L82	N742°3'56"W	26.72	L197	N45°08'35"W	14.72
L83	S88°06'48"W	38.97	L198	N06°19'25"W	44.83
L84	S44°00'53"W	22.77	L199	N00°52'42"E	36.86
L85	S07°01'36"W	33.31	L200	N06°37'25"E	37.17
L86	S12°51'24"W	43.04	L201	N04°43'50"E	34.61
L87	S16°52'10"E	31.03	L202	N04°21'57"E	42.88
L88	S31°51'51"W	22.54	L203	N07°28'08"E	12.19
L89	S60°56'22"W	36.94	L204	N10°11'16"E	33.03
L90	S30°01'48"W	32.29	L205	N33°01'12"E	54.79
L91	S00°29'10"W	37.63	L206	N61°34'14"E	20.26
L92	S18°01'11"W	14.58	L207	N34°32'08"E	30.88
L93	S34°21'29"W	35.31	L208	N22°35'55"E	25.54
L94	S55°03'04"W	17.74	L209	S39°17'46"E	13.23
L95	S70°53'40"W	30.01	L210	S73°40'43"E	0.71
L96	S88°36'04"W	26.91	L211	S51°45'27"E	29.31
L97	S53°42'00"W	24.07	L212	S78°20'00"E	21.04
L98	S26°44'46"W	19.97	L213	S04°25'02"E	15.14
L99	S60°06'24"W	23.44	L214	S17°04'10"W	41.53
L100	S67°01'32"W	20.11	L215	S27°26'36"W	31.57
L101	S24°50'01"W	27.42	L216	S11°22'22"W	33.81
L102	S26°46'12"W	24.99	L217	S13°02'14"W	23.85
L103	S43°03'46"W	8.26	L218	S11°21'47"W	17.12
L104	S43°43'23"W	15.61	L219	S19°04'37"W	21.23
L105	N77°29'25"W	18.30	L220	S05°25'52"W	16.40
L106	N44°57'00"W	15.41	L221	S03°52'56"W	21.64
L107	N82°59'33"W	15.17	L222	S29°51'51"W	25.22
L108	S59°31'08"W	23.02	L223	S41°44'27"W	10.90
L109	S26°46'17"W	22.22	L224	S31°22'35"W	19.29
L110	S01°24'26"W	14.13	L225	S05°18'34"E	18.54
L111	S29°04'35"W	34.61	L226	S55°54'35"W	14.26
L112	S21°44'03"W	27.90	L227	N63°20'46"W	23.04
L113	S27°52'12"W	26.65	L228	N11°56'25"W	1.66
L114	S37°35'55"W	28.89	L229	S29°38'29"W	22.44
L115	S52°20'01"W	18.43	L230	S18°12'17"W	28.28
L116	N41°45'26"W	12.28	L231	N73°33'57"W	16.83



- LEGEND**
- ▲ CALC POINT - CORNER NOT SET
  - ARTHUR CHRISTENSEN MONUMENT
  - CONC. MONUMENT FOUND
  - CONC. MONUMENT FOUND DISTURBED
  - OPEN TOP PIPE
  - IRON REBAR FOUND
  - IRON REBAR SET
  - AIR CONDITIONING UNIT
  - BOLLARD
  - CABLE JUNCTION BOX
  - CONTROL PANEL
  - ELECTRIC JUNCTION BOX
  - ELECTRIC METER
  - ELECTRIC OUTLET
  - FIRE HYDRANT
  - GENERATOR
  - GRATE INLET
  - GROUND LIGHT
  - GUY WIRE
  - HANDICAP PARKING
  - IRRIGATION CONTROL VALVE
  - LIGHT POLE
  - MAIL BOX
  - MARSHGRASS
  - POST
  - POWER POLE
  - SANITARY SEWER CLEAN OUT
  - SANITARY SEWER MANHOLE
  - SANITARY SEWER VALVE
  - SANITARY SEWER VALVE MARKER
  - SATELLITE DISH
  - SIGN
  - SPIGOT
  - SPOT ELEVATION
  - STORM DRAIN MANHOLE
  - TELEPHONE JUNCTION BOX
  - TRANSFORMER-ELECTRIC
  - TOWER RADIO
  - UNDERGROUND FIBER OPTICS MARKER
  - WATER METER
  - WATER VALVE
  - WATER VALVE MARKER
  - WATER WELL
  - WETLAND FLAG
  - BLACK GUM
  - CEDAR
  - CHERRY
  - SWEET GUM
  - HICKORY
  - HOLLY
  - LA LAUREL OAK
  - LIVE OAK
  - MAGNOLIA
  - MIMOSA
  - MULBERRY
  - PALMETTO
  - PECAN
  - PINE
  - RED OAK
  - SUGAR BERRY
  - SYCAMORE
  - TALLOW
  - WATER OAK
  - WAX MYRTLE
  - YELLOW POPLAR
  - BACK OF CURB
  - COULD NOT ACCESS/ACQUIRE
  - DETECTABLE WARNING SURFACE
  - DOUBLE YELLOW LINE
  - FLARED END SECTION
  - FINISHED FLOOR ELEVATION
  - HIGH DENSITY POLYETHYLENE
  - INVERT ELEVATION
  - METAL CORRUGATED PIPE
  - PARCEL ID NUMBER
  - PIPE DIRECTION
  - POLYVINYL CHLORIDE PIPE
  - REINFORCED CONCRETE PIPE
  - STOP BAR
  - SINGLE DASHED WHITE LINE
  - SINGLE DASHED YELLOW LINE
  - SINGLE WHITE LINE (SOLID)
  - SINGLE YELLOW LINE (SOLID)
  - WATER SURFACE ELEVATION
  - BOTTOM OF BANK
  - CONTOUR LINE
  - CENTERLINE OF DITCH
  - EDGE OF WATER
  - FENCE LINE
  - FORCEMAIN
  - DES-BCM CRITICAL LINE
  - OVERHEAD POWER LINE
  - TOP OF BANK
  - UNDERGROUND DRAINAGE LINE
  - UNDERGROUND ELECTRICAL LINE
  - UNDERGROUND FIBER OPTICS LINE
  - UNDERGROUND SEWER LINE
  - UNDERGROUND TELEPHONE
  - UNDERGROUND TV LINE
  - UNDERGROUND WATER LINE
  - WETLAND LINE
  - PROPERTY LINE ADJACENT CONCRETE
  - DETECTABLE WARNING SURFACE
  - DIRT ROAD
  - EDGE OF PAVEMENT
  - GRAVEL
  - WETLANDS



- NOTES**
- FULL LEGEND, LINE & CURVE TABLES, AND ACREAGE CHART ARE LOCATED ON COVER SHEET.
  - THESE PARCELS APPEAR TO LIE IN MULTIPLE FLOOD ZONES: X, X (0.2% CHANCE), AE (ELEVATION 11', 12' & 13'), DUAL COMMUNITIES 450025 (BEAUFORT COUNTY), AND 450026 (CITY OF BEAUFORT), MAP NUMBER 4501300167G.
  - CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
  - VERTICAL DATUM IS NAVD 88.
  - SANITARY SETBACK REQUIREMENTS ARE TO BE DETERMINED BY THE PROPER AUTHORITIES AND MUST BE VERIFIED PRIOR TO DESIGN & CONSTRUCTION.
  - COORDINATES AND DIRECTIONS SHOWN ON THIS SURVEY ARE BASED ON SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD83). DISTANCES SHOWN ARE GROUND DISTANCES, NOT GRID DISTANCES.
  - UNLESS ION IS IDENTIFIED HEREON, NO TITLE PACKAGE PROVIDED PRIOR TO THE DATE SHOWN ON THIS SURVEY. ALL EASEMENTS AND APPURTENANCES AFFECTING THIS PROPERTY NOT NECESSARILY SHOWN.
  - THE EXISTENCE AND LOCATION OF THE SURFACE AND SUB-SURFACE UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE RECORDS AND SURFACE VISIBLE FEATURES ALONG WITH ELECTRONIC AND ACUSTICAL EVIDENCE AS OF AUGUST 18, 2024. THE EXTENT AND LIABILITY OF THIS INFORMATION IS LIMITED TO THE STANDARDS OF CARE FOR A SPECIFIC UTILITY INVESTIGATION AS DEFINED BY THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) PUBLICATION 38-02. THE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES CANNOT BE DETERMINED WITHOUT EXPOSING THEM IN SOME WAY. PRIOR TO CONSTRUCTION OR EXCAVATION, IT IS REQUIRED BY LAW TO CONTACT THE STATE 811 UTILITY PROTECTION CENTER.
  - CRITICAL LINE AND WETLANDS WERE FLAGGED BY NEWKIRK ENVIRONMENTAL INC. ON JULY 31, 2024.



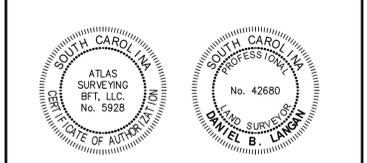
PREPARED FOR:  
WARD EDWARDS ENGINEERING  
A BOUNDARY, AS-BUILT, TREE AND TOPOGRAPHIC SURVEY OF  
LADY'S ISLAND MIDDLE SCHOOL  
#30 COUGAR DRIVE,  
#s 30, 32, 34 ROBIN DRIVE  
LOTS 42, 43 & 55, PORTIONS OF LOTS  
54, 56 & 58 SECTION 10, ALSO PORTIONS  
OF LOTS 7 & 8 SECTION 15 1S-1W

TAX PARCEL Nos.  
R123 015 000 0110 0000, R200 015 000 0286 0000,  
R200 015 000 0285 0000, & R200 015 000 0284 0000  
LADY'S ISLAND  
BEAUFORT COUNTY, SOUTH CAROLINA  
FIELD WORK: TSW  
FIELD CHECK: OSL  
DRAWN BY: JHL  
FIELD DATE: 10-14-2024  
PLAT DATE: 10-22-2024  
SCALE: 1"=150'  
PROJECT No.: BPT-24256  
DATE OF FIELDWORK: 10/14/2024

**COVER SHEET**

# ATLAS SURVEYING, INC.

168 BOARDWALK DRIVE, SUITE A,  
RIDGELAND, SC 29936.  
PHONE: (843) 645-9277  
WEBSITE: WWW.ATLASSURVEYING.COM



I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

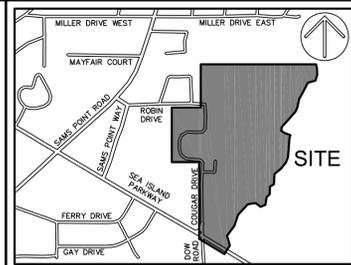
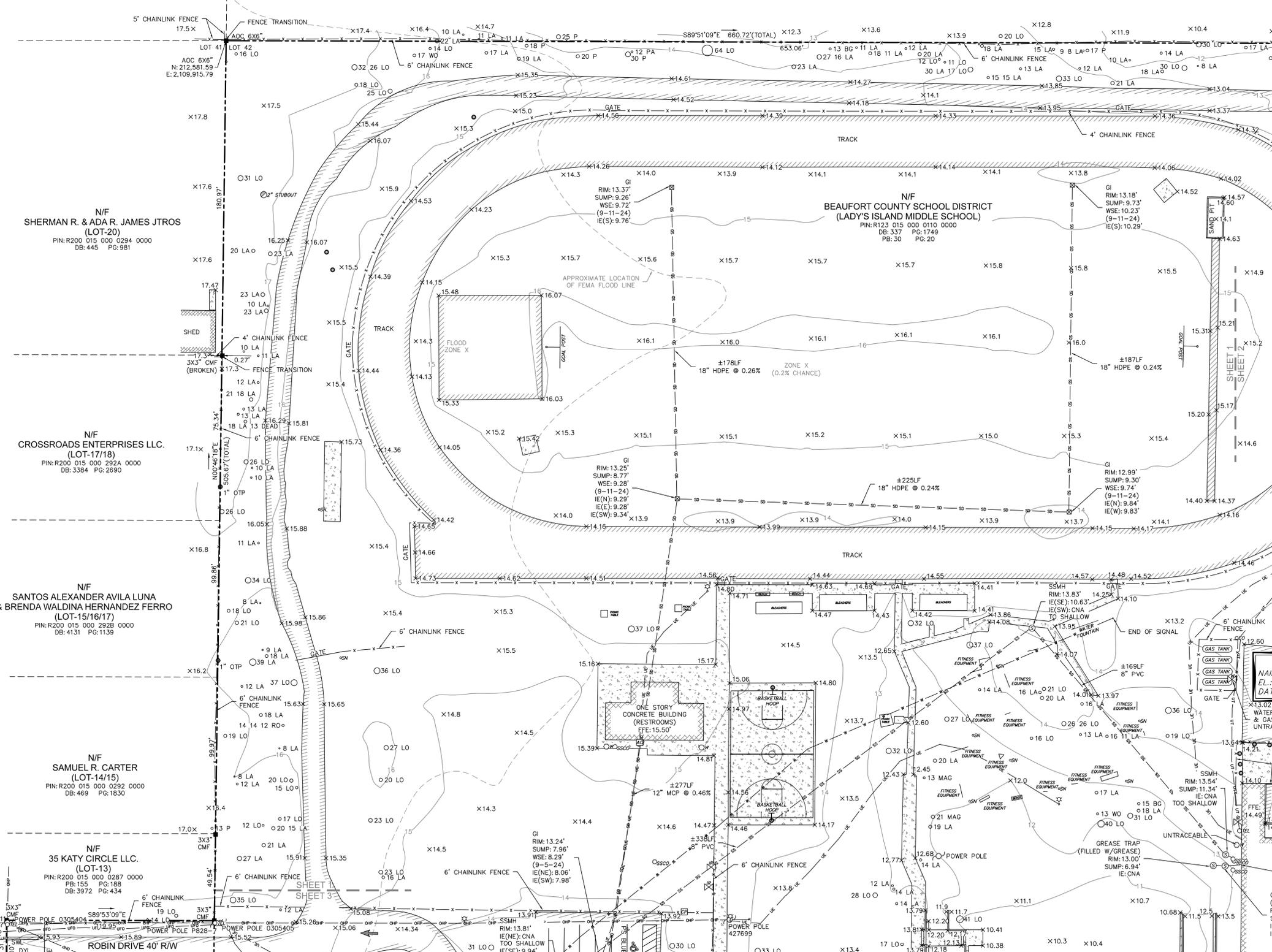
"THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS BY THEIR NATURE ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF THE DEPARTMENT, THE DEPARTMENT IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREON OR NOT."

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
The critical line shown on this plat is valid for five years from the date of this signature, subject to the cautionary language above.

NORTH  
SC GRID (NAD 83)  
(2011)

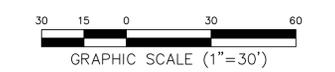
N/F  
FRANCIS E. Jr. & BARBARA C MARTIN JTROS  
(LOT-11 OAKWOOD PARK)  
PIN: R200 015 000 0538 0000  
DB: 720 PG: 1277

N/F  
CAMELLIA BANKS HOMEOWNERS ASSOC INC.  
(POND CAMELLIA BANKS)  
PIN: R123 015 000 0749 0000  
PB: 129 PG: 24  
DB: 4155 PG: 2790



VICINITY MAP NOT TO SCALE

- NOTES
1. FULL LEGEND, LINE & CURVE TABLES, AND ACREAGE CHART ARE LOCATED ON COVER SHEET.
  2. THESE PARCELS APPEARS TO LIE IN MULTIPLE FLOOD ZONES: X, X (0.2% CHANCE), AE (ELEVATION 11', 12' & 13'), DUAL COMMUNITIES 450025 (BEAUFORT COUNTY), AND 450026 (CITY OF BEAUFORT), MAP NUMBER 4501300167G.
  3. CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
  4. VERTICAL DATUM IS NAVD 88.
  5. BUILDING SETBACK REQUIREMENTS ARE TO BE DETERMINED BY THE PROPER AUTHORITIES AND MUST BE VERIFIED PRIOR TO DESIGN & CONSTRUCTION.
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  9. CRITICAL LINE AND WETLANDS WERE FLAGGED BY NEWKIRK ENVIRONMENTAL INC. ON JULY 31, 2024.



PREPARED FOR:  
WARD EDWARDS ENGINEERING  
A BOUNDARY, AS-BUILT, TREE AND TOPOGRAPHIC SURVEY OF

LADY'S ISLAND MIDDLE SCHOOL  
#30 COUGAR DRIVE,  
#s 30, 32, 34 ROBIN DRIVE  
LOTS 42, 43 & 55, PORTIONS OF LOTS  
54, 56 & 58 SECTION 10, ALSO PORTIONS  
OF LOTS 7 & 8 SECTION 15 1S-1W

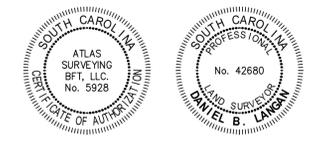
TAX PARCEL Nos.  
R123 015 000 0110 0000, R200 015 000 0286 0000,  
R200 015 000 0285 0000, & R200 015 000 0284 0000

LADY'S ISLAND  
BEAUFORT COUNTY, SOUTH CAROLINA  
FIELD WORK: TBN  
FIELD CHECK: OSB  
DRAWN BY: JHL  
FIELD DATE: 10-14-2024  
PLAT DATE: 10-22-2024  
SCALE: 1"=30'  
PROJECT No.: BPT-24256  
FILE: BPT-24256 AT10W

SHEET 1 OF 8

# ATLAS SURVEYING, INC.

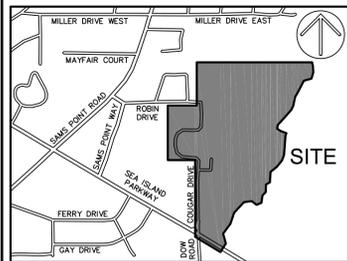
168 BOARDWALK DRIVE, SUITE A,  
RIDGELAND, SC 29936,  
PHONE: (843) 645-9277  
WEBSITE: WWW.ATLASSURVEYING.COM



I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

DANIEL B. LANGAN  
S.C.P.L.S. No. 42680  
NOT VALID UNLESS COUNTERED WITH SEAL

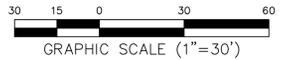
NORTH  
SC GRID (NAD 83)  
(2011)



VICINITY MAP NOT TO SCALE

NOTES

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#s 30, 32, 34 ROBIN DRIVE  
LOTS 42, 43 & 55, PORTIONS OF LOTS  
54, 56 & 58 SECTION 10, ALSO PORTIONS  
OF LOTS 7 & 8 SECTION 15 1S-1W

TAX PARCEL Nos.  
R123 015 000 0110 0000, R200 015 000 0286 0000,  
R200 015 000 0285 0000, & R200 015 000 0284 0000

LADY'S ISLAND  
BEAUFORT COUNTY, SOUTH CAROLINA  
FIELD WORK: TSW  
FIELD CHECK: OSL  
DRAWN BY: JHL  
FIELD DATE: 10-14-2024  
DATE: 10-22-2024  
SCALE: 1"=30'  
PROJECT No.: BPT-24256  
FILE: BPT-2426 AT10W

SHEET 2 OF 8

# ATLAS

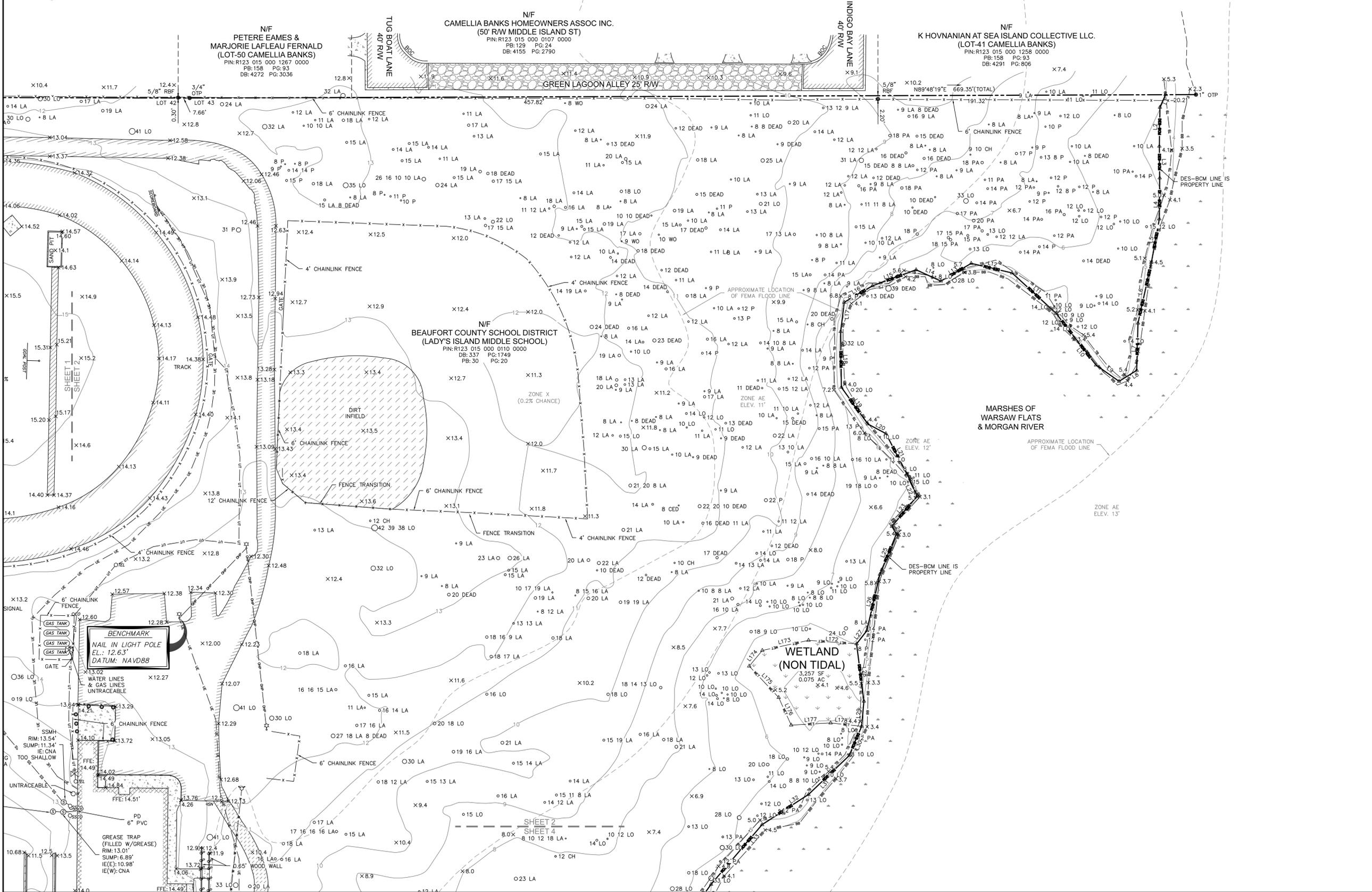
SURVEYING, INC.

168 BOARDWALK DRIVE, SUITE A,  
RIDGELAND, SC 29936.  
PHONE: (843) 645-9277  
WEBSITE: WWW.ATLASSURVEYING.COM



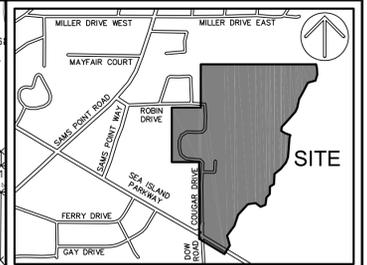
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DANIEL B. LANGAN  
S.C.P.L.S. No. 42680  
NOT VALID UNLESS CRIMPED WITH SEAL



SHEET 2  
SHEET 4

NORTH  
SC GRID (NAD 83)  
(2011)



VICINITY MAP NOT TO SCALE

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  3. CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
  4. VERTICAL DATUM IS NAVD 88.
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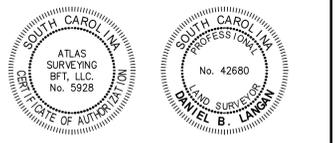
PREPARED FOR:  
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TAX PARCEL Nos.  
PIN: R123 015 000 0110 0000, R200 015 000 0286 0000,  
R200 015 000 0285 0000, & R200 015 000 0284 0000

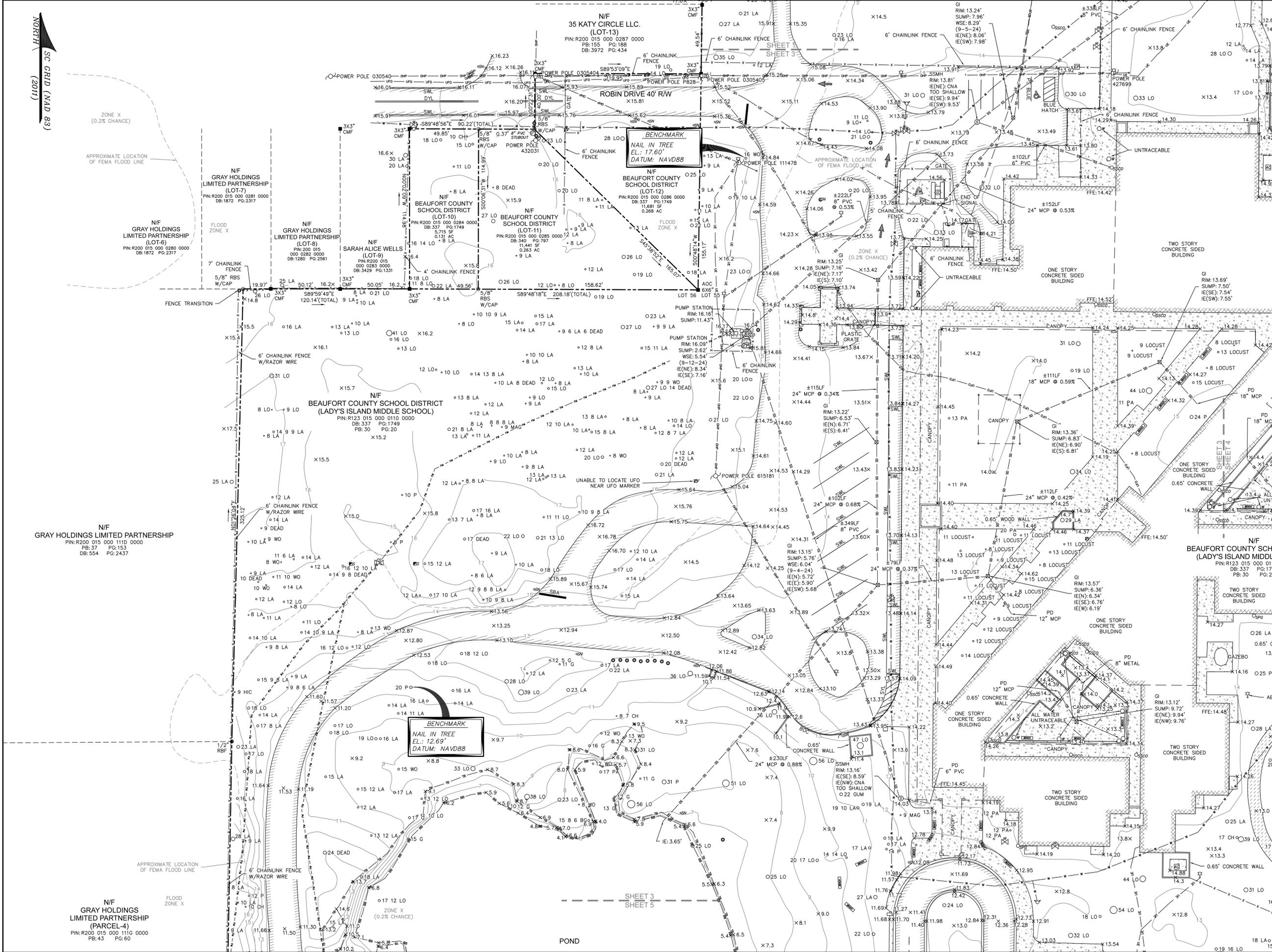
LADY'S ISLAND  
BEAUFORT COUNTY, SOUTH CAROLINA  
FIELD WORK: TBN  
FIELD CHECK: OSL  
DRAWN BY: JHL  
FIELD DATE: 10-14-2024  
DATE: 10-22-2024  
SCALE: 1"=25'  
PROJECT No.: BPT-24256  
FILE: BPT-24256 AT10W  
SHEET 3 OF 8

**ATLAS**  
SURVEYING, INC.  
168 BOARDWALK DRIVE, SUITE A,  
RIDGELAND, SC 29936.  
PHONE: (843) 645-9277  
WEBSITE: WWW.ATLASSURVEYING.COM



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DANIEL B. LANGAN  
S.C.P.L.S. No. 42680  
NOT VALID UNLESS CROMPED WITH SEAL



SHEET 3  
SHEET 5

POND

N/F  
GRAY HOLDINGS LIMITED PARTNERSHIP (PARCEL-4)  
PIN: R200 015 000 1110 0000  
PB: 43 PG: 60

N/F  
GRAY HOLDINGS LIMITED PARTNERSHIP  
PIN: R200 015 000 1110 0000  
PB: 37 PG: 153  
DB: 554 PG: 2437

N/F  
GRAY HOLDINGS LIMITED PARTNERSHIP (LOT-6)  
PIN: R200 015 000 0280 0000  
DB: 1872 PG: 2317

N/F  
GRAY HOLDINGS LIMITED PARTNERSHIP (LOT-7)  
PIN: R200 015 000 0281 0000  
DB: 1872 PG: 2317

N/F  
GRAY HOLDINGS LIMITED PARTNERSHIP (LOT-8)  
PIN: R200 015 000 0282 0000  
DB: 1280 PG: 2561

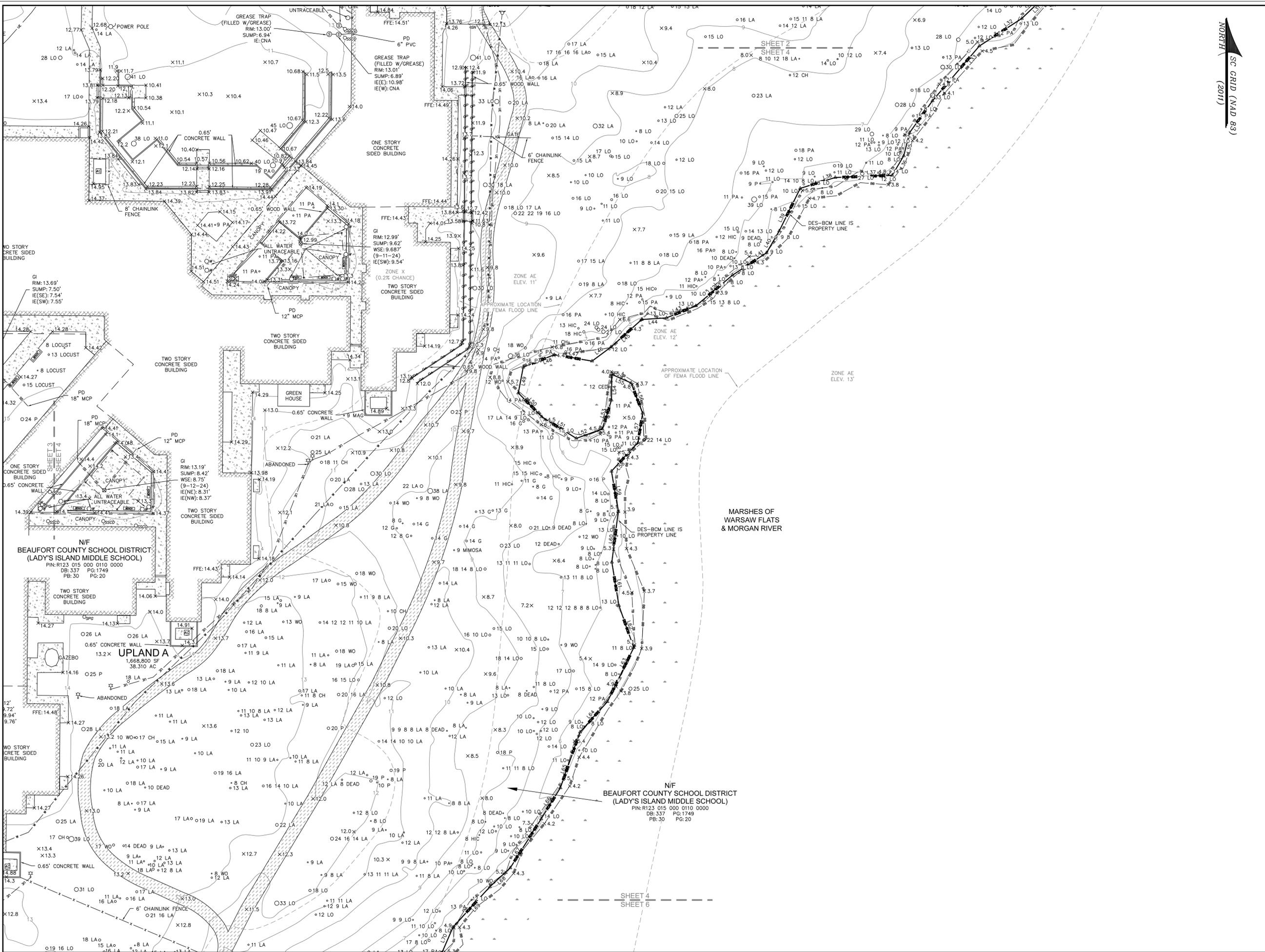
N/F  
GRAY HOLDINGS LIMITED PARTNERSHIP (LOT-9)  
PIN: R200 015 000 0283 0000  
DB: 3429 PG: 1331

N/F  
GRAY HOLDINGS LIMITED PARTNERSHIP (LOT-10)  
PIN: R200 015 000 0284 0000  
DB: 337 PG: 1749

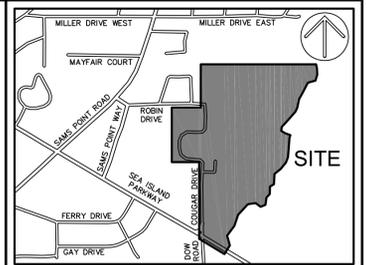
N/F  
GRAY HOLDINGS LIMITED PARTNERSHIP (LOT-11)  
PIN: R200 015 000 0285 0000  
DB: 340 PG: 797

N/F  
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PIN: R200 015 000 0286 0000  
DB: 337 PG: 1749

N/F  
GRAY HOLDINGS LIMITED PARTNERSHIP (LOT-13)  
PIN: R200 015 000 0287 0000  
DB: 3972 PG: 434



NORTH  
 SC GRID (NAD 83)  
 (2011)



VICINITY MAP NOT TO SCALE

- NOTES
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 WARD EDWARDS ENGINEERING  
 A BOUNDARY, AS-BUILT, TREE AND TOPOGRAPHIC SURVEY OF

LADY'S ISLAND MIDDLE SCHOOL  
 #30 COUGAR DRIVE,  
 #s 30, 32, 34 ROBIN DRIVE  
 LOTS 42, 43 & 55, PORTIONS OF LOTS  
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 OF LOTS 7 & 8 SECTION 15 1S-1W

TAX PARCEL Nos.  
 R123 015 000 0110 0000, R200 015 000 0286 0000,  
 R200 015 000 0285 0000, & R200 015 000 0284 0000

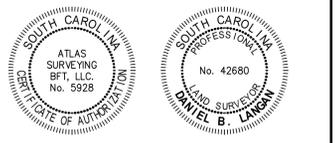
LADY'S ISLAND  
 BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: TBN  
 FIELD CHECK: OSL  
 DRAWN BY: JH  
 FIELD DATE: 10-14-2024  
 PLAT DATE: 10-22-2024  
 SCALE: 1"=30'  
 PROJECT No.: BFT-24256  
 FILE: BFT-2426 AT LOW

SHEET 4 OF 8

# ATLAS SURVEYING, INC.

168 BOARDWALK DRIVE, SUITE A,  
 RIDGELAND, SC 29936.  
 PHONE: (843) 645-9277  
 WEBSITE: WWW.ATLASSURVEYING.COM



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DANIEL B. LANGAN  
 S.C.P.L.S. No. 42680  
 NOT VALID UNLESS CRIMPED WITH SEAL

NORTH  
SC GRID (NAD 83)  
(2011)

N/F  
GRAY HOLDINGS  
LIMITED PARTNERSHIP  
(PARCEL 4)  
PIN: R200 015 000 111G 0000  
PB: 43 PG: 60

APPROXIMATE LOCATION  
OF FEMA FLOOD LINE

FLOOD  
ZONE X

WSE: 5.41'  
(10-14-24)

N/F  
ELAINE C. HORTON  
PIN: R200 015 000 114C 0000  
PB: 142 PG: 49  
DB: 4288 PG: 2018

N/F  
FRANCES T. GODOWNS  
PIN: R200 015 000 114B 0000  
DB: 3339 PG: 2977  
DB: 519 PG: 2292

POND

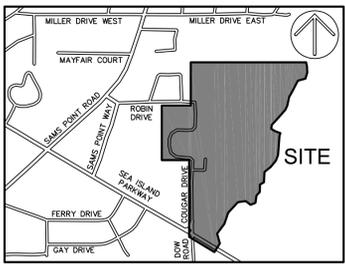
N/F  
BEAUFORT COUNTY SCHOOL DISTRICT  
(LADY'S ISLAND MIDDLE SCHOOL)  
PIN: R123 015 000 0110 0000  
DB: 337 PG: 1749  
PB: 30 PG: 20

SHEET 3  
SHEET 5

BENCHMARK  
NAIL IN TREE  
EL.: 13.40'  
DATUM: NAVD88

N/F  
BEAUFORT COUNTY SCHOOL DISTRICT  
(LADY'S ISLAND MIDDLE SCHOOL)  
PIN: R123 015 000 0110 0000  
DB: 337 PG: 1749  
PB: 30 PG: 20

MARSHES OF  
WARSAW FLATS  
& MORGAN RIVER



VICINITY MAP NOT TO SCALE

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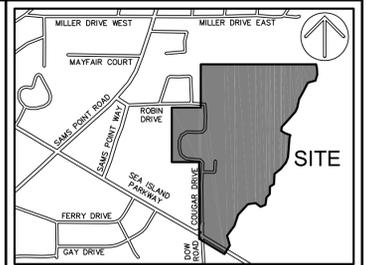
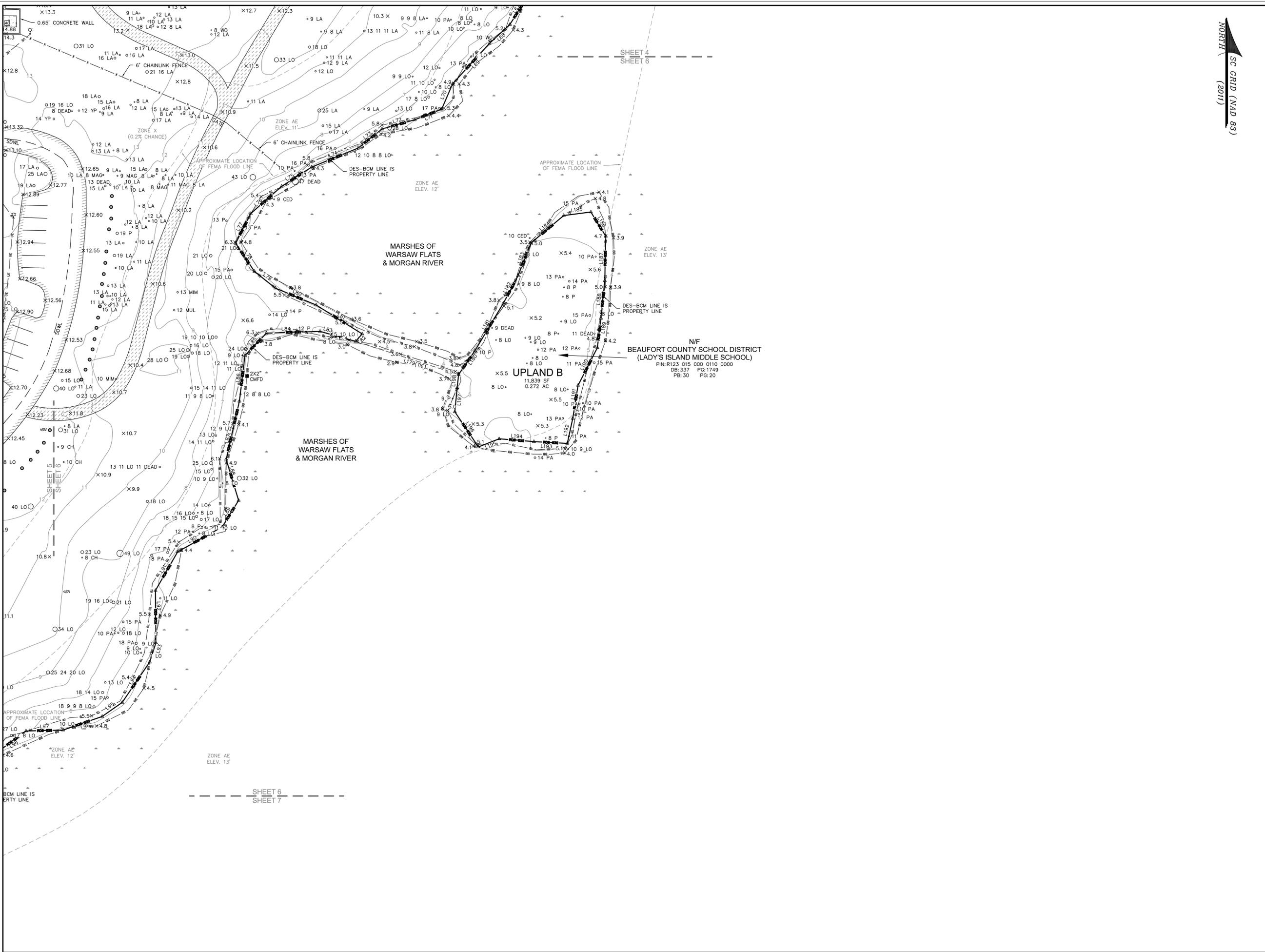
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R123 015 000 0110 0000, R200 015 000 0286 0000,  
R200 015 000 0285 0000, & R200 015 000 0284 0000  
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FIELD DATE: 10-14-2024  
PLAT DATE: 10-22-2024  
SCALE: 1"=30'  
PROJECT No.: BPT-24256  
FILE: BPT-24256 AT10WG  
SHEET 5 OF 8

**ATLAS**  
SURVEYING, INC.  
168 BOARDWALK DRIVE, SUITE A,  
RIDGELAND, SC 29936,  
PHONE: (843) 645-9277  
WEBSITE: WWW.ATLASURVEYING.COM



I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

DANIEL B. LANGAN  
S.C.P.L.S. No. 42680  
NOT VALID UNLESS CRIMPED WITH SEAL



VICINITY MAP NOT TO SCALE

- NOTES
- FULL LEGEND, LINE & CURVE TABLES, AND ACREAGE CHART ARE LOCATED ON COVER SHEET.
  - THESE PARCELS APPEARS TO LIE IN MULTIPLE FLOOD ZONES: X, X (0.2% CHANCE), AE (ELEVATION 11', 12' & 13'), DUAL COMMUNITIES 450025 (BEAUFORT COUNTY) AND 450026 (CITY OF BEAUFORT), MAP NUMBER 4501301676.
  - CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
  - VERTICAL DATUM IS NAVD 88.
  - BUILDING SETBACK REQUIREMENTS ARE TO BE DETERMINED BY THE PROPER AUTHORITIES AND MUST BE VERIFIED PRIOR TO DESIGN & CONSTRUCTION.
  - COORDINATES AND DIRECTIONS SHOWN ON THIS SURVEY ARE BASED ON SOUTH CAROLINA STATE PLANE, COORDINATE SYSTEM (NAD83). DISTANCES SHOWN ARE GROUND DISTANCES, NOT GRID DISTANCES.
  - UNLESS ONE IS IDENTIFIED HEREON, NO TITLE PACKAGE PROVIDED PRIOR TO THE DATE SHOWN ON THIS SURVEY. ALL EASEMENTS AND APPURTENANCES AFFECTING THIS PROPERTY NOT NECESSARILY SHOWN.
  - THE EXISTENCE AND LOCATION OF THE SURFACE AND SUB-SURFACE UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE RECORDS AND SURFACE VISIBLE FEATURES ALONG WITH ELECTRONIC AND ACoustICAL EVIDENCE AS OF AUGUST 18, 2024. THE EXTENT AND LIABILITY OF THIS INFORMATION IS LIMITED TO THE STANDARDS OF CARE FOR A SPECIFIC UTILITY INVESTIGATION AS DEFINED BY THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) PUBLICATION 38-02. THE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES CANNOT BE DETERMINED WITHOUT EXPOSING THEM IN SOME WAY. PRIOR TO CONSTRUCTION OR EXCAVATION, IT IS REQUIRED BY LAW TO CONTACT THE STATE 811 UTILITY PROTECTION CENTER.
  - CRITICAL LINE AND WETLANDS WERE FLAGGED BY NEWKIRK ENVIRONMENTAL INC. ON JULY 31, 2024.



PREPARED FOR:  
WARD EDWARDS ENGINEERING  
A BOUNDARY, AS-BUILT, TREE AND TOPOGRAPHIC SURVEY OF

LADY'S ISLAND MIDDLE SCHOOL  
#30 COUGAR DRIVE,  
#s 30, 32, 34 ROBIN DRIVE  
LOTS 42, 43 & 55, PORTIONS OF LOTS  
54, 56 & 58 SECTION 10, ALSO PORTIONS  
OF LOTS 7 & 8 SECTION 15 1S-1W

TAX PARCEL Nos.  
R123 015 000 0110 0000, R200 015 000 0286 0000,  
R200 015 000 0285 0000, & R200 015 000 0284 0000

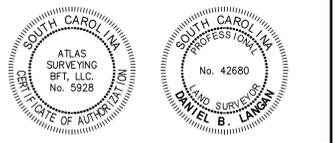
LADY'S ISLAND  
BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: TSW  
FIELD CHECK: OSL  
DRAWN BY: JHL  
FIELD DATE: 10-14-2024  
PLAT DATE: 10-22-2024  
SCALE: 1"=30'  
PROJECT No.: BPT-24256  
FILE: BPT-24256 AT10WG

SHEET 6 OF 8

# ATLAS SURVEYING, INC.

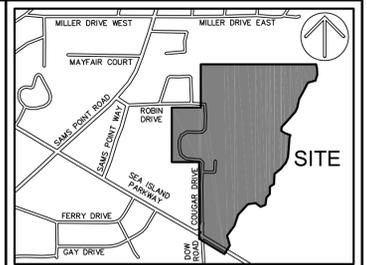
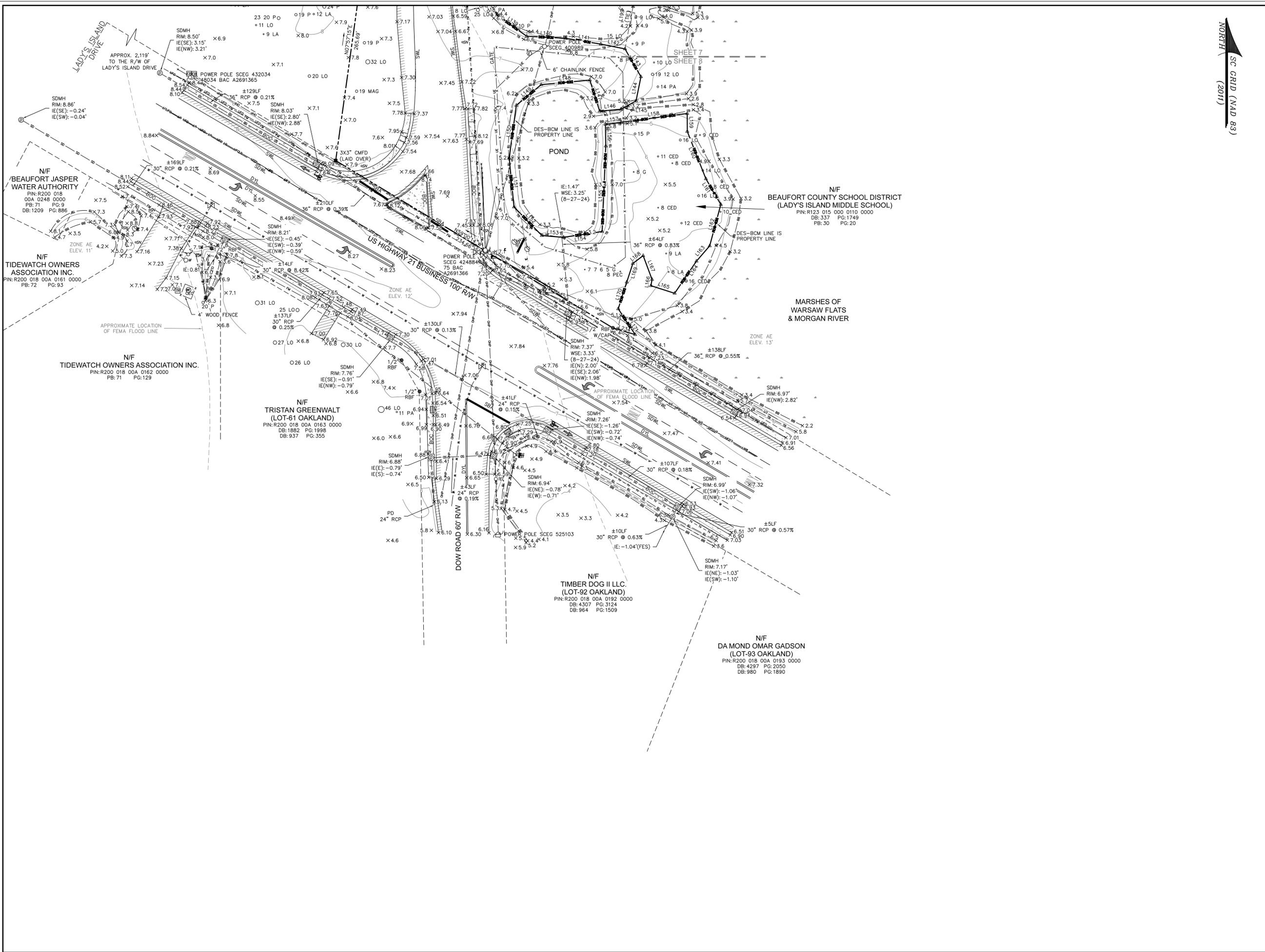
168 BOARDWALK DRIVE, SUITE A,  
RIDGELAND, SC 29936.  
PHONE: (843) 645-9277  
WEBSITE: WWW.ATLASSURVEYING.COM



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DANIEL B. LANGAN  
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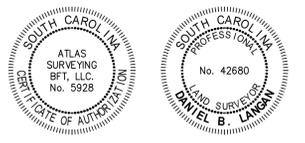
NORTH  
 SC GRID (NAD 83)  
 (2011)

- NOTES
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  - THESE PARCELS APPEARS TO LIE IN MULTIPLE FLOOD ZONES: X, X (0.2% CHANCE), AE (ELEVATION 11', 12' & 13'), DUAL COMMUNITIES 450025 (BEAUFORT COUNTY) AND 450026 (CITY OF BEAUFORT), MAP NUMBER 4501300167G.
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 FIELD WORK: TNW  
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DANIEL B. LANGAN  
 S.C.P.L.S. No. 42680  
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**Pine Court**

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**Sketch Plan Request**



# STAFF REPORT: Development Design Review

## Sketch Plan

DATE: April 21, 2025

<b>GENERAL INFORMATION</b>		
Applicant:	Jamie Lindberg, Tarr Group LLC, Agent for Kingsridge Commons,	
Address/Parcel Number:	R 120 007 000 0016 0000	
Applicant's Request:	To obtain Sketch Plan approval for a new 20 unit single family development (South of Pine Court/Kingsridge Commons	
<b>ZONING DISTRICT INFORMATION</b>		
	<u>T-4 N</u>	
Lot Width at Setback:	N/A	
Max Lot Coverage:	N/A	
Min. Frontage Build Out	60%- 85 % min	
Front Setback	0' min/15' max	
Side Setback	0-15 max	
Rear Setback	10'	
Building Height:	4 stories	
<b>SURROUNDING ZONING, LAND USE AND REQUIRED BUFFERS</b>		
<u>Adjacent Zoning</u>	<u>Adjacent Land Uses</u>	<u>Adjacent Buffer Required</u>
North: T4-N	Townhouses	N/A
South: T-4N	Church	N/A
East: T5-UC	Mixed Use Building/Fire Station	N/A
West: T-3 S	Single Family Homes	N/A

**Background:** The applicant is seeking Sketch Plan approval for a 20 unit single family development. The project was first applied for in late 2024, and major changes to the Sketch Plan have occurred in this timeframe. This is for a unique project, a partnership with Beaufort Memorial Hospital and Clayton Homes to provide more attainable modular housing for hospital employees. Staff and the Staff architect have worked with Clayton Homes to create a model which satisfies the prescriptive design standards of the Beaufort Development Code.

**Access/TIA:** The site has two access points, one connection to Firehouse Lane (a paved City Street), and one connection to Pine Ridge Court (through Kingsridge Commons). With a density of 20 units, the project does not trigger a TIA which requires 50 peak hour trips. The applicant is proposing a central 20'

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wide road which connects to Firehouse Lane and Pine Court, with two 16' gravel alleys off the new road. The proposed road jogs along the Southern portion to save two landmark live oak trees. All lots but 10-14 will be rear loaded off one of the two alleys.

**Compatibility with Adjacent Zoning:**

The site in question is adjacent to townhouse uses to the North, a church to the South both zoned T-4N. The mixed-use business center (the former bowling alley) is to the East along Ribaut Road zoned T-5 UC, and a single family subdivision to the West zoned T-3 S.

**Trees**

Significant discussion was held with the Applicant regarding the significant tree canopy existing on the site. A significant number of Landmark & Specimen trees (esp. Live Oaks) will be preserved and incorporated within the Sketch Plan, specifically, eight major landmark/specimen trees including the following Live Oaks: 20", 21", 28", along with an 18" Magnolia and a 28" Water Oak.

**Design:**

The Staff Architect and the Applicant worked for many revisions to develop an approvable set of architectural plans for the modular homes. There are now four different models, and the only requirement the models do not meet are the front porches are 7' of depth, instead of the required 8' of depth.

**TRC/Staff Design Review**

Two TRC meetings were held since the application was submitted. The TRC, which includes City Planning Staff, the County Engineering Department, BJWSA, the City Stormwater Engineer, Fire Marshall, Building Official, and Jeremy Tate the City Architect. The comments after the December submittal are found below:

**December Comments (all have been addressed in current submittal):**

1. Staff is concerned the form of this building, proposed materials and detailing, and potential use of the same model on every lot are not appropriate for Beaufort nor adhere to the intent of the Beaufort Code. Applicant does not appear to have created any new floor plans, and the only changes between the two rendered images is the paint color. Applicant is still appearing to show

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one floor plan on all 20 lots. We don't believe this satisfies our comments, nor the intent of the Beaufort Code.

2. Staff does not support the recessed porch that encompasses half of the front façade as that is not a typical architectural element found throughout Beaufort. Per Section 4.4 of the Beaufort Code, porches are noted as elements that protrude beyond the primary façade and can encroach into the front setbacks (see diagrams associated with 4.4.B Porch). The current design for the front façade and porch does not reflect the intent of this section of the Beaufort Code. The updated porch design aligns better with the typical porches found in Beaufort. Staff recommends pushing the porch towards the center of the façade so that its roof form is separate of the main house.

3. The porch is measured at 5'-8" deep. Per Section 4.4 of the Beaufort Code, porches must be a minimum of 8' deep, so the porch would have to be extended by 2'-4" to meet this requirement. Porch is not shown in the floor plan, so dimension is not visible.

4. Per Section 4.6.3.A.7, vinyl siding is prohibited. The proposed vinyl siding must be replaced with either a smooth cementitious siding or wood siding. Materials not called out in this iteration.

5. Per Section 4.6.3.C.2.1, "Windows shall not be flush with exterior wall treatments. Windows shall be provided with an architectural surround at the jambs and header, and a projecting sill." The windows appear "picture-framed," i.e. flush with the surrounding siding. This is not allowed and must include projecting sills and casings. In the renderings, the window still appears "picture framed" as there is no projecting sill and it is difficult to determine if the casing is flush with the surrounding siding without a section drawing.

6. Applicant should also consider adding an element such as a small window within the front gable or changing the material within the front gable to break apart the large expanse of siding on the front façade. Comment is no longer applicable since the porch gable extends beyond the house's main gable roof.

7. Staff does support the board and batten "stripe" on the front façade and recommends removing this detail. Board and batten has been removed. Staff supports this change.

8. The window at the front porch is blocked by the center column. Move this window so that it is centered between two columns. The front door should also be centered between columns.

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Unclear if this comment has been addressed without any elevation drawings or the porch drawn in plan.

9. There are no stairs in the drawings up to the porch. Show the stairs for both the front and side door on future drawings. Comment unresolved.

10. If shutters are to be used, they must be operable and have all operable hardware. Fixed shutters are not allowed. Shutters not shown. Staff supports this change.

11. As a general note, the same model should not be used on every lot. Staff has consistently pushed slight massing changes, material changes, etc. to differentiate similar adjacent buildings from one another. Staff will not support the use of this same model on every lot. See comment 1 in red.

12. We still have the same concerns as previously addressed. While we do not review site plans, we also had some concerns about the new pedestrian walkways being the only access to some of the buildings, and buildings 1-8 still fronting to head-in parking space instead of parallel on-street parking spaces.

13 The Site Plan reads as a multi-family project or apartments with the large parking lot. Staff believes it would be more efficient, cost effective, and invite a better community if instead of a large parking lot, that the project is redesigned as more of a cluster development or townhouse development, with traditional driveways or alleys to each lot.

14: Please depict road widths.

15: Please depict parking lot stall sizes.

16. It is awkward and good design or allowable per 2.4.1 to side front the lots to the parking lot.

17. Please refer to Chapter 7.4, about park and open space. There does not appear to be any useable park or open space per Chapter 7.4 for what is a dense development.

18. Is there proof that the road connection to the North is practical and right of way or an easement exists?

19. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet exclusive of shoulders IFC 503.2.1

- 
20. Dead -end fire apparatus roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus IFC 503.2.5
21. Project must follow and meet the stormwater requirements set forth in the SoLoCo Stormwater Design Guidelines.
22. It is unclear from the sketch plan what the anticipated stormwater design will be. It appears that the site may utilize an existing stormwater basin. If this is the case, geotechnical analysis should be provided to determine if the basin will infiltrate and the groundwater elevation. Design computations for the existing basin shall be provided to ensure it meets the SoLoCo requirements and that the proposed development does not negatively impact the performance of the basin.
23. It is recommended that pervious hardscapes and pavement be utilized throughout the site to encourage infiltration.
24. Please ensure the correct peak rate factor, as identified in the SoLoCo manual, is utilized when determining pre/post stormwater management requirements.
25. How will the individual lots drain? Will there be swales between the lots access only by sidewalks to convey the stormwater to the stormwater bmp?
26. Lot grading should take into consideration not directing runoff onto adjacent properties.
27. Where and how does the existing pond discharge?
28. Project will require a full C-SWPPP due to area of disturbance.
29. Please ensure SCDES stormwater and sediment control approval is sought.
30. Please ensure SCDES OCRM CZC approval is sought.
31. I am assuming the structures are being designed in accordance with the 2021 South Carolina Residential code as a single-family dwelling.
32. Maintain the minimum 5' setbacks between the residence and the property line as require SCRC R302.

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33. The modular building shall be reviewed and approved through South Carolina Labor and License Regulation's Modular Building Program. Here is a contact for your convenience.

[maggie.smith@llr.sc.gov](mailto:maggie.smith@llr.sc.gov).

\*Existing water and sewer mains run through property and BJWSA does not have record drawings. BJWSA recommends developer/engineer to have a SUE to confirm exact location of mains.

\*10' of horizontal separation is required between structures and BJWSA's mains

\*BJWSA would like to have all services installed at the front of houses

\*Any mains installed between houses would like to have 30' easement for O&M purposes

\*Capacity fees increase Feb 1st 2025

### **Changes Since TRC**

The original layout had a central parking lot for all parking with backout parking into the street. Staff suggested this was a multi-family layout, and not appropriate for a single family development. The applicant has completely redesigned the site, and now each lot has a driveway and parking on each individual lot while adding alleys and working around landmark trees as per Staff recommendations.

**With the proposed changes noted above, Staff is fully in support of the Sketch Plat.**

**Findings of Fact:**

<b><u>9.8.2.I Finding of Fact</u></b>	<b><u>Rationale Present (yes/no)</u></b>	<b><u>Staff Analysis of Rationale</u></b>
<b>a. The plan is consistent with the adopted plans and policies of the City.</b>	<b>Yes</b>	<ul style="list-style-type: none"> <li>➤ <b>The project is consistent with all plans and policies of the City.</b></li> <li>➤ <b>The developer has incorporated all staff comments, as well as concerns over open space, trees, alleys, parking and private lots into the current request.</b></li> </ul>
<b>b. The plan complies with all applicable requirements of this Code.</b>	<b>Yes</b>	<ul style="list-style-type: none"> <li>➤ <b>The project is consistent with all plans and policies of the City.</b></li> <li>➤ <b>The developer has incorporated all staff comments, as well as concerns over open space, trees, access, and layout into the current request.</b></li> </ul>
<b>c. There exists adequate infrastructure (transportation and utilities) to support the plan as proposed.</b>	<b>Yes</b>	<ul style="list-style-type: none"> <li>➤ <b>The proposed road will connect Fire house Lane with Pine Court, and should not impact the road system .</b></li> <li>➤ <b>There is existing water, sewer, stormwater and electric utilities to support the plan.</b></li> </ul>
<b>d. The proposed plan conforms to the character of the neighborhood, considering the location, type and height of buildings or structures and the type and extent of landscaping on the site.</b>	<b>Yes.</b>	<ul style="list-style-type: none"> <li>➤ <b>The developer has altered the circulation and layout of the subdivision to satisfy Staff concerns. The new plan is much more consistent with the adjoining uses.</b></li> <li>➤ <b>The design of the proposed plan saves many landmark and specimen trees.</b></li> </ul>
<b>e. The proposed plan conforms to the Building Design Standards in Article 4.</b>	<b>Yes/with conditions</b>	<ul style="list-style-type: none"> <li>➤ <b>Consider the design exception for porch depth of Section 4.4. B.</b></li> </ul>

<p><b>f. The application will not substantially lessen the value of adjoining or abutting property and will not be detrimental to the use or development of adjacent properties or other neighborhood uses.</b></p>	<p><b>Yes.</b></p>	<p>➤ <b>The applicant has chosen a lower density use and retained much of the existing native tree canopy. Staff believes the plan would not be detrimental to adjoining properties.</b></p>
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**FINDINGS AND RECOMMENDATIONS**

**Staff Recommendation:** Staff recommends approval of the Sketch Plan with the following conditions:

- 1) A 5' screening buffer comprised of either a fence or shrubs/trees along the western portion of the site shall be provided in a landscape plan at Preliminary Plat.



### LEGEND

- PROPERTY LINE
- ROADWAY CENTERLINE
- ASPHALT ROAD
- STABILIZED ROCK ALLEY
- CONCRETE DRIVEWAY PAD

**PROPOSED ALLOCATIONS**  
 PROPERTY AREA: +/- 3.04 ACRES  
 DEVELOPED AREA: 2.12 ACRES - 70%  
 CIVIC / OPEN SPACE: 0.92 ACRES - 30%

LOT #	T.M.S.	OWN
8	R120 007 000 0703 0000	JOH
9	R120 007 000 0704 0000	WAL
10	R120 007 000 0705 0000	BRI
11	R120 007 000 0706 0000	2MF
12	R120 007 000 0707 0000	JEZ
13	R120 007 000 0708 0000	DO
14	R120 007 000 0709 0000	SMI
15	R120 007 000 0710 0000	DOV
16	R120 007 000 0711 0000	LOH
17	R120 007 000 0712 0000	LOH
69	R120 007 000 0730 0000	KIN
68	R120 007 000 0743 0000	KIN
67	R120 007 000 0756 0000	KIN
66	R120 007 000 0769 0000	KIN
65	R120 007 000 0782 0000	KIN
64	R120 007 000 0795 0000	KIN
63	R120 007 000 0808 0000	KIN
62	R120 007 000 0821 0000	KIN
61	R120 007 000 0834 0000	KIN
57	R120 007 000 0718 0000	KIN
58	R120 007 000 0719 0000	KIN
59	R120 007 000 0720 0000	KIN
60	R120 007 000 0721 0000	KIN
61	R120 007 000 0722 0000	KIN

ALL OPEN SPACES ARE OWNED BY KINGSRIDGE HO

GRAPHIC SCALE

# TARR GROUP

8650 E. STATE ROAD 32  
 ZIONSVILLE, IN 46077  
 PHONE: 502-648-3803  
 EMAIL: TIM@TARR-GROUP.COM

BEAUFORT RESIDENTIAL DEVELOPMENT  
 CLAYTON HOMES  
 BEAUFORT, BEAUFORT COUNTY, SOUTH CAROLINA

BEAUFORT, SC  
 CONCEPTUAL LAYOUT

## EX8.01



### LEGEND

- PROPERTY LINE
- ROADWAY CENTERLINE
- ASPHALT ROAD
- STABILIZED ROCK ALLEY
- CONCRETE DRIVEWAY PAD
- STORMWATER FLOW ARROW

**PROPOSED ALLOCATIONS**  
 PROPERTY AREA: +/- 3.04 ACRES  
 DEVELOPED AREA: 2.12 ACRES - 70%  
 CIVIC / OPEN SPACE: 0.92 ACRES - 30%

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14	R120 007 000 0709 0000	SMI
15	R120 007 000 0710 0000	DOV
16	R120 007 000 0711 0000	LOH
17	R120 007 000 0712 0000	LOH
69	R120 007 000 0730 0000	KIN
68	R120 007 000 0743 0000	KIN
67	R120 007 000 0756 0000	KIN
66	R120 007 000 0769 0000	KIN
65	R120 007 000 0782 0000	KIN
64	R120 007 000 0795 0000	KIN
63	R120 007 000 0808 0000	KIN
62	R120 007 000 0821 0000	KIN
61	R120 007 000 0834 0000	KIN
57	R120 007 000 0718 0000	KIN
58	R120 007 000 0719 0000	KIN
59	R120 007 000 0720 0000	KIN
60	R120 007 000 0721 0000	KIN
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 CLAYTON HOMES  
 BEAUFORT, BEAUFORT COUNTY, SOUTH CAROLINA

BEAUFORT, SC  
 CONCEPTUAL LAYOUT

## EX8.01



MAJOR SUBDIVISION PROCESS
SKETCH PLAN APPLICATION

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
email: development@cityofbeaufort.org website: www.cityofbeaufort.org

Application Fee: \$0

OFFICE USE ONLY: Date Filed: 11/5 Application #: 278179 Zoning District: T4A1
Site Area: Meeting Date:

Schedule: The Metropolitan Planning Commission (MPC) typically meets the 3rd Monday of each month at 5:00 pm. The complete schedule can be found here - http://www.cityofbeaufort.org/metropolitan-planning-commission.aspx

Submittal Requirements: 7 hard copies and 1 digital copy of all forms and information are required.

Conceptual Request: Sketch Plan as described in Section 9.3.1.B, Conceptual Plat showing lots, roads and street sections, sidewalks, existing/proposed trees, open space.

Applicant Name: Tarr Group, LLC

Applicant Address: 8650 State Road 32, Zionsville, IN 46077

Applicant E-mail: jamie@tarr-group.com Applicant Phone Number: 317-678-7517

Applicant Title: [ ] Homeowner [ ] Tenant [ ] Architect [x] Engineer [ ] Developer [ ] Contractor

Owner (if other than the Applicant): Kingsridge Commons LLC

Owner Address: PO Box 1282, Beaufort, SC 29901

Project Name: Beaufort Residential

Property Address: TBD

Property Identification Number (s):(Tax Map & Parcel Number): R120 007 000 0016 0000, (AIN: 229238)

Meeting Date Requested:

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? [ ] Yes [x] No

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: [Signature] Date: 11/05/2024



**MAJOR SUBDIVISION PROCESS  
SKETCH PLAN APPLICATION**

Community Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
email: [development@cityofbeaufort.org](mailto:development@cityofbeaufort.org) website [www.cityofbeaufort.org](http://www.cityofbeaufort.org)

**Application Fee: \$0**

**Project Information**

Project Name: Beaufort Residential

Site Area in Acres: 2.62 Zoning District: T4-N

Proposed Allocations (in acres and gross %):

Developed Area: 1.64ac / 54% Civic/Open Space: 1.40ac / 46%

Provide a brief Project Narrative:

Proposed 20 lot residential subdivision for modular homes  
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**CONTACT INFORMATION** – Application form & supplementary information may be submitted via email:  
E-Mail: [development@cityofbeaufort.org](mailto:development@cityofbeaufort.org) | Phone: (843) 525-7011 | Fax: (843) 986-5606

**NOTE: See page 3 for Major Subdivision Process and Sketch Plan Checklist**



# MAJOR SUBDIVISION PROCESS SKETCH PLAN APPLICATION

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**Application Fee: \$0**

## MAJOR SUBDIVISION PROCESS

### STEP 1 (Consultation):

- ✓ Schedule a Pre-Application conference with a City of Beaufort Planner

### STEP 2 (Sketch Plan Approval):

- ❑ Submit 'Sketch plan' application along with items required on checklist (may need to be submitted to Metropolitan Planning Commission (MPC) by staff for approval)

### STEP 3 (Preliminary Plat Approval):

- Submit 'Preliminary Plat' application along with items required on checklist (fee based on the number of lots)
- Letter from Beaufort-Jasper Water & Sewer Authority (BJWSA) certifying availability of service
- Preliminary and TIA (as required) approvals from SC Dept. of Transportation (843) 524-7255
- Topographical Survey
- Preliminary plat approval prior to site work/infrastructure construction plans being submitted (or bonded)

### STEP 4 (Project Permit Issuance):

- Submit 'Project Permit' for site work/infrastructure along with items required on checklist - complete work (can be bonded)

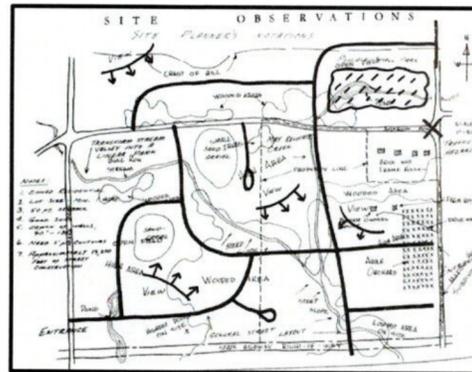
### STEP 5 (Final Plat Approval):

- Complete 'Final Plat' application along with items on checklist once site work/infrastructure has been completed/approved.
- Submit five (5) copies of final plat labeled "Subdivision Plat."
- Final plat will be reviewed, approved, and stamped for recording.

## SKETCH PLAN CHECKLIST

Plan can be a simple line drawing form showing the following:

- Proposed layout of streets
- Proposed layout of lots
- Proposed layout of buildings (general)
- Proposed layout of civic spaces
- Proposed tree coverage and other features in relation to existing conditions



Principles and Practice of Urban Planning 4th Ed. ICMA





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January 10, 2025

Curt Freese, AICP  
Community Development Director  
1911 Boundary Street  
Beaufort SC, 29902

Re: Pine Court Project Sketch Plan Comments

Dear Reviewers,

Thank you for the comments on our submittal. Enclosed are updated drawings addressing your comments. Below you will find all of your comments and advisements and our corresponding responses.

1. **Comment:** Staff is concerned the form of this building, proposed materials and detailing, and potential use of the same model on every lot are not appropriate for Beaufort nor adhere to the intent of the Beaufort Code. **Applicant does not appear to have created any new floor plans, and the only changes between the two rendered images is the paint color. Applicant is still appearing to show one floor plan on all 20 lots. We don't believe this satisfies our comments, nor the intent of the Beaufort Code.**

***Response: Revised elevations attached***

2. **Comment:** Staff does not support the recessed porch that encompasses half of the front façade as that is not a typical architectural element found throughout Beaufort. Per Section 4.4 of the Beaufort Code, porches are noted as elements that protrude beyond the primary façade and can encroach into the front setbacks (see diagrams associated with 4.4.B Porch). The current design for the front façade and porch does not reflect the intent of this section of the Beaufort Code. **The updated porch design aligns better with the typical porches found in Beaufort. Staff recommends pushing the porch towards the center of the façade so that its roof form is separate of the main house.**

***Response: Revised elevations attached***

3. **Comment:** The porch is measured at 5'-8" deep. Per Section 4.4 of the Beaufort Code, porches must be a minimum of 8' deep, so the porch would have to be extended by 2'-4" to meet this requirement. **Porch is not shown in the floor plan, so dimension is not visible.**

***Response: Revised elevations attached***

4. **Comment:** Per Section 4.6.3.A.7, vinyl siding is prohibited. The proposed vinyl siding must be replaced with either a smooth cementitious siding or wood siding. **Materials not called out in this iteration.**

***Response: Revised elevations attached***

5. **Comment:** Per Section 4.6.3.C.2.1, “Windows shall not be flush with exterior wall treatments. Windows shall be provided with an architectural surround at the jambs and header, and a projecting sill.” The windows appear “picture-framed,” i.e. flush with the surrounding siding. This is not allowed and must include projecting sills and casings. **In the renderings, the window still appears “picture framed” as there is no projecting sill and it is difficult to determine if the casing is flush with the surrounding siding without a section drawing.**

***Response: Revised elevations attached***

6. **Comment:** Applicant should also consider adding an element such as a small window within the front gable or changing the material within the front gable to break apart the large expanse of siding on the front façade. **Comment is no longer applicable since the porch gable extends beyond the house’s main gable roof.**

***Response: Understood***

7. **Comment:** Staff does support the board and batten “stripe” on the front façade and recommends removing this detail. **Board and batten has been removed. Staff supports this change.**

***Response: Understood***

8. **Comment:** The window at the front porch is blocked by the center column. Move this window so that it is centered between two columns. The front door should also be centered between columns. **Unclear if this comment has been addressed without any elevation drawings or the porch drawn in plan.**

***Response: Revised elevations attached***

9. **Comment:** There are no stairs in the drawings up to the porch. Show the stairs for both the front and side door on future drawings. **Comment unresolved.**

***Response: Revised elevations attached***

10. **Comment:** If shutters are to be used, they must be operable and have all operable hardware. Fixed shutters are not allowed. **Shutters not shown. Staff supports this change.**

***Response: Understood***

11. **Comment:** As a general note, the same model should not be used on every lot. Staff has consistently pushed slight massing changes, material changes, etc. to differentiate similar adjacent buildings from one another. Staff will not support the use of this same model on every lot. **See comment 1 in red.**

***Response: Revised elevations attached***

12. **Comment:** **We still have the same concerns as previously addressed. While we do not review site plans, we also had some concerns about the new pedestrian walkways being the only access to some of the buildings, and buildings 1-8 still fronting to head-in parking space instead of parallel on-street parking spaces.**

***Response: Understood. Currently, our client would like to continue with this site layout.***

13. **Comment:** The Site Plan reads as a multi-family project or apartments with the large parking lot. Staff believes it would be more efficient, cost effective, and invite a better community if instead of a large parking lot, that the project is redesigned as more of a cluster development or townhouse development, with traditional driveways or alleys to each lot.

**Response: Understood. Currently, our client would like to continue with this site layout.**

14. **Comment:** Please depict road widths.

**Response: refer to updated layout. Roadway widths provided.**

15. **Comment:** Please depict parking lot stall sizes.

**Response: refer to updated layout. Parking lot stall sizes provided.**

16. **Comment:** It is awkward and good design or allowable per 2.4.1 to side front the lots to the parking lot.

**Response: Understood, lots have been updated.**

17. **Comment:** Please refer to Chapter 7.4, about park and open space. There does not appear to be any useable park or open space per Chapter 7.4 for what is a dense development.

**Response: This site is +/-3 acres, Chapter 7.4 states parcels less than 10 acres have no minimum requirements for park and open space. That being said, we are providing quite a few connecting linear corridors of open space that are usable.**

18. **Comment:** Is there proof that the road connection to the North is practical and right of way or an easement exists?

**Response: Connection to the north is practical, no grading or connection challenges in that area. This parcel was intended to be the second phase of the development of the parcel to the north.**

19. **Comment:** Fire apparatus access roads shall have an unobstructed width of not less than 20 feet exclusive of shoulders IFC 503.2.1.

**Response: Understood. All roadways are minimum of 20 feet in width.**

20. **Comment:** Dead -end fire apparatus roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus IFC 503.2.5.

**Response: Understood.**

21. **Comment:** Project must follow and meet the stormwater requirements set forth in the SoLoCo Stormwater Design Guidelines.

**Response: Understood**

22. **Comment:** It is unclear from the sketch plan what the anticipated stormwater design will be. It appears that the site may utilize an existing stormwater basin. If this is the case, geotechnical analysis should be provided to determine if the basin will infiltrate and the groundwater elevation. Design computations for the existing basin shall be provided to ensure it meets the

SoLoCo requirements and that the proposed development does not negatively impact the performance of the basin.

***Response: Understood, we will do provide geotechnical analysis at a later date in order to design construction documents.***

23. **Comment:** It is recommended that pervious hardscapes and pavement be utilized throughout the site to encourage infiltration.

***Response: Understood we will evaluate the possibility of this at time of construction documents.***

24. **Comment:** Please ensure the correct peak rate factor, as identified in the SoLoCo manual, is utilized when determining pre/post stormwater management requirements.

***Response: Understood***

25. **Comment:** How will the individual lots drain? Will there be swales between the lots access only by sidewalks to convey the stormwater to the stormwater bmp?

***Response: Perimeter swales will be utilized as needed to capture runoff***

26. **Comment:** Lot grading should take into consideration not directing runoff onto adjacent properties.

***Response: Understood***

27. **Comment:** Where and how does the existing pond discharge?

***Response: There is an outlet pipe identified in the SE corner of the pond and we will investigate the pond's design and operation as we get into detailed engineering design.***

28. **Comment:** Project will require a full C-SWPPP due to area of disturbance.

***Response: Understood***

29. **Comment:** Please ensure SCDES stormwater and sediment control approval is sought.

***Response: Understood***

30. **Comment:** Please ensure SCDES OCRM CZC approval is sought.

***Response: Understood***

31. **Comment:** I am assuming the structures are being designed in accordance with the 2021 South Carolina Residential code as a single-family dwelling.

***Response: Correct***

32. **Comment:** Maintain the minimum 5' setbacks between the residence and the property line as require SCRC R302.

***Response: Understood***

33. **Comment:** The modular building shall be reviewed and approved through South Carolina Labor and License Regulation's Modular Building Program. Here is a contact for your convenience.

[maggie.smith@llr.sc.gov](mailto:maggie.smith@llr.sc.gov).

***Response: Understood***

34. **Comment:** Existing water and sewer mains run through property and BJWSA does not have record drawings. BJWSA recommends developer/engineer to have a SUE to confirm exact location of mains.

***Response: Understood, This will be done at a later date in order to design construction documents.***

35. **Comment:** 10' of horizontal separation is required between structures and BJWSA's mains.

***Response: Understood***

36. **Comment:** BJWSA would like to have all services installed at the front of houses.

***Response: Understood, will evaluate the practicality of this once mains are located.***

37. **Comment:** Any mains installed between houses would like to have 30' easement for O&M purposes.

***Response: Understood***

38. **Comment:** Capacity fees increase Feb 1st 2025.

***Response: Understood***

If you have any questions or require additional information, please do not hesitate to contact me via email ([dylan@tarr-group.com](mailto:dylan@tarr-group.com)) or phone (615-829-0331).

Sincerely,

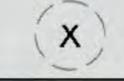
A handwritten signature in blue ink that reads "Dylan Tarr". The signature is fluid and cursive, with the first name "Dylan" being more prominent than the last name "Tarr".

Dylan Tarr, PE



**PROPOSED ALLOCATIONS**  
 DEVELOPED AREA: 1.64 ACRES 54%  
 CIVIC / OPEN SPACE: 1.40 ACRES 46%

**VEGETATION LEGEND**

-  PROPOSED CANOPY TREE
-  EXISTING TREE INTENDED TO REMAIN
-  EXISTING TREE INTENDED TO BE REMOVED

SIDEWALK (TYP)

BUILDING FOOTPRINT (TYP)  
 LOT LINE (TYP)

BUILDING FOOTPRINT (TYP)  
 LOT LINE (TYP)

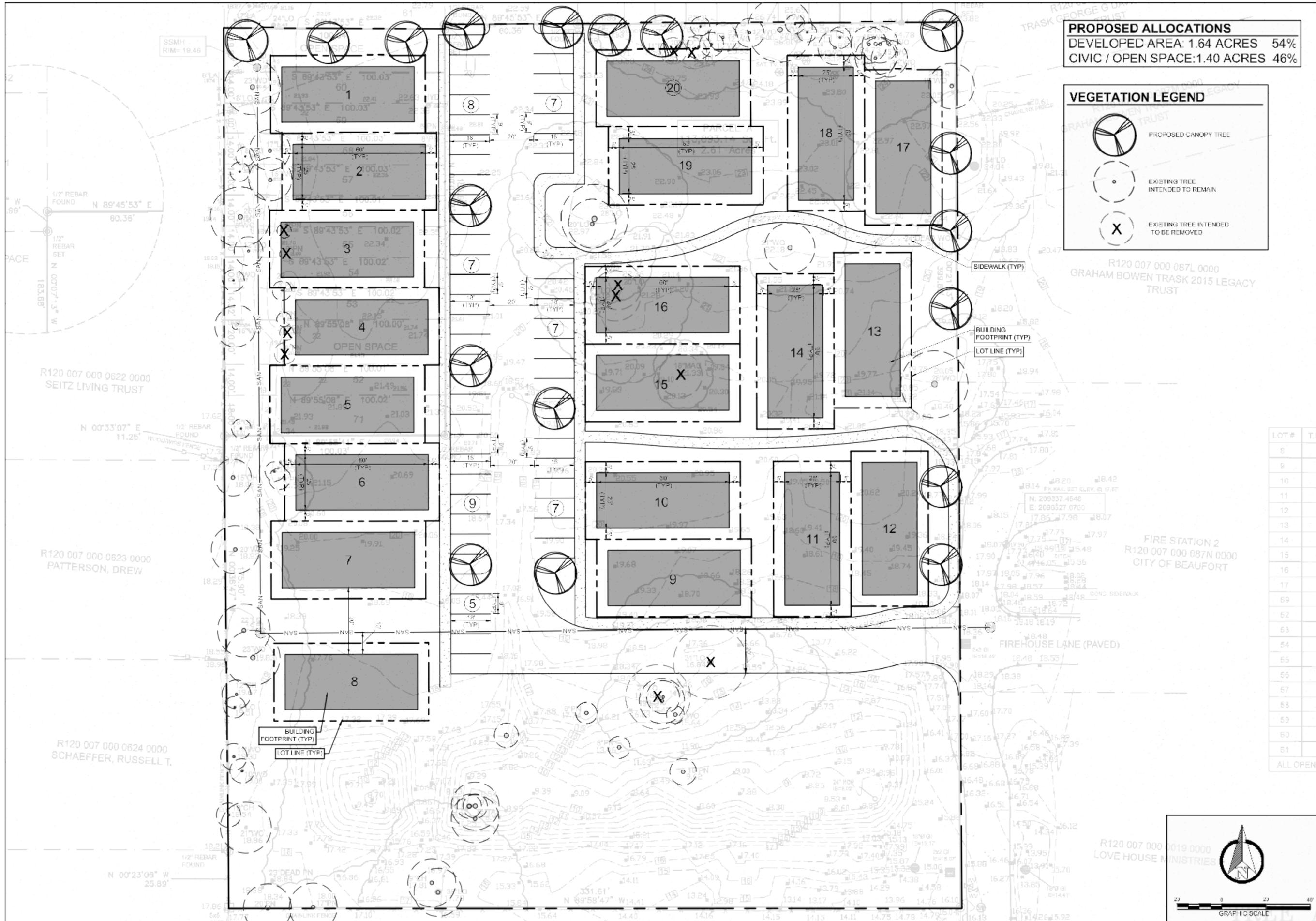
GRAPHIC SCALE



BEAUFORT RESIDENTIAL DEVELOPMENT  
 CLAYTON HOMES  
 BEAUFORT, BEAUFORT COUNTY, SOUTH CAROLINA

BEAUFORT, SC  
 CONCEPTUAL LAYOUT

**EX1.4**

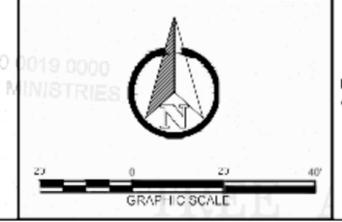


**PROPOSED ALLOCATIONS**  
 DEVELOPED AREA: 1.64 ACRES 54%  
 CIVIC / OPEN SPACE: 1.40 ACRES 46%

**VEGETATION LEGEND**

-  PROPOSED CANOPY TREE
-  EXISTING TREE INTENDED TO REMAIN
-  EXISTING TREE INTENDED TO BE REMOVED

LOT #	TYP
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
ALL OPEN	



8560 E. STATE ROAD 32  
 ZIONSVILLE, IN 46017  
 PHONE: 502-645-3800  
 EMAIL: TARR@TARR-GROUP.COM

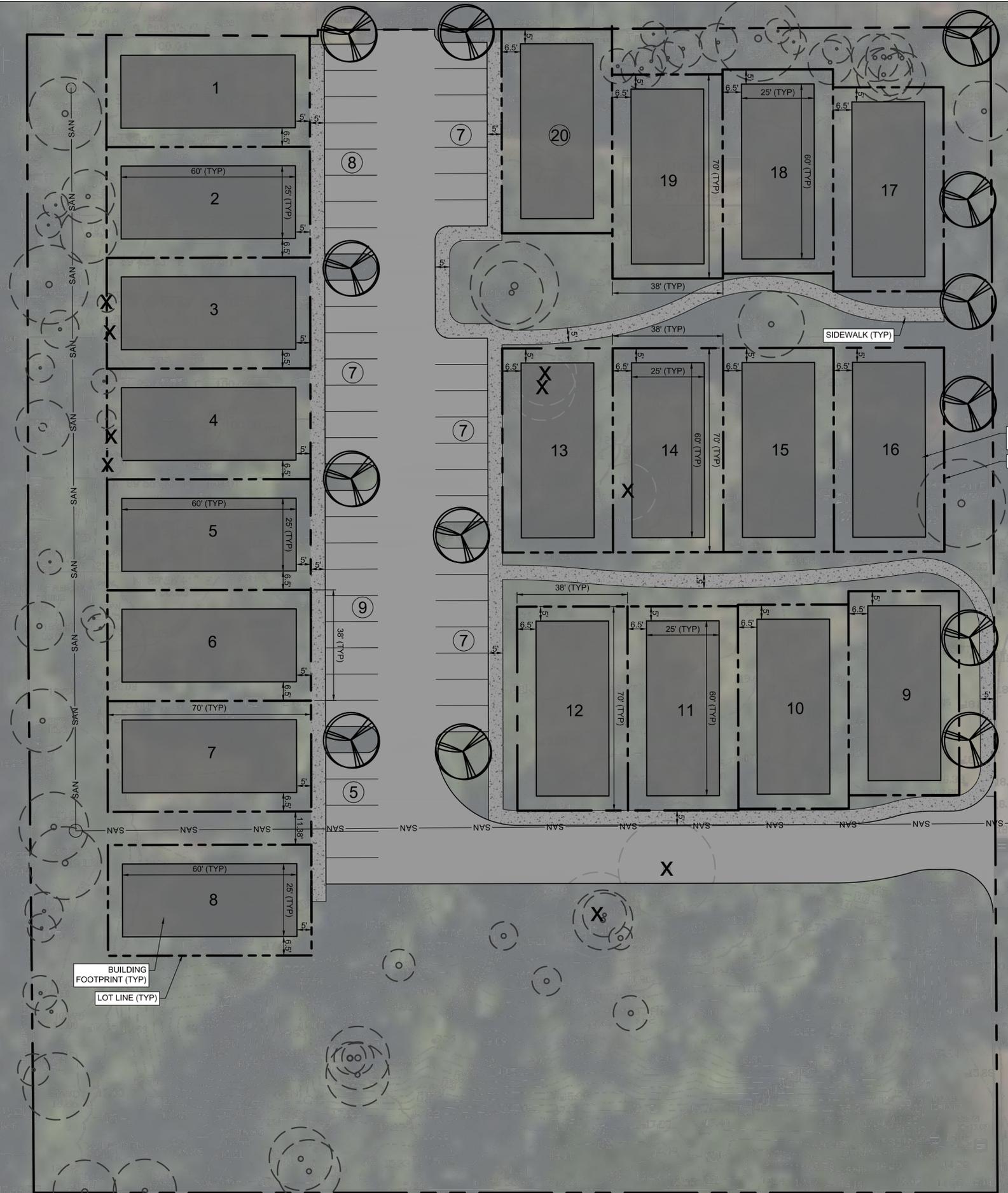
BEAUFORT RESIDENTIAL DEVELOPMENT  
 CLAYTON HOMES  
 BEAUFORT, BEAUFORT COUNTY, SOUTH CAROLINA

BEAUFORT, SC  
 CONCEPTUAL LAYOUT

**EX1.4**

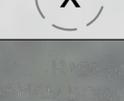


**ORIGINALLY  
SUBMITTED  
SKETCH PLAN**



**PROPOSED ALLOCATIONS**  
 DEVELOPED AREA: 1.64 ACRES 54%  
 CIVIC / OPEN SPACE: 1.40 ACRES 46%

**VEGETATION LEGEND**

-  PROPOSED CANOPY TREE
-  EXISTING TREE INTENDED TO REMAIN
-  EXISTING TREE INTENDED TO BE REMOVED

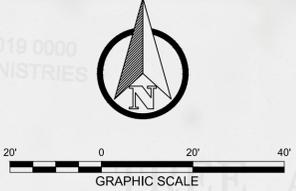
BUILDING FOOTPRINT (TYP)  
 LOT LINE (TYP)

BUILDING FOOTPRINT (TYP)  
 LOT LINE (TYP)

LOT #	T.M.
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19	
20	
61	
ALL OPEN	



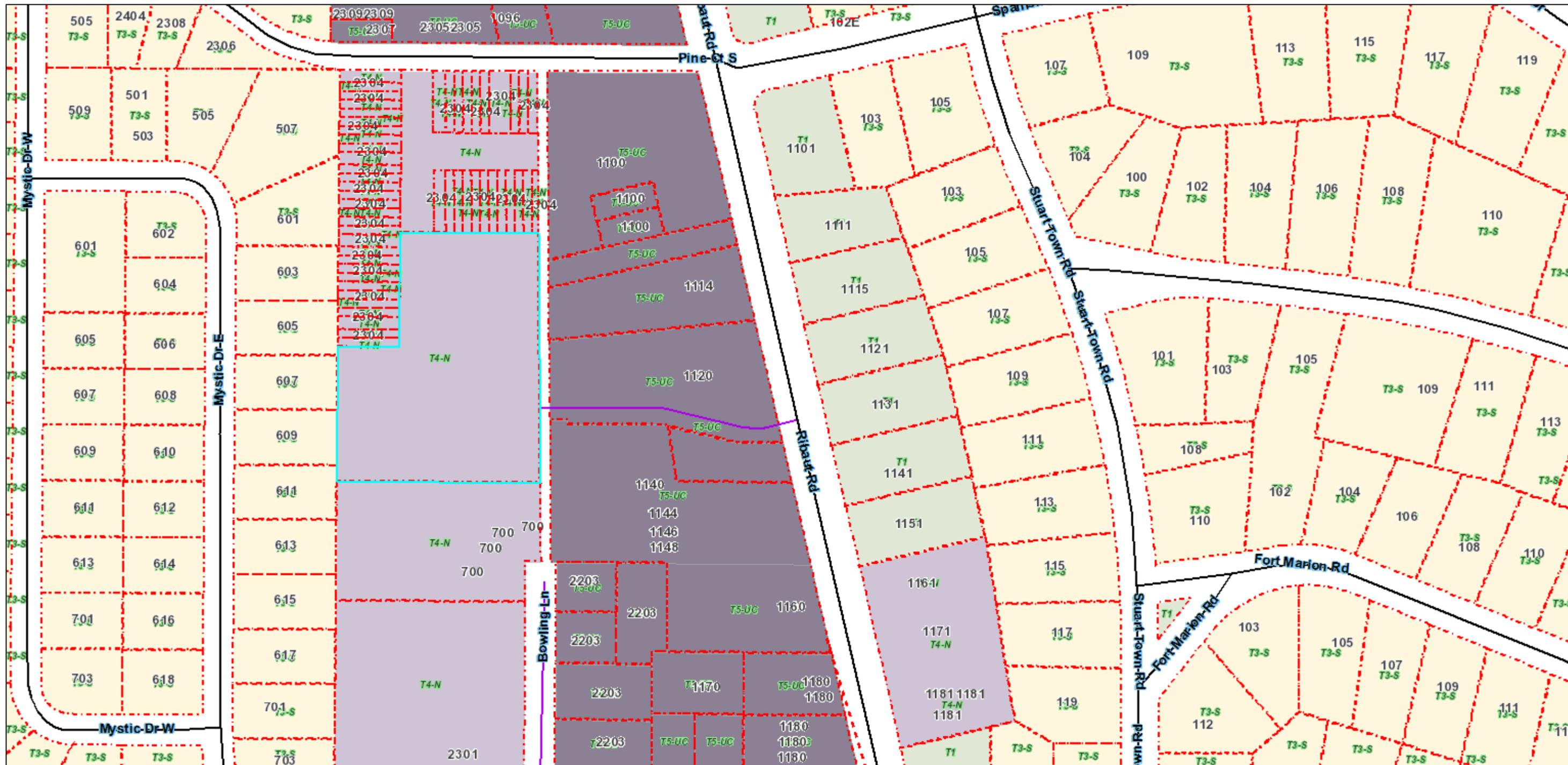
BEAUFORT RESIDENTIAL DEVELOPMENT  
 CLAYTON HOMES  
 BEAUFORT, BEAUFORT COUNTY, SOUTH CAROLINA



BEAUFORT, SC  
 CONCEPTUAL LAYOUT

**EX1.4**

# Zoning



4/15/2025, 3:13:05 PM

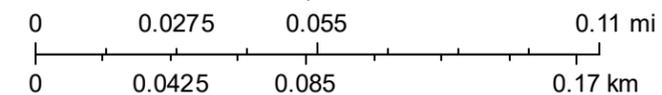
### Road Classifications

- STATE, PAVED
- MUNICIPAL, PAVED
- LiveParcels
- HISTORIC DISTRICT-Preservation Heighborhood
- HISTORIC DISTRICT-Conservation Neighborhood

- Bladen Street Redevelopment District
  - Boundary Street Redevelopment District
  - Retail Overlay (Church & Green Street)
  - Retail Overlay
- ### Zoning Districts
- T1
  - T3-S
  - T3-N
  - T4-HN
  - T4-N
  - T4-NA
  - T5-DC
  - T5-UC
  - T5-UC / RMX
  - RMX
  - IC
  - MH
  - LEGACY PUD (LPUD)

- LI
- MR

1:2,257



Your Name Here