



MEETING AGENDA
The City of Beaufort
HISTORIC DISTRICT REVIEW BOARD

Wednesday, June 11, 2025, 2:00 P.M.

City Hall, Council Chambers, 2nd Floor – 1911 Boundary Street, Beaufort, SC

Please click the link below to access the webinar:

<https://us02web.zoom.us/j/86179212938?pwd=raj1h2R7ilLtYrn9TilF6RZxQ5iYyz.1>

Password: 361211 Meeting ID: 861 7921 2938 Call in Phone #: 1+929 205 6099

STATEMENT OF MEDIA NOTIFICATION: “In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place, and agenda of this meeting.”

Note: A project will not be reviewed if the applicant or representative is not present at the meeting.

I. Call to Order:

II. Review of Minutes:

A. May 14, 2025 Meeting Minutes

III. Applications:

A. Permit Extension: 1114 Congress Street: Request for a one year COA extension for COA

Applicant: Cherimie Crane Weatherford, Executive Director, Freeman’s Arts District

B. 314 Charles Street, PIN R120 004 000 849B 0000, alterations

Applicant: Scott Haupt and Marilyn Marino, Owners

The applicants are requesting approval to install two (2) storm doors – 1 on the front and 1 on the rear of their home.

C. 914 Newcastle Street, PIN R120 004 000 0279 0000, new construction

Applicant: Megan Chancellor Crumrine, Architect

The applicant is requesting final approval for construction of a new single-family residence.

HRB Meeting Agenda
April 9, 2025
Page 2 of 2

IV. Discussion

V. Adjournment



Historic District Review Board Meeting Minutes – May 14, 2025

CALL TO ORDER

0:02

A meeting of the Historic District Review Board was held in-person on Wednesday, May 14 at 2:00 pm.

ATTENDEES

Members in attendance: Eric Berman, (Vice-Chair), Rita Wilson, and Kim Petrella

Member absent: Mike Sutton (Chair) and Grady Woods.

Staff in attendance: Curt Freese, Community Development Director, Christopher Klement, Community Development Planner, III, Nick Navia, Community Development Planner, I, Meadors Architects, and Julie A. Bachety, Community Development Administrative Assistant II.

REVIEW OF MINUTES OF APRIL 9, 2025

0:05

Mr. Berman commented that on page 2 under the motion the second bullet 9'1"2 should be corrected to either state 9 ½ feet or 9' 6". He also noted on page 2 under the motion the third bullet, *conquer* should be corrected to "concur".

Motion: Ms. Wilson made a motion to approve the April 9, 2025 minutes with the changes as noted. Ms. Petrella seconded the motion. The motion passed unanimously.

All Historic District Review Board Meeting minutes are recorded and can be found on the City's website at <http://www.cityofbeaufort.org/AgendaCenter>.

APPLICATIONS

1:14

- A. **1203 Bay Street (The Cuthbert House), PIN R120 004 000 771A 0000**, awning replacement
Applicant: Chris Ramm, Owner

The applicant is requesting approval for replacement of a green canvas awning at the rear of The Cuthbert House with a standing seam metal shed roof.

Christopher Klement presented the staff report.

Public Comment:

Wallace Scarborough, 1207 Bay Street thanked the Board and said what they are doing is important and keeping the historic integrity of these homes is vitally important to the economy of Beaufort and that is why tourists come here. Mr. Scarborough is in favor of the project.

Lise Sundrila, Historic Beaufort Foundation (HBF), stated HBF is in support of the project.

Public comment closed.

Motion: Ms. Petrella made a motion to approve alternative #2 – Shed-roof awning, option 1 as presented by staff. Ms. Wilson seconded the motion. The motion passed unanimously.

B. **1107 Prince Street, PIN R120 004 000 0503 0000**, alterations, additions

17:13

Applicant: Benjie Morillo, Architect

The applicant is requesting approval to partially demolish some walls within the existing structure, as to add-on to the existing house, including changes to front, side/rear porches and terrace.

Nick Navia presented the staff report.

Public Comment:

Lise Sundrila, Historic Beaufort Foundation (HBF), said HBF is in favor of the project. Ms. Sundrila commented that the building was mis-aged when it was surveyed and portions of it are actually the 1940's. Ms. Sundrila suggested keeping the character defining features.

Daniel Blackman, 1010 Duke Street said he is in favor of the project for renovations of the house. He wanted clarification that this application does not include the ADU or the other addition because the plans show them as "future addition" don't show it this way. He is concerned about the vertical board and batten versus horizontal; it's very unusual in the Northwest Quadrant (NWQ) and not consistent with the NWQ.

Public comment closed.

Motion: Ms. Petrella made a motion to preliminarily approve the application with staff's recommendations and to add the additional condition that the applicant restudy the siding, the windows, consider a gable return for the front addition and that their submission explicitly excludes the future addition and future ADU. Ms. Wilson seconded the motion. The motion passed unanimously.

ADJOURNMENT

50:38

Ms. Wilson made a motion seconded by Ms. Petrella to adjourn. The meeting ended at 2:51 pm.

1114 CONGRESS STREET

**Permit Extension
Request for One-Year COA Extension**



CITY OF BEAUFORT
Community Development Department

SCOTT MARSHALL
City Manager

1911 BOUNDARY STREET
BEAUFORT, SC 29902
(843) 525-7011
FAX (843) 986-5606

CURT FREESE
Community Development
Director

June 9, 2025

To: HRB
From: Curt Freese, Community Development Director
Subject: 1114 Congress Street, COA Renewal

Background:

Staff received a request from Ms. Cherimie Crane Weatherford, the Executive Director of the Freedman's Arts District, to extend the COA approval at 1114 Congress Street. The approval by the HRB was dated June 12, 2023. As per Chapter 9 of the Development Code, the HRB is tasked to approve any extension after the initial 24 month approval. Such an extension can be granted for one year by the HRB up to 5 times. The original minutes, COA, and report are all included.

Recommendation: Staff recommends approval of a one year extension.



CITY OF BEAUFORT
HISTORIC REVIEW BOARD
1911 BOUNDARY STREET
BEAUFORT, SOUTH CAROLINA 29902
(843) 525-7011 FAX: (843) 986-5606

CERTIFICATE OF APPROPRIATENESS

June 12, 2023

Ashley Randolph
Allison Ramsey Architects
1003 Charles Street
Beaufort, SC 29902

RE: 22-48 HRB.2 1114 Congress Street – New Construction

Dear Ms. Randolph:

On May 10, 2023, the Historic Review Board reviewed your application for construction of a new single-family residence at 1114 Congress Street and granted a conditional final approval. Since your submission is complete and all remaining conditions have been satisfied, we are issuing this Certificate of Appropriateness for your project. The drawing dated June 12, 2023 is linked to this COA.

This Certificate of Appropriateness applies only to the requirements of the Beaufort Historic District and does not supersede other city ordinances. Compliance with all other provisions of the City of Beaufort Code of Ordinances is required. Please contact the City Building Codes Office located at 1911 Boundary Street, (843) 525-7049, to apply for the necessary permits. A copy of this letter must be submitted with your application for a permit.

Be advised that this Certificate of Appropriateness will expire two years from the date of this letter as per Section 9.1.4 of the *Beaufort Code*, unless a complete building permit application is on file with the City Building Codes Office.

If you have any questions, feel free to call the Department of Community & Economic Development at (843) 525-7011.

Sincerely,

Curt Freese, AICP
Community Development Director

via email: ashleyr@allisonramseyarchitect.com
cc: file copy



Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development
10 May 2023

1 SUMMARY OF REQUEST

1114 Congress Street, New Construction

The applicant is requesting final approval for construction of a new single-family house on a currently empty lot.

This property is located within the Beaufort Conservation Neighborhood.

Background: This application was heard at the 3/15/2023 HTRC meeting.

2 FACTS

| | |
|--------------------------|-----------------------------------|
| Property Address: | 1114 Congress Street |
| Parcel ID: | R120 004 000 0166 0000 |
| Case Number: | 23-27 HRB.2 |
| Applicant: | Ashley Randolph, Architect |
| Zoning: | T4-HN |
| Use: | Single Family Residential |

District Development Standards for T4-HN:

- **Setback requirements – Primary Structure:**
 - *Front* —Average prevailing setback on block
 - *Rear setback* – 15' min.
 - *Side Corner/Alley* – 5' min.
 - *Side Interior* – 6' min., 10' min. in The Point
- **Lot Width at Front Setback:** 40' min., 60' min. in The Point
- **Lot Size:** 4,000 sf min., 6,000 sf min. in The Point
- **Impervious Surface Coverage:** 55% maximum for rooftops, additional 10% allowed for total impervious coverage.
- **Frontage Build-Out:** 75% max.
- **Maximum Building Height:** 3 stories max.

References:

Beaufort Code
Beaufort Preservation Manual

3 STAFF COMMENTS

Staff Acknowledgements

- This property is located within the Beaufort Conservation Neighborhood.
- The proposed structure is 28'-3" tall from ground to ridge.

Staff Conditions Site

1. Staff supports the height, scale, and mass of this structure. While there are no two-story structures immediately adjacent to this property, staff noted several 1 ½ and two-story structures within a two or three block radius of this lot.
2. Staff believes the applicant is compliant with Section 5.3.3 regarding tree protection zone requirements for the 34" live oak tree on the southwest corner of the property.
3. Applicant to update the south and west elevations to show the service yard.

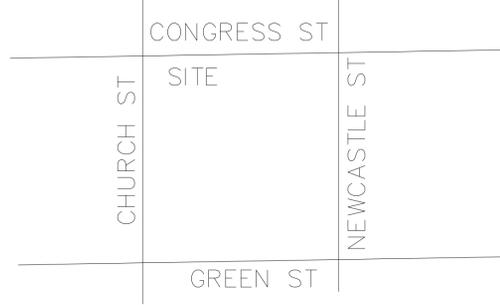
Staff Conditions Architecture

4. Applicant to note that all cementitious siding and trim will have a smooth finish per Section 4.6.3.A.1.b.
5. Staff recommends replacing the 2442 window on the second floor bath, front elevation with a 2856 window to match the other windows on this façade.
6. Staff supports the front door with single panel and 4 lite SDL with spacer bar notated on the provided cut sheet. Staff recommends the applicant obtain a cutsheet that shows the 4 lite layout rather than the 8 lite layout depicted. Staff recommends applicant revise the front elevation to illustrate the single raised panel below the 4 lite grid.
7. Staff supports the proposed Marvin Elevate windows. Applicant to confirm that the windows will be SDL windows with external grilles and interior spacer bars.
8. Staff recommends the currently proposed concrete steps on the right elevation be redesigned as wood stairs to match those on the front elevation.

STAFF RECOMMENDATION:

Final Approval with conditions noted.

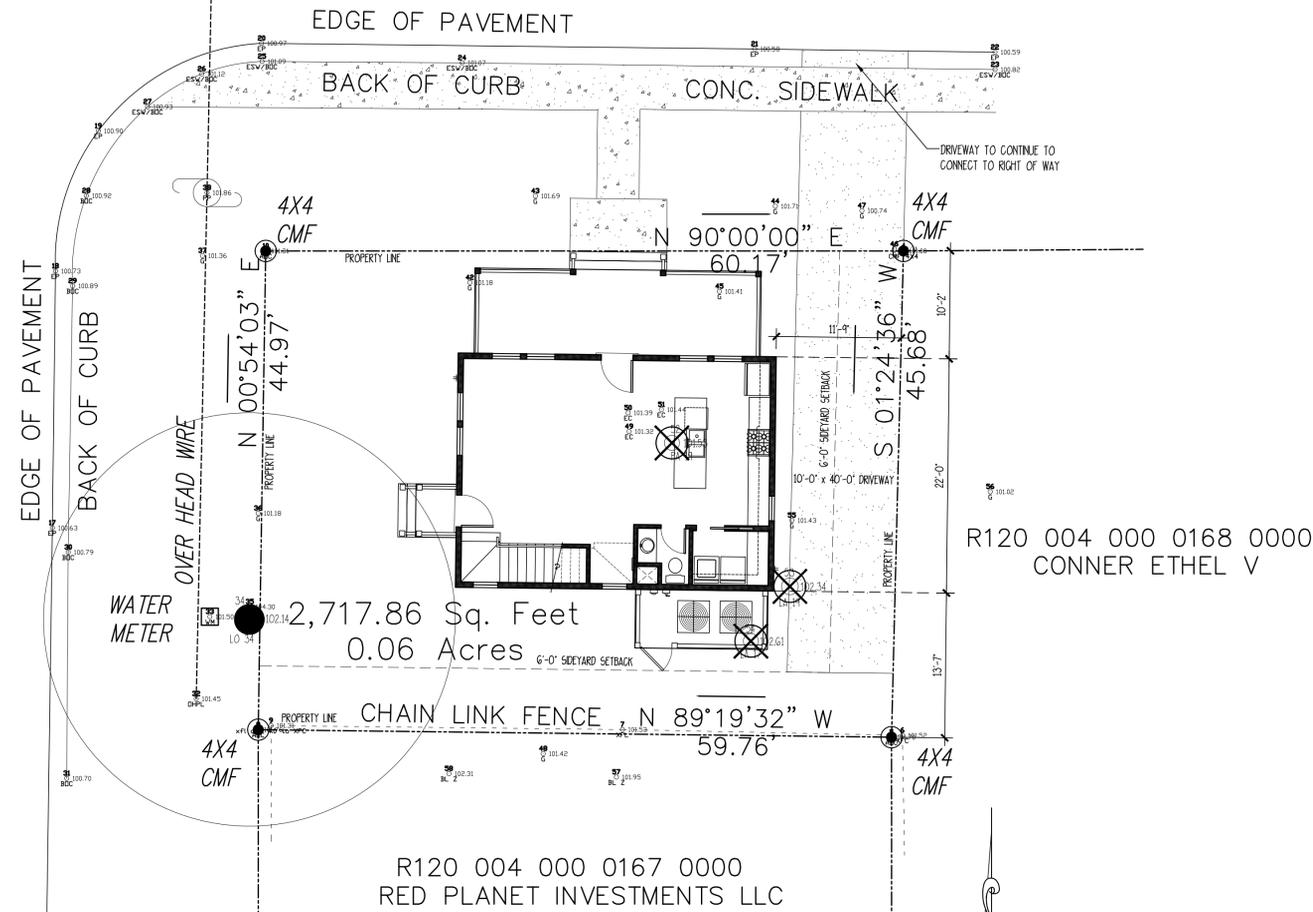
VICINITY MAP NOT TO SCALE



R/R SPIKE FOUND

CONGRESS STREET 60' R/W

CHURCH STREET 60' R/W



R120 004 000 0167 0000
RED PLANET INVESTMENTS LLC

R120 004 000 0168 0000
CONNER ETHEL V

REFERENCE PLAT: BOUNDARY SURVEY FOR 1114 CONGRESS ST.
1114 CONGRESS ST., BEAUFORT, SC
PREPARED FOR: MICHELE MORIARTY
PREPARED BY: GASQUE + ASSOCIATES INC., LAND SURVEYORS + PLANNERS
28 PROFESSIONAL VILLAGE CIRCLE, BEAUFORT, SC
PREPARED ON: 09/24/2022 AS JOB # 53230

PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

- NOTE: CONTRACTOR TO VERIFY ALL PROPERTY LINES, SETBACKS, EASEMENTS, FEMA REQUIREMENTS, AND TREE SIZES AND LOCATIONS PRIOR TO CONSTRUCTION
- NOTE: ALL HEIGHTS AND DIMS SHOWN ARE BASED ON REFERENCE SURVEY INFORMATION. ALL TO BE VERIFIED PRIOR TO CONSTRUCTION
- NOTE: COORDINATE ALL WALKS, DRIVEWAY, PARKING, AND FENCES WITH LANDSCAPER

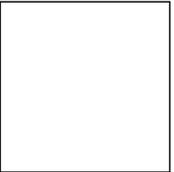
Copyright 2023 by Allison Ramsey Architects, Inc. All rights reserved.

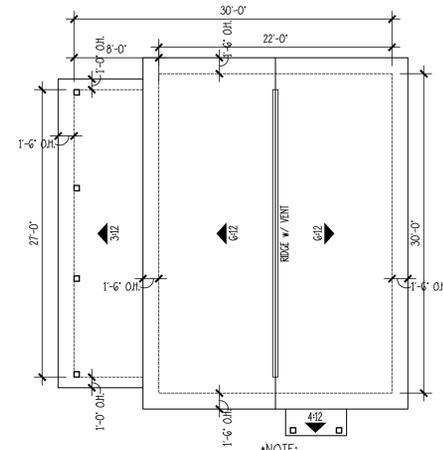
| | |
|------------|------------|
| DATE: | 3/05/2023 |
| JOB NO.: | 223171 |
| DRAWN BY: | RO |
| DWG. NAME: | 223171.DWG |

THIS PLAN HAS BEEN PREPARED TO MEET THE PROFESSIONAL STANDARDS AND PRACTICES OF THE SURVEYING AND MAPPING INDUSTRY. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO VERIFY THE FOLLOWING INFORMATION PRIOR TO CONSTRUCTION:
- VERIFY ALL DIMENSIONS, MARKS, AND LOCATIONS WITH CONSTRUCTION
- VERIFY ALL DIMENSIONS, MARKS, AND LOCATIONS WITH CONSTRUCTION
- VERIFY ALL DIMENSIONS, MARKS, AND LOCATIONS WITH CONSTRUCTION
- VERIFY ALL DIMENSIONS, MARKS, AND LOCATIONS WITH CONSTRUCTION

ALLISON RAMSEY
Architects, Inc. creating sustainable timeless design
1003 Charles St.
Beaufort SC, 29902
(843) 866-0359
www.allisonramseyarchitect.com

1114 CONGRESS STREET
1114 CONGRESS STREET, BEAUFORT, SC

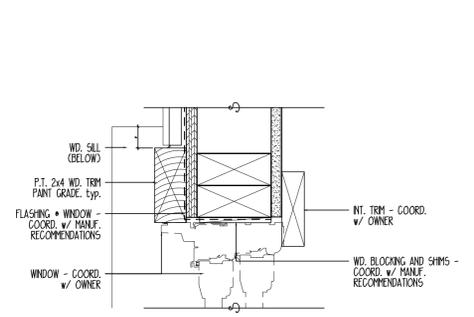




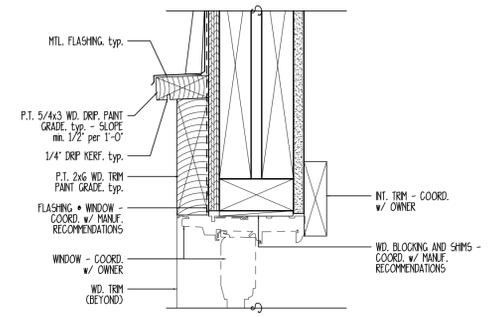
ROOF PLAN

- NOTE:
1. ALL PENETRATIONS TO BE LOCATED AS INCONSPICUOUSLY AS POSSIBLE. • REAR OR SIDES OF HOUSE AS POSSIBLE.
 2. ROOF PENETRATIONS NEED TO BE KEPT TO A MINIMUM. (COMBINED WHEN POSSIBLE).
 3. ALL ROOF / WALL PENETRATIONS TO BE PAINTED TO MATCH ROOF COLOR.
 4. TWO (2) LAYERS UNDERLAYMENT REQUIRED WHEN 4:12 ROOF PITCH OR LOWER.
 5. METAL ROOF SEAMS NOT TO EXCEED 16" O.C.
 6. METAL ROOF SEAMS TO BE 1 1/2" TO 1 3/4" IN HEIGHT

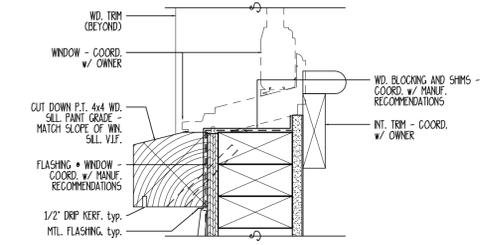
SCALE: 1/8" = 1'-0"



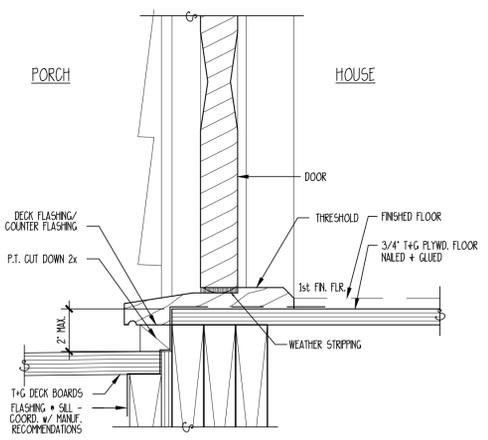
2 TYPICAL WINDOW & DOOR JAMB
SCALE: 3" = 1'-0"



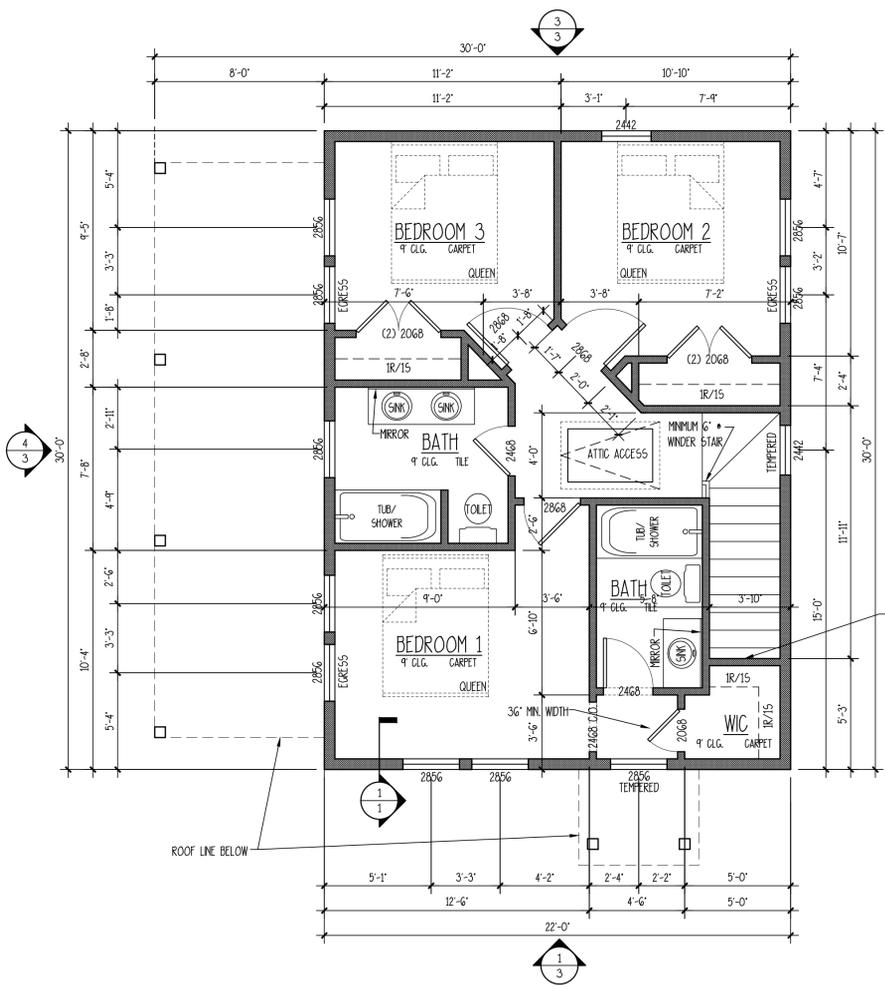
3 TYPICAL WINDOW & DOOR HEAD
SCALE: 3" = 1'-0"



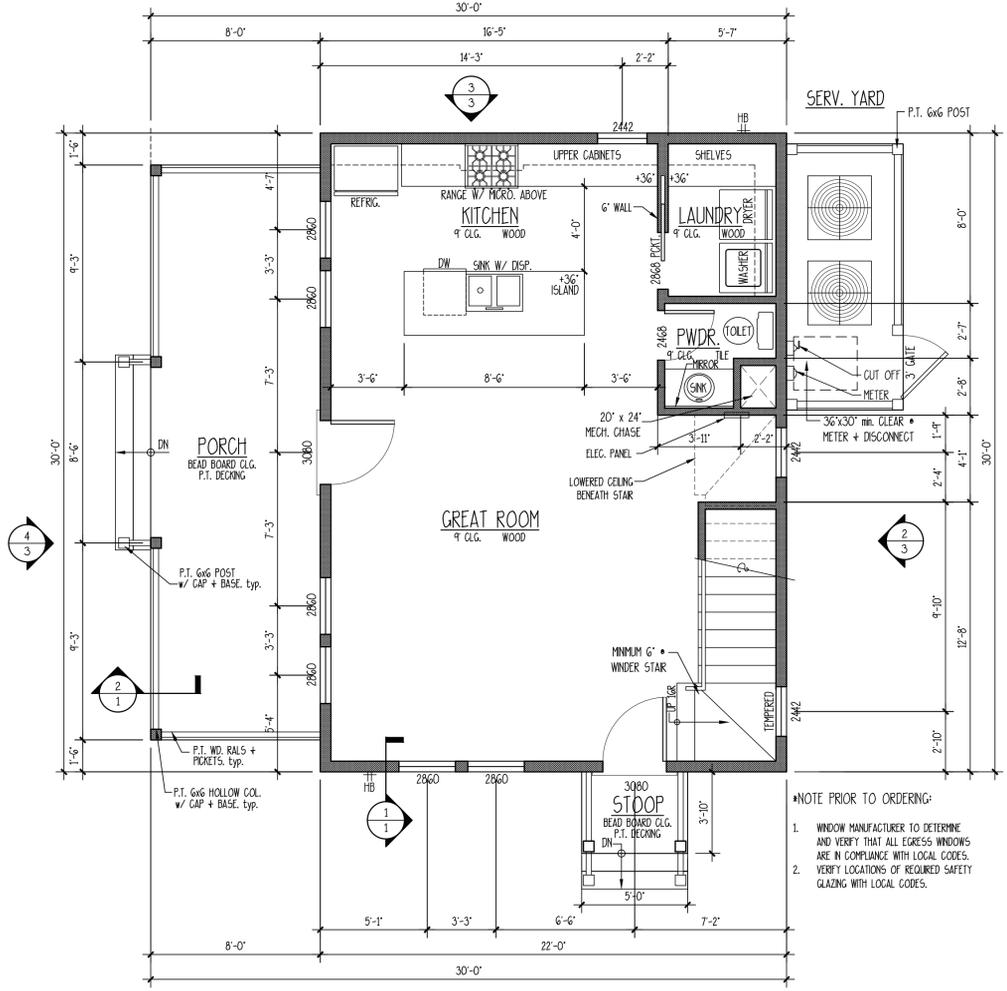
4 TYPICAL WINDOW SILL
SCALE: 3" = 1'-0"



1 TYPICAL EXTERIOR DOOR SILL
SCALE: 3" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

- *NOTE PRIOR TO ORDERING:
1. WINDOW MANUFACTURER TO DETERMINE AND VERIFY THAT ALL EXCESS WINDOWS ARE IN COMPLIANCE WITH LOCAL CODES.
 2. VERIFY LOCATIONS OF REQUIRED SAFETY GLAZING WITH LOCAL CODES.

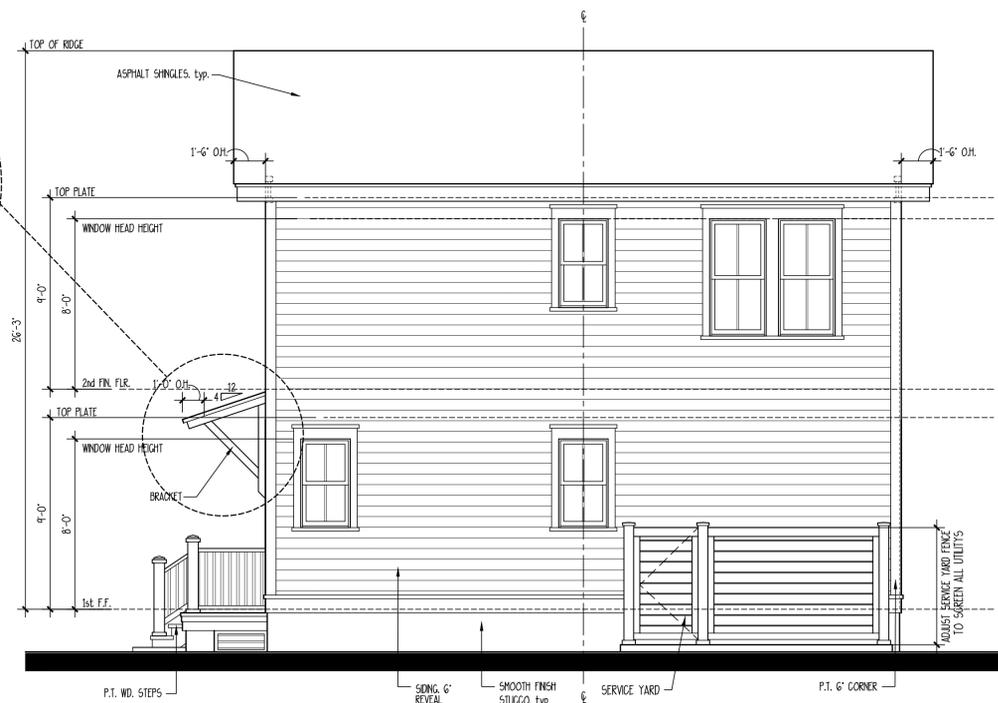
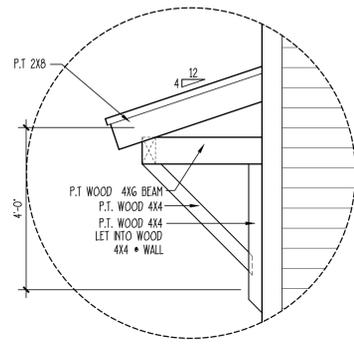
1114 CONGRESS STREET
1114 CONGRESS STREET, BEAUFORT, SC

ALLISON RAMSEY ARCHITECTS
Architects, Inc. creating sustainable timeless design
1003 Charles St.
Beaufort SC, 29902
(843) 986-0359
www.allisonramseyarchitect.com

THIS PLAN IS BEING PROVIDED TO YOU BY ALLISON RAMSEY ARCHITECTS, INC. FOR YOUR INFORMATION ONLY. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO VERIFY THE FOLLOWING: ALL INFORMATION IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT. ALL INFORMATION IS SUBJECT TO CHANGE WITHOUT NOTICE. ALL INFORMATION IS SUBJECT TO CHANGE WITHOUT NOTICE. ALL INFORMATION IS SUBJECT TO CHANGE WITHOUT NOTICE. ALL INFORMATION IS SUBJECT TO CHANGE WITHOUT NOTICE.

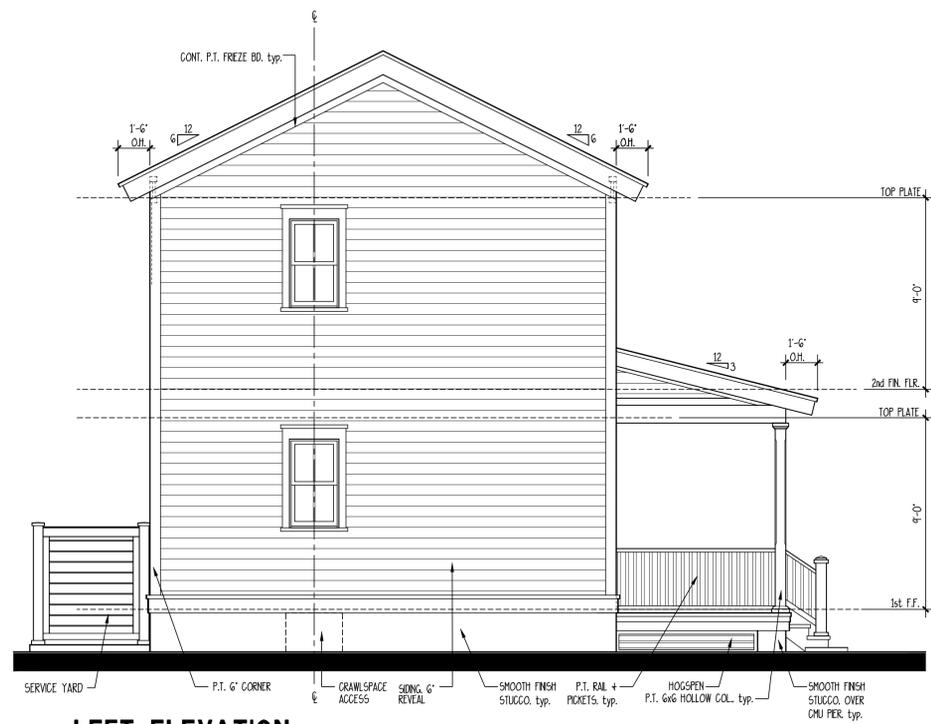
| | | |
|------------|------------|----|
| DATE: | 3/05/2023 | RO |
| JOB NO.: | 223171 | RO |
| DRAWN BY: | | |
| DWG. NAME: | 223171.DWG | |

Copyright 2023 by Allison Ramsey Architects, Inc. All rights reserved.



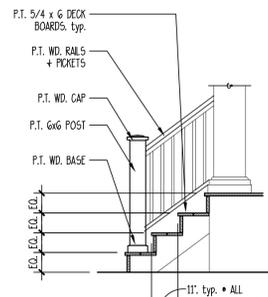
3 REAR ELEVATION

SCALE: 1/4" = 1'-0"



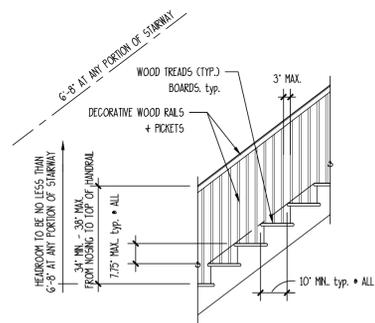
4 LEFT ELEVATION

SCALE: 1/4" = 1'-0"



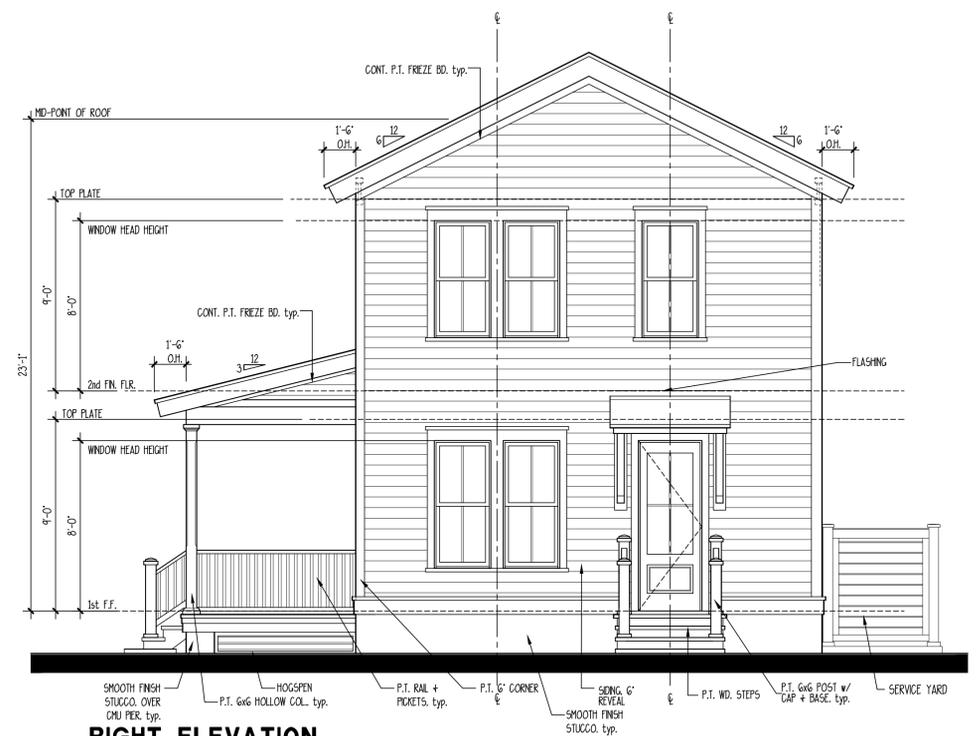
6 DETAIL • EXT. STAIRS

SCALE: 3/8" = 1'-0"



5 DETAIL • INT. STAIRS

SCALE: 3/8" = 1'-0"



2 RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"

1114 CONGRESS STREET
1114 CONGRESS STREET, BEAUFORT, SC

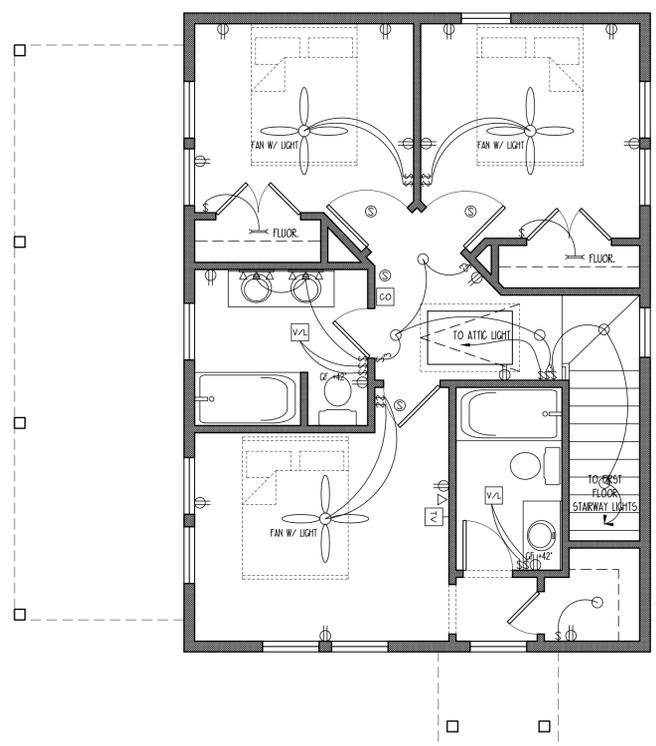
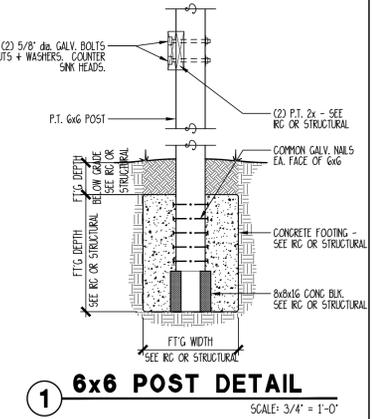
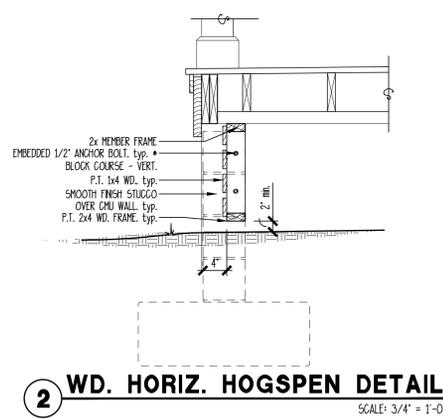
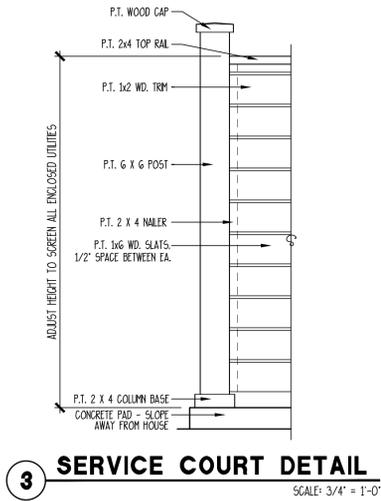
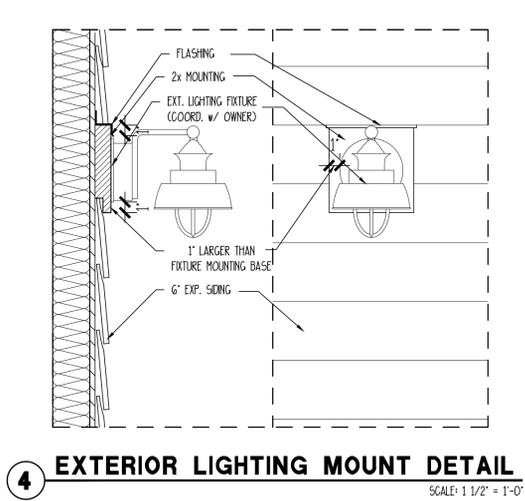
ALLISON RAMSEY Architects, Inc.
creating sustainable timeless design
1003 Charles St.
Beaufort SC, 29902
(843) 866-0359
www.allisonramseyarchitect.com

THIS PLAN SET IS PROVIDED TO YOU BY PROFESSIONAL SERVICES AND PRODUCTS, INC. AS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN SET FOR THE FOLLOWING: BEFORE BEING CONSIDERED, ALLISON RAMSEY ARCHITECTS, INC. ASSUMES NO LIABILITY FOR ANY TIME CONSUMED FROM THIS PLAN SET.
-VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
-STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
-VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL, STATE AND/OR ARCHITECT.

| | |
|------------|------------|
| DATE: | 3/05/2023 |
| JOB NO.: | 223171 |
| DRAWN BY: | RO |
| DWG. NAME: | 223171.DWG |

3

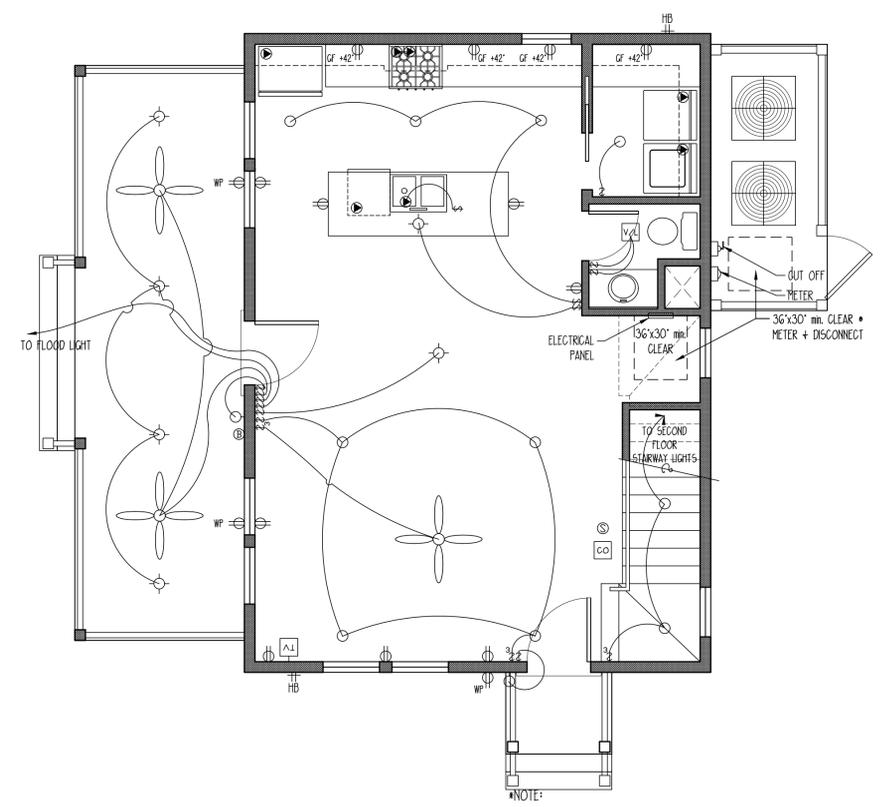
Copyright 2023 by Allison Ramsey Architects, Inc. All rights reserved.



SECOND FLOOR ELECTRICAL LAYOUT
SCALE: 1/4" = 1'-0"

| | |
|---------------------------------|--------------------------|
| ⊖ | SINGLE POLE SWITCH |
| ⊖⊖ | THREE WAY SWITCH |
| ⊖⊖⊖ | FOUR WAY SWITCH |
| ⊖⊖⊖⊖ | DIMMER SWITCH |
| ⊖⊖⊖⊖⊖ | SPEED CONTROL |
| ⊖⊖⊖⊖⊖⊖ | DUPLEX OUTLET |
| ⊖⊖⊖⊖⊖⊖⊖ | 1/2 HOT OUTLET |
| ⊖⊖⊖⊖⊖⊖⊖⊖ | WATER PROOF OUTLET |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖ | GROUND FAULT OUTLET |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | QUADRIPLEX OUTLET |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | SPECIALTY OUTLET |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | FLOOR OUTLET |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | TELEPHONE JACK |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | THERMOSTAT |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | TELEVISION JACK |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | VENT |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | VENT w/ LIGHT |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | SURFACE MOUNTED FIXTURE |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | RECESSED FIXTURE |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | WALL MOUNTED FIXTURE |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | FLOOD LIGHT |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | LED FIXTURE |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | CEILING FAN |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | STRIP LIGHTING |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | CEILING BOX |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | DOOR CHIME |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | ELECTRICAL PANEL |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | SMOKE DETECTOR |
| ⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖ | CARBON MONOXIDE DETECTOR |

COORD. ELEVATION OF UTILITIES + ELECTRICAL OUTLETS w/ LOCAL CODES + FLOOR ELEVATION



FIRST FLOOR ELECTRICAL LAYOUT
SCALE: 1/4" = 1'-0"

- *NOTE:
1. COORDINATE LANDSCAPE LIGHTING REQUIREMENTS AND LOCATION w/ OWNER.
 2. COORDINATE TELECOMMUNICATIONS SYSTEM REQUIREMENTS w/ OWNER.
 3. COORDINATE SOUND SYSTEM REQUIREMENTS w/ OWNER.
 4. COORDINATE CENTRAL VACUUM REQUIREMENTS + LOCATION w/ OWNER.

1114 CONGRESS STREET
1114 CONGRESS STREET, BEAUFORT, SC

ALLISON RAMSEY Architects, Inc.
creating sustainable timeless design
1003 Charles St.
Beaufort SC, 29902
(843) 866-0359
www.allisonramseyarchitect.com

THIS PLAN IS TO BE USED TO OBTAIN PERMITS AND TO BE USED TO OBTAIN PERMITS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED HEREON. ALLISON RAMSEY ARCHITECTS, INC. ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS PLAN.
*VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
*VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.

| | |
|------------|------------|
| DATE: | 3/05/2023 |
| JOB NO.: | 223171 |
| DRN. BY: | RO |
| DRG. NAME: | 223171.DWG |

Copyright 2023 by Allison Ramsey Architects, Inc. All rights reserved.

CONTRACT SPECIFICATIONS

The following project specifications are intended as a minimum standard to be used in conjunction with the Contract Drawings.

Compliance with each of the following Specification sections is necessary where applicable or referenced by said drawings:

All work associated with the Contract Drawings shall be in conformance with the latest edition of the International Residential Code, (IRC) or other codes applicable to the jurisdiction where the project shall be constructed. The Contractor shall refer to applicable sections of the IRC as referenced herein specifically Chapter 1, Administration.

-The "Green Recommendation" subheadings outline practices recommended to be followed for a greener method of construction. These recommendations are to be followed at the builder's discretion and do not imply any level of sustainability for the design. Refer to LEED for Homes Rating System (http://www.greenhomeguide.org/documents/leed_for_homes_rating_system.pdf) and ENERGY STAR Guidelines for Qualified New Homes (http://www.energystar.gov/index.cfm?c=ehdr_raters_raters_homes_guidelines) for more information. An asterisk (*) indicates this recommendation is a mandatory pre-requisite for the LEED for Homes Rating System. The Green Recommended Manufacturers (and Products) subheadings outline some examples of Green products and are listed according to www.buildinggreen.com, www.greenhomeguide.org, and other sources.

DIVISION I GENERAL CONDITIONS

ARCHITECTURAL DRAWINGS AND SPECIFICATIONS, ERRORS AND OMISSIONS

a. The Contractor shall notify the Architect in writing of any errors, discrepancies, or omissions in the Contract Documents.

b. The Contractor shall be held responsible for the results of any errors, discrepancies, or omissions which the Contractor failed

to notify the Architect before construction and/or fabrication of the work. SPECIFICATION AND DRAWINGS EXPLANATION: For convenience of reference and to facilitate the letting of contracts and subcontracts, these specifications are separated into titled sections. Such separations shall not, however, operate to make the Architect an arbiter to establish limits to contracts between the Contractor and Subcontractor. SUBSTITUTION: The Contractor shall submit manufacturers literature and test data for the Owner's approval, for materials or equipment which the Contractor represents as "equal" to that specified and intends to incorporate into the work. Substitution of materials, systems, or manufacturers from those specified herein by the Contractor without prior written approval from the Owner or Architect is forbidden and shall be at the sole risk of the Contractor. TRUSS DRAWINGS: A complete set of truss drawings certified in accordance with local authority shall be delivered to the architect.

c. Refer to the Engineer's calculations for any questions regarding lumber grades, beam and header sizes, footing and shear requirements.

NO deviations from the structural details shall be made without the written approval of the Structural Engineer. Approval by city/county inspector does not constitute authority to deviate from the plans or specifications. Subcontractor shall notify Contractor, and Contractor shall notify Architect of any errors, omissions, or discrepancies in the plans and/or specifications, so Architect can direct corrections or omissions prior to commencement of construction. The Contractor and Subcontractor shall verify all dimensions and job conditions at the job site prior to commencing work. All work shall be done in compliance with local codes or IRC. DO NOT SCALE DRAWINGS.

All workmanship shall be of the highest quality and is subject to inspections by the building department, local authorities, lending institutions, Architect or Owner.

Any one, or all of the above mentioned inspectors may inspect workmanship at any time. Any work identified as non-compliant with construction documents shall be removed and reworked, repaired, or replaced, at the discretion of the Owner or Owners Agent.

The jobsite shall be maintained in a clean and organized manner. All Tradesmen involved in the work shall be responsible for daily housekeeping and removing from the job site all trash and debris. The jobsite shall be completely clean and organized at the end of each work week.

It is the responsibility of each subcontractor to cooperate fully with the Job Superintendent in protecting all work through the entire course of construction. Each subcontractor shall be responsible for promptly notifying Job Superintendent of any damage existing prior to the start of their work.

ALLOWANCES

Definitions and Explanations: Allowances for certain categories of work specified herein are provided for the purpose of enabling and expediting contract pricing. A Final Schedule of Allowance for materials, labor, equipment, and finishes customarily selected by the owner shall be submitted for verification and acceptance by the owner prior to commencement of the contract work.

Adjustments to the contract (up or down) due to owners selections will be issued by change order. Allowances include but are not limited to lump sum allowances and unit cost allowances. Selection and Purchase: At earliest feasible date after award of contract, advise Owner of schedule date when final selection and purchase of each product or system described by each allowance must be accomplished in order to avoid delays in performance of the work. The Contractor shall obtain and submit cost proposals for work represented by each allowance for use in making final selections.

Purchase products and systems as specifically selected (in writing) by the Owner. Unit-cost allowances: Submit a substantiated survey of quantities of materials, as shown in the "Schedule of Values," revised where necessary, and corresponding with change order quantities. Each change order amount for unit-cost type allowances shall be based solely on the difference between the actual unit purchase amount and the unit allowance, multiplied by the final measure or count of work-in-place, with customary allowances, where applicable, for cutting wastes, tolerances, mixing wastes, normal product imperfections and similar margins.

The Owner reserves the right to establish the actual quantity of work-in-place by an independent quantity survey, measure or count.

| Schedule of Allowances | | |
|---------------------------|---|-----------|
| Description | Remarks | Allowance |
| Appliances | | |
| Range | Allowance includes Cords, Cut-off Valves, and fittings required | \$ |
| Cooktop | For complete installation, Rough-in Labor & Installation costs | \$ |
| Oven | Included in Contractor's Base Bid | \$ |
| Refrigerator | " | \$ |
| Dishwasher | " | \$ |
| Washer | " | \$ |
| Dryer | " | \$ |
| Water Heater | " | \$ |
| Other | " | \$ |
| Appliance Total Allowance | " | \$ |
| Cabinets | | |
| Kitchen | Allowance includes the cost of Installation Labor for | \$ |
| Counter Tops | Cabinets + Counter Tops, Cabinet Hardware, Pds, & Noeds. | \$ |
| Bath | " | \$ |
| Counter Tops | " | \$ |
| Bath | " | \$ |
| Counter Tops | " | \$ |
| Cabinet Total Allowance | " | \$ |
| Flooring | | |
| Carpet | Allowance includes the cost of materials and Labor installed | \$ |
| Vinyl | " | \$ |
| Wood | " | \$ |
| Ceramic Tile | " | \$ |
| Flooring Total Allowance | " | \$ |
| Hardware | | |
| Door Hardware | Allowance includes the cost of material only. Costs of | \$ |
| Bath Accessories | Installation Labor included in Contractor's Base Bid. | \$ |
| Exterior Doors | | |
| Exterior Doors | Allowance includes the cost of material only. Costs of | \$ |
| Interior Doors | Installation Labor included in Contractor's Base Bid. | \$ |
| Windows | " | \$ |
| Light Fixtures | Allowance includes the cost of material only. Costs of | \$ |
| Fluorescent Fixtures | Installation Labor included in Contractor's Base Bid. | \$ |
| Landscaping | Lump Sum Labor + Material | \$ |

CONSTRUCTION PRACTICES

-Green Recommendation:

Investigate and document options for the project's diversion of waste, including construction waste as well as cardboard packaging and household recyclables.

Document the diversion rate of the construction waste and record the waste of the land clearing separate from the new construction.

Reduce construction waste and/or increase waste diversion to be below the industry norm: generate 25 lbs or less of net waste per square foot of conditioned floor area, increase waste diversion by diverting 25% or more of the total materials taken off the construction site from landfills and incinerators.

HOMEOWNER EDUCATION

-Green Recommendation:

Provide the home occupants with proper training about the operations and maintenance of the home's "green" features and equipment. Provide a 1-hour walkthrough with homeowner and an OIM (Operations and Manual) to the homeowner including all documents and instructions related to the Green equipment and systems.

DIVISION 3 CONCRETE

-Green Recommendation:

Recyclability: Concrete to have maximum recycled content allowed per structural specifications.

Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).

Reduce emissions: Use 30% fly ash or slag as allowed per structural specifications.

Concrete intended for structural foundations shall comply w/ Sec. R402.2 and other applicable provisions of the IRC. Codes and Standards: ACI 301 "Specifications for Structural Concrete Buildings," ACI 308, "Building Code Requirements for Reinforced Concrete." Comply with applicable provisions for highest quality except as otherwise indicated.

All load bearing footings shall be placed on level, undisturbed soil to depth shown on drawings and in no case, less than the frost depth. Prior to placing footings or slabs, the Contractor shall insure that all forms and trenches are free of debris and all embedded items are in place, securely attached. This includes the work of others. Maintain 8" minimum clearance between all wood and finish grade.

Materials:

Cement shall conform to ASTM C-150.

Ready mixed concrete shall be mixed and delivered in accordance to ASTM C-94, 3000 PSI.

Aggregates shall conform to ASTM C-33 for normal-weight concrete and ASTM C-33 for lightweight concrete.

Waterstops: Flat dumbbell or centerbulb type, size to suit joints of either rubber (CRD C-913) or PVC (CRD C 512).

Moisture Barrier: Clear 6-mils thick polyethylene or 1/8" thick asphaltic core polyethylene-coated paper membrane sheet of the largest size practical in order to minimize joints.

Membrane-forming Curing Compound: ASTM C309, Type I.

Reinforcing Bars: ASTM A 615, grade 60.

Welded Wire Fabric: comply with ASTM A 185.

Concrete Placement: Comply with ACI, placing concrete in a continuous operation within planned joints or sections. Protect concrete from physical damage or reduced strength due to weather extremes during mixing, placement and curing. In cold weather comply with ACI 306, in hot weather comply with ACI 305.

FLATNES: Concrete Floor slab Flatness shall not deviate from level to 1/8" in 10 feet, maximum. Provide a smooth trowel finish for concrete floor and wall surfaces that are to be covered with a coating or covering material applied directly to concrete. Remove fins and projections, patch or remove defective areas as directed by the Owner or Architect. Apply trowel finish to monolithic slab surfaces that are to be covered with or are to be covered with resilient flooring, paint, or other thin coating. Consolidate concrete surfaces by finish troweling, free of trowel marks, uniform in texture and appearance.

Curing: Begin initial curing as soon as free water has disappeared from exposed surface. Where possible, keep continuously moist for not less than 12 hours.

Joints: Provide construction, isolation, and control joints as indicated or required to minimize differential settlement and random cracking. Saw-cut control joints as concrete has hardened sufficiently to support cutting operation and no later than 8-12 hours after placement.

SECTION 05 45 00 - PRECAST CONCRETE - CAST STONE

-Green Recommendation:

Recyclability: Concrete to have maximum recycled content allowed per structural specifications.

Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).

Reduce emissions: Use 30% fly ash or slag as allowed per structural specifications.

Specifications: Comply with recommended practices and procedures of Prestressed Concrete Institute (PCI) MNL - 116 and MNL - 117, and as herein specified.

Submit samples approximately 12" x 12" x 2" to illustrate quality, texture, and color of other than as-cast surface finishes.

Concrete Materials:

Portland Cement: ASTM C-150, Type as required.

Aggregates: ASTM C 33.

Air-Entraining Admixture: ASTM C 260.

Water-Reducing Admixture ASTM C 494.

Compressive strength not less than 5000 psi at 28 days. Total air content not less than 4% or more than 6%.

Fabrication: Fabricate precast concrete units complying with PCI MNL-116 for structural units and MNL-117 for architectural finished exposed units, including dimensional tolerances.

Manufacturers:

Green Recommended Manufacturers and Products:

Perform Lull, LLC, Perform Wall Panel System

DIVISION 4 MASONRY

-Green Recommendation:

Recyclability: Use recycled bricks when possible.

Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).

General: Assemblies of masonry units shall comply w/ the provisions provided in Chapter's 4, 6 and 10 of the IRC. Standards: Comply with the recommendation of Brick Institutes of America (BIA) and National Concrete Masonry Association (NCMA).

Provide solid, uncoated or unfroglged units with all exposed surfaces finished for sills, treads, caps, and similar applications exposing surfaces otherwise concealed from view.

Facing brick: ASTM C 216, Grade 5N, to match owner's sample.

Concrete Masonry Units (CMU): provide units of the dimensions indicated on drawings conformed to ASTM 90.

Roughen and clean concrete bearing surfaces for the placement of the first course.

Cementitious Material: Premixed Type M colored mortar of formulation required to produce color indicated.

Ties and Anchoring Devices: Hot-dip galvanized steel sheet; Carbon steel hot-dip galvanized after fabrication to comply with ASTM A 153, Class B.

Joint Reinforcement: Galvanized brass type welded-wire units prefabricated with 0.1875" diameter deformed continuous side rods and plain cross rods into straight lengths not less than 10' and of widths to fit wall thickness indicated with prefabricated corner and tee units.

Masonry Veneer Anchors: Two piece assemblies consisting of 0.1875" diameter wire tie section and O.1046" thick steel anchor section, with latter incorporating strap as manufactured by Dur-O-Wall, Inc. (or equal).

Masonry Wire Ties 3/16" cold-drawn steel wire, with 15 oz. hot-dip zinc coating.

Asphalt-Coated Copper Flashing: 5 oz. sheet copper, coated with flexible fluted asphalt.

Keepholes: Cotton sash of length required to produce 2" exposure on exterior and 1/8" in cavity between wythes.

Extruded Polystyrene Board Insulation: ASTM C 578, Type IV, with closed cells and integral high density skin, formed by expansion of polystyrene base resin in a extrusion process.

Workmanship: Install masonry units in the bond pattern indicated, or if none is indicated, in running bond. Avoid the use (by proper layout) of less-than-half-size units. Hold uniform joint sizes as indicated, or if not indicated, hold joint sizes to suit modulus of masonry units.

Cut joints flush and tool slightly concave, unless otherwise indicated.

Keep cavities clean of mortar droppings, and install ties spaced 16" vertically and 24" horizontally. Provide weep holes spaced 24" apart at the bottom of (and at ledges in) cavities. Install board insulation of thickness indicated in cavity wall with boards pressed firmly and adhesively applied against inside wythes of masonry. Fit board between wall ties and with edges butted tightly.

Reinforce horizontal joints with continuous masonry joint reinforcement, spaced 16" vertically. Install reinforcement 8" immediately above and below opening, for a distance of 2' beyond joints of opening. Do not bridge control and expansion joints in the wall system.

Provide control and expansion joints at locations shown or as approved by the Architect.

Protect adjacent work and keep clean of mortar, debris, and other damaging conditions. Install approved flashing under copings, sills, through wall at center flashing locations, and above elements of structural support for masonry. Protect newly laid masonry from exposure to precipitation, excessive drying, freezing, soiling backfill and other harmful elements.

Cleaning: Dry-brush masonry work at end of each day's work. After mortar is thoroughly set and cured, clean masonry by bucket and brush hand cleaning method described in BIA "Technical Note No. 20 Revised" using detergent cleaner.

Manufacturers:

Green Recommended Manufacturers and Products:

Apex Block, Apex Block

Trentham Industries, Verastone Premium Recycled Ground Face CMU

SECTION 04 42 00 - EXTERIOR STONE CLADDING

-Green Recommendation:

Recyclability: Use reclaimed stone.

Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).

Standards: Comply with industry recommendation of stone production and fabrication standards for the type of stone selected. Provide sample panels of erected stonework, built at site, using proposed stone, anchors, and jointing, one panel for each type of stone and installation. Obtain stone from one quarry with consistent color range and texture. Stone type and color to match Owner's sample.

Mortar: Type M, ASTM C 210, Proportion Specification. For colored pointing mortar, use ground marble, granite or other sound stone to match Owner's sample.

Anchors: For anchoring into concrete, cadmium-plated or hot-dip galvanized, for anchoring into stone, Type 302/304 stainless steel.

Types, size, and load capacity as shown or required.

Asphalt-Coated Copper Flashing: 5 oz. sheet copper, coated with flexible fluted asphalt.

Clean stone

work not less than 6 days after placement with clean water and stiff-bristle brushes.

DIVISION 5 METALS

-Green Recommendation:

Environmentally Preferable Products:

Use local products when possible (extracted, processed and manufactured within 500 miles of project).

Use products with low emissions.

Use recycled or reclaimed products.

SECTION 05 40 00

Material Standards: Provide and install structural steel in accordance w/ AISC "Code of Standard Practice for Steel Buildings and Bridges," AISC "Specifications for the Design, Fabrication, and Erections of Structural Steel for Buildings" including "Commentary," AWS "Structural Welding Code," and provisions of Chapter 3 of the IRC.

Structural steel and misc. iron shall conform to ASTM A-36.

Bolts, nuts and screws shall conform to ASTM A307 Grade A. Welding rods shall conform to AWS for intended use.

Welding or heat bending of steel shall not be allowed without written consent of Architect, conform to AWS D12.1. Fabrication: Comply with AISC "Specifications" and with AWS Code for procedures, appearance, and quality of welds.

Steel plates shall conform to ASTM A-283 Grade A. Steel tubing shall conform to ASTM A-501.

Reinforcing steel shall conform to ASTM A-615, Grade 40 for sizes up to #5; Grade 60 for sizes #4 or larger.

Welded Fabric (WFF) shall conform to ASTM A-185, latest revision. Smooth wire fabric shall conform to ASTM A-85, yield strength 60 ksi.

All bars in masonry shall be lapped with a minimum of 40 bar diameters at all splices unless noted otherwise.

All bars in concrete shall be lapped a minimum of 36 bar diameters at all splices unless noted otherwise with a larger dimension.

Splices of horizontal rebar in walls and footings shall be staggered 4'-0" unless noted otherwise.

Dowels for walls and columns shall be the same size and spacing as the wall/column reinforcing unless noted otherwise.

SECTION 05 73 00 - DECORATIVE METAL RAILINGS

General: Provide and install handrails, railings, and guards as shown on drawings and in accordance w/ Sec. R311 and Sec. R312 of the IRC.

Porches, balconies or raised floor surfaces located more than 30 inches above the floor or grade below shall have guards not less than 36 inches in height.

Handrails shall be provided on at least on each continuous run of treads or flight w/ 1" over or rises.

Structural Performance of Handrails and Railing Systems: Provide handrails and railing systems capable of withstanding a concentrated load of 200 lbs applied at any point and a uniform load of 50 lbs per lin. ft.

Fill Area of Guardrail Systems: Horizontal concentrated load of 200 lbs applied to one sq. ft. at any point in the system including panels, intermediate rails, balusters, and other elements composing the fill area.

DIVISION 6 WOOD, PLASTICS, AND COMPOSITES

-Green Recommendation:

Material Efficient Framing:

Limit the overall estimated waste factor to 10% or less. Waste factor is the percentage of framing materials ordered in excess of the estimated material needed for construction.

Use any of the following framing measures to reduce waste: pre-cut framing packages, open-web floor trusses, structural insulated panels (Sip) walls, SIP floor, stud, joist and rafter spacing greater than 16A o.c., where possible and allowed by the IRC, size headers for actual loads, use ladder blocking or drywall clips, use 2-stud corners).

Environmentally Preferable Products:

Limit use of tropical wood but use only FSC-certified wood with proper documentation.

Use local products when possible (extracted, processed and manufactured within 500 miles of project).

Use products with low emissions.

Use recycled or reclaimed products.

SECTION 06 10 00- ROUGH CARPENTRY

General: Buildings and structures constructed in flood hazard areas as established in Table R301.2.(1) shall be designed and constructed in accordance w/ the provisions contained in Sec. R323 of the IRC.

Materials: Building materials used below the design flood elevation shall comply w/ Sec. R323.1.T of the IRC. Load-bearing dimension lumber for joists, beams, studs, and girders shall be identified by a grade mark in accordance w/ Sec. R502 of the IRC.

Provide seasoned lumber with 19 percent moisture content at time of dressing and shipment for sizes 2" or less in thickness.

For exposed lumber, apply grade stamps to ends of back of each piece (or omit grade stamps entirely) and issue certificate of grade compliance.

Dimension lumber: Provided lumber of the following product classification in grade and species indicated:

Light-Framing: (2'-4" thick, 2'-4" wide). Construction grade. Southern Pine graded under SPIB rules.

Studs (2'-4" thick, 2'-6" wide, 10' and shorter): Stud or No. 3 Structural Light Framing grade, any species graded under NWFA, NCLIB, SPIB or NLGA rules.

Structural Light Framing: 2'-4" thick, 2'-4" wide); No. 1 Southern Pine graded under SPIB rules.

Structural Joists and Planks (2'-4" thick, 5' and wider): Any species and grade complying with requirements for allowable unit stresses.

F (minimum extreme fiber stress bending): 1250 PSI.

E (minimum modulus of elasticity): 1600,000 PSI.

Fv (horizontal shear): 100 PSI.

Exposed Framing Lumber: Verify that material intended for use in exposed finish locations meets species and grade requirements for compliance with Appearance grade requirements of ALSC National Grading Rule.

Posts, Beams and Timbers (5" and thicker): No. 1 grade Hem-Fir rules or No. 2 grade Southern Pine graded under SPIB rules.

Glued laminated timber (Glulam): Comply with ANSI/AITC A 190 "Structural Glued Laminated Timber"

Combination Sub Floor Underlayment: 3/4" APA RATED 5TURD-FLOOR, T&G if not otherwise indicated.

Subflooring: 3/4" T&G, APA RATED SHEATHING.

Wall Sheathing: 1/2" APA RATED SHEATHING.

Roof Sheathing: 1/2" APA RATED SHEATHING.

Plywood Underlayment for Resilient Tile: 5/8" APA UNDERLAYMENT EXT with fully sanded face.

Construction Panel Underlayment for Ceramic Tile: 3/4" APA RATED 5TURD-FLOOR EXP 1 for underlayment.

Fasteners and Anchorage: Provide metal hangers and framing anchors of size and type recommended for intended use by manufacturer.

Hot-dip galvanized fasteners and anchorages for work exposed to weather, in ground contact and high relative humidity to comply with ASTM A 153.

Building paper: 15 lb/sf asphalt saturated felt, ASTM D 226.

Sill Sealer Gasket: Glass fiber resilient insulation fabricated in strip form for use as a sill sealer, 1" nominal thickness compressible to 1/32", in rolls of 50' or 100' in length.

Preservative: pressure treat lumber and plywood with water-borne preservatives to comply with AWPA C2 and C9, respectively, and with requirements indicated below:

Wood for Ground Contact Use: AWFB LP-22.

Wood for Above-Ground Use: AWFB LP-2.

Treat cant, nailers, blocking, stripping and similar items in conjunction with roofing, flashing, vapor barriers, and water proofing.

Treat sills, sleepers, blocking, furring, stripping and similar items in direct contact with masonry or concrete.

Install rough carpentry work to comply with "Manual of House Framing" by National Forest Products Assoc. (NFPA) and with recommendations of American Plywood Association (APA), unless otherwise indicated. For sheathing underlayment and other products not covered in above standards, comply with recommendations of manufacturer of product involved for use intended. Set carpentry work to required levels and lines, with members plumb and true and cut to fit.

Provide wood framing members of size and spacing indicated. Do not splice structural members between supports. Freestop concealed spaces with wood blocking not less than 2" thick (nom.), if not blocked by other framing members.

Fasten structural wood panel products as follows:

Combination Subflooring underlayment and subflooring:

Glue-nail to framing.

Sheathing: Nail to framing.

Underlayment: Glue and nail to framing.

Air Infiltration Barrier: Cover wall sheathing with vapor permeable, water-resistant fabric composed of polyethylene fibers, 61 mils thick (Tyvek or equal) in compliance with manufacturer's printed directions.

SECTION 06 11 00 - SHOP-FABRICATED STRUCTURAL WOOD

Truss design drawings: Truss design drawings, prepared in conformance w/ Sec. R802.10 of the IRC, shall be provided to the building

official and approved prior to installation. Truss design drawings shall include the information specified in Sec. R802.10 of the IRC.

Bracing: Trusses shall be braced to prevent rotation and provide

DIVISION 7 THERMAL AND MOISTURE PROTECTION

-Green Recommendation:

Utilize a closed crawlspace system as defined by the IRC when possible. If a conventional vented crawlspace is used, assure to seal all penetrations and gaps in building envelope that are not used for ventilation.

Environmentally Preferable Products:

Use local products when possible (extracted, processed and manufactured within 500 miles of project).

Use products with low emissions.

Use recycled or reclaimed products.

General: Provide thermal and moisture protection in accordance w/ applicable standards of the IRC.

Concrete and masonry foundation waterproofing. In areas where high water table or other severe soil-water conditions are known to exist.

Weather Protection: Roof decks shall be covered w/ approved roof coverings secured to the building or structure in accordance w/ the provisions of Chapter 4 of the IRC.

SECTION 07 10 00 - WATERPROOFING AND DAMPROOFING

Exterior foundation walls that retain earth and enclose habitable or viable spaces located below grade shall be waterproofed w/ membrane extending from the top of the footing to the finished grade in accordance w/ Sec. R406.2 of the IRC.

SECTION 07 11 03 - BITUMINOUS DAMPROOFING

Concrete and masonry foundation damproofing: Except where required to be waterproofed by Sec. R406.2, foundation walls that retain earth and enclose habitable or viable spaces located below grade shall be damproofed from the top of the footing to the finished grade in accordance w/ Sec. R406.1 of the IRC.

SECTION 07 21 00 THERMAL INSULATION

-Green Recommendation:

*Install insulation that meets or exceeds the R-value requirements in Chapter 4 of the International Energy Conservation Code.

*Install insulation to meet the Grade II specifications set by the National Home Energy Rating Standards.

Use low emission insulation and comply with California Practice for Testing of VOCs from Building Materials Using Small Chambers (www.dhs.ca.gov/etb/lebl/IAQ/VOCsPractice.htm)

Use recycled content of 20% or more when possible.

Use soy-based spray foam insulation when possible.

-Green Recommended Manufacturers and Products:

BioBased Spray Foam Insulation

Thermal Insulation shall be installed in accordance w/ provisions provided in Sec. R316 of the IRC.

Insulating materials, including facings, such as vapor retarders or vapor permeable membranes installed within floor-ceiling assemblies, roof-ceiling assemblies, wall assemblies, crawl space and attics shall have a flame-spread index not to exceed 25 w/ an accompanying smoke-developed index not to exceed 450 when tested in accordance w/ ASTM E 84.

Thermal performance requirements: The min. required insulation R-value or the area-weighted average maximum required fenestration U-factor for each element in the building thermal envelope shall be in accordance w/ Sec. N102 and the criteria in Table N102.1 of the IRC.

SECTION 07 24 00 - EXTERIOR INSULATION AND FINISH SYSTEMS -

General: All Exterior Insulation Finish Systems (EIFS) shall be installed in accordance w/ the manufacturer's installation instructions and the requirements of Sec. R103.4 of the IRC.

Decorative trim shall not be faced nailed through the EIFS.

The EIFS shall terminate not less than 8 inches above the finished ground level.

Installer qualifications: EIFS system installers shall be certified in writing by system manufacturer as qualified for installation of system indicated.

Manufacturers: Subject to compliance with requirements, provide CLASS PM system of one of the following:

Dryvit System Inc.

Seberg Inc.

Simplex Div., Anthony Industries, Inc.

STI Industries, Inc.

Comply with system manufacturer's current, published instructions for installation of system as applicable to each type of substrate indicated. Offset joints of insulation from joints in sheathing.

Provide mock-up samples for the Owners selection of colors and textures from Manufacturer's full line of offerings.

SECTION 07 31 13 - ASPHALT SHINGLES

The installation of asphalt shingles shall comply w/ the provisions of Sec. R905 of the IRC.

Sheathing Requirements: Asphalt shingles shall be fastened to solidly sheathed decks.

Slope: Asphalt shingles shall only be used on roof slopes of two units vert. in 12 units horiz. or greater. For roof slopes from two units vert. in 12 units horiz. up to four units vert. in 12 units horiz, double underlayment application is required in accordance w/ Sec. R905.2.1 of the IRC.

Underlayment: Unless noted otherwise, required underlayment shall comply w/ ASTM D226, Type I, or ASTM D 4864, Type I, Self-adhering polymer modified bitumen sheet shall comply w/ ASTM D 1910.

Asphalt Shingles: Asphalt shingles shall have self-seal strips or be interlocking, and comply with ASTM D 225 or D 3462. Attachment: Asphalt shingles shall have the minimum number of fasteners as required by the manufacturer. For normal application, asphalt shingles shall be secured to the roof w/ not less than four fasteners per strip shingle or two fasteners per individual shingle.

Where the roof slope exceeds 20 units vert. in 12 units horiz, special methods of fastening are required.

For roofs located where the basic wind speed per Fig. R301.2(4) is 110 mph or greater, special methods of fastening are required.

Special fastening methods shall be tested in accordance w/ ASTM D 3161, modified to use a wind speed of 110 mph.

Shingles classified using ASTM D 3161 are acceptable for use in wind zones less than 110 mph. Shingles classified using ASTM D 3161 modified to use a wind speed of 110mph are acceptable for use in all cases where special fastening is required.

Flashing: Flashing for asphalt shingles shall comply w/ Sec. R905.2.2 of the IRC.

Flashing shall be installed in such a manner so as to prevent moisture entering the wall and roof through joints in copings, through moisture permeable materials, and at intersections w/ parapet walls and other penetrations through the roof plane.

Flashings shall be installed at wall and roof intersections, wherever there is a change in roof slope or direction, and around roof openings.

Material shall be corrosion resistant w/ a thickness of not less than 0.019 (No. 26 galvanized sheet).

Valleys: Valley linings shall be installed in accordance w/ manufacturer's installation instructions before applying shingles. Valley linings of the types allowed in Sec. R905.2.2.2 and in accordance w/ Table R905.2.2.2 of the IRC shall be permitted.

SECTION 07 31 24 - WOOD SHINGLES AND SHAKES

Wood Shingles: The installation of wood shingles shall comply w/ the provisions of Sec. R905.7 of the IRC.

Deck requirements: Wood shingles shall be installed on solid or spaced sheathing. Where spaced sheathing is used, sheathing boards shall not be less than 1-inch by 4-inch nominal dimensions and shall be spaced on centers equal to the weather exposure to coincide with the placement of fasteners.

Material Standards: Wood shingles shall be of naturally durable wood and comply w/ the requirements of Table R905.7.4 of the IRC and in accordance w/ grading rules as established by the Cedar Shake and Shingle Bureau.

Application: Wood shingles shall be installed according to Chapter 4, Sec. 405.7, and the manufacturer's installation instructions.

Weather exposure for wood shingles shall not exceed those set in Table R905.7.5 of the IRC.

Fasteners for wood shingles shall be corrosion-resistant w/ a min. penetration of 1/2 inch into the sheathing.

Wood shingles shall be attached to the roof w/ two fasteners per shingle, positioned no more than 3/4 inch from each edge and no more than 1 inch above the exposure line.

Valley Flashing: Roof Flashing shall be not less than No. 26 gauge corrosion-resistant sheet metal and shall extend 10 inches from the centerline each way for roofs having slopes less than 12 units vert. in 12 units horiz, and 7 inches from the centerline each way for slopes of 12 units in 12 units horiz, and greater.

Manufacturers:

-Green Recommended Manufacturers:

EcoStar, Seneca Cedar Shake Tiles

SECTION 07 61 00 - SHEET METAL ROOFING

-Green Recommendation:

Use metal roofing with an SRI Index rating of at least 29.

Material Standards: Metal-sheet roof coverings shall comply with provisions of Chapter 4, Sec. R905.10 of the IRC.

Roof covering application: Roof coverings shall be applied in accordance w/ the applicable provisions of Chapter 4 of the IRC and the manufacturers installation instructions.

Deck Requirements: Metal roof panel roof coverings shall be applied to a solid or spaced sheathing, except where the roof covering is specifically designed to be applied to spaced supports.

Slope: The minimum slope for lapped, nonsoldered seam metal roofs without applied lap sealant shall be three units vertical in 12 units horiz.

The minimum slope for lapped, nonsoldered seam metal roofs w/ applied lap sealant shall be one-half vert. unit in 12 units horiz.

The minimum slope for standing seam roof systems shall be one-fourth unit vert. in 12 units horiz.

Material Standards: Metal-sheet roof covering systems that incorporate supporting structural members shall be designed in accordance w/ the International Building Code. Metal-sheet roof coverings installed over structural decking shall comply w/ Table R905.10.3.

Attachment: Metal roofing fastened directly to steel framing shall be attached in accordance w/ Sec. R905.10.4 of the IRC.

Separate aluminum sheets from contact w/ wood masonry and steel (structure, panels or fasteners), by either a 15-mil coating of fibroid asphalt paint or by tapes or gaskets of type recommended by panel manufacturer. Except as otherwise recommended by manufacturer, fasten aluminum work w/ non-magnetic stainless steel fasteners, gasket where needed for waterproof performance.

Flashing: Flashing shall be installed in such a manner so as to prevent moisture entering the wall and roof through joints in copings, through moisture-permeable materials, and at intersections w/ parapet walls and other penetrations through the roof plane.

Flashings shall be installed at wall and roof intersections, wherever there is a change in roof slope or direction, and around roof openings.

Material shall be corrosion resistant w/ a thickness of not less than 0.019 (No. 26 galvanized sheet).

SECTION 07 92 00 - JOINT SEALANTS

-Green Recommendation:

*Use fire-rated caulk in all attic applications.

Use environmentally friendly adhesives and sealants- see Table 26 in Lead for Homes requirements.

Compatibility: Provide joint sealers, joint fillers and other related materials that are compatible with one another and with joint substrates under service and application conditions, as demonstrated by testing and field experience.

Colors: Provide color of exposed joint sealers as selected by Owner from manufacturer's standard colors.

Elastomeric Sealant Standard: Provide manufacturer's standard chemically curing, elastomeric sealant of base polymer indicated, complying with ASTM C 920 requirements.

One-Part Non-aqueous Curing Silicone Sealant: Type 5, Grade NS, Class 25.

One-Part Mildew-Resistant Silicone Sealant: Type 5, Grade NS, Class 25, Uses NT, G, A, and O, formulated with fungicide, intended for sealing interior joints with nonporous substrates exposed to high humidity and temperature extremes.

Plastic Foam Joint-Fillers, Preformed, open-cell polyurethane foam.

General: Comply with joint sealer manufacturer's instructions applicable to products and applications indicated.

DIVISION 8 OPENINGS

-Green Recommendation:

Environmentally Preferable Products:

Use local products when possible (extracted, processed and manufactured within 500 miles of project).

Use products with low emissions.

Use recycled or reclaimed products.

*Reduced Envelope Leakage: meet the air leakage requirements shown below as tested by an energy rater:

| Leak Criteria | Performance Requirements (in ACH50) | | | |
|-------------------------------------|-------------------------------------|------------------------|------------------------|---------------------|
| | IECC Climate Zones 1-2 | IECC Climate Zones 3-4 | IECC Climate Zones 5-7 | IECC Climate Zone 8 |
| Reduced Envelope Leakage (Pressure) | 7.0 | 6.0 | 5.0 | 4.0 |
| Greatly Reduced Envelope Leakage | 5.0 | 4.25 | 3.5 | 2.75 |
| Minimal Envelope Leakage | 3.0 | 2.5 | 2.0 | 1.5 |

General: Provide and install doors and windows in accordance w/ manufacturer's installation instructions. Comply w/ provisions of AAMA/NWDA 1011.5.2; AAMA/NDMA 1011.5.2.1/NFS; ASTM E 330; and Sections R308, R310, R311, and R613 of the IRC.

Performance: Exterior windows and doors shall be designed to resist the design loads specified in Table R301.2(2) adjusted for height and exposure per Table R301.2(3).

Moms of Egress: Not less than one exit door conforming to Sec.R311, MEANS OF EGRESS, shall be provided for each dwelling unit.

Windborne debris protection: Protection of exterior windows and glass doors in buildings located in hurricane-prone regions from windborne debris shall be in accordance w/ Sec.R301.2.1.2.

SECTION 08 14 00 - WOOD DOORS

-Green Recommendation:

Products with any sign of damage, mildew, and other contamination shall be rejected. Examine all door frames before installation to ensure they are installed plumb, true and level. Wall space around door frames shall be filled with insulation.

Materials:

Wood: Use FSC-certified sustainably harvested wood from well-managed forests and attain proper identification from vendor.

Wood Veneer: Use FSC-certified sustainably harvested wood from well-managed forests and attain proper identification from vendor.

Veneer shall be manufactured in a facility approved by an agency accredited by the Forest Stewardship Council (FSC).

Manufacturers: Subject to compliance with NWDA 1.5.6, requirements, provide panel wood doors by one of the following:

Korona, Inc.

Morgan Products, Ltd.

Nical Company

Sauder Industries Limited, Door Division.

F.E. Schumacher Co., Inc.

Sun-Door-Co.

-Green Recommended Manufacturers and Products: (per BuildingGreen.com)

Alamy Woodworks, Inc., Reclaimed-Wood Products

Algoma Hardwoods, Inc., Certified Wood Doors

Alternative Timber Structures, Inc., Interior and Exterior Doors

Crossroads Recycled Lumber, Reclaimed-Wood Products

Eggers Industries, Certified Wood Doors

Executive Door Company, Recycled-Content Wood Doors

Marshfield DoorSystems, Certified Stone Core Doors

Linden Door, GreenDoor Agility Doors

VT Industries, Inc., Agility Core Architectural Doors

Exterior Doors: Assemble doors with "wet-use" adhesives, and comply with NWDA Premium or select Grade.

Wood Species: Fir, Plain sawn/iced

Panel Configuration: Raised.

NWDA Design Group: 1-3/4": Front Entrance Doors (Exterior)

Interior Doors: Premium or Select.

Wood Species: Idaho White, Lodgepole, Ponderosa or Sugar Pine, plain sawn/iced.

Panel Configuration: Raised

NWDA Design Group: 1-3/8" Interior Panel Doors.

Glazed Opening: Trim glazed openings with solid wood moldings of profile indicated, removable one side.

Transom and Side Panels: Fabricate panels to match adjoining doors in materials, finish and quality of construction.

Exterior doors: Factory-treat exterior doors after fabrication with water repellent to comply with NWDA 1.5.4. Finish top of out-swinging doors with manufacturer's standard metal flashing.

Install doors to comply with manufacturer's instructions, applicable requirements of referenced quality standard, and as indicated.

Align and fit doors in frames with uniform clearances and bevels. Machine doors for hardware. Seal out surfaces after fitting and machining.

SECTION 08 33 23 - OVERHEAD COILING DOORS

-Green Recommendation:

Materials:

Wood: Use FSC-certified sustainably harvested wood from well-managed forests and attain proper identification from vendor.

Performance: Overhead Doors shall be designed to resist the design wind loads specified in Table R301.2(2) and as adjusted for height and exposure in Table R301.2(3) of the IRC.

Sectional Overhead Doors: Provide complete automatic operating door assemblies including frames, sections, brackets, guides, tracks, counterbalance, hardware, operators, and installation accessories.

Wood Door Section for transparent Finish: Panel-type door sections, complete with wood jamb and head mold, glazing stops and glazing, as shown. Slides and rails of clear, straight, kiln dried Douglas Fir, West Coast hemlock or Sitka spruce, not less than 1-3/4" thick. Use clear all heartwood, redwood or cedar for head and jamb molds. Panel inserts, 1/4" thick, smooth 2 sides, tempered hardwood with wood veneer, complying with ANSI 135.4 Class 1.

Fabricate doors of mortise and tenon or rabbeted construction with dowels, pins and waterproof glue. Treat doors, with 2-minute immersion water-repellent and toxic treatment. Provide continuous galv. steel reinforcing horizontal and diagonal, as required for panel size.

Installation: Set door, track and operating equipment complete with necessary hardware, jamb and head mold stops, anchors, inserts, hanger and equipment supports in accordance with mfrs. installation instructions.

Electric Door Operators: Automatic garage door openers, if provided, shall be listed in accordance w/ UL 325.

Provide size and capacity as recommended by door manufacturer, complete with NEMA approved electric motor and factory pre-wired motor controls, remote control station and accessories.

Provide safety edge device extending full width of door bottom.

Manufacturers:

-Green Recommended Manufacturers: (per BuildingGreen.com)

Real Carriage Door Company, Reclaimed-Wood Carriage Doors

Ankmar, LLC, OldPanel Garage Door

SECTION 08 52 00 - WOOD WINDOWS

-Green Recommendation:

Products with any sign of damage, mildew, and other contamination shall be rejected. Examine all window frames before installation to ensure they are installed plumb, true and level. Wall space around window frames shall be filled with insulation.

Follow minimum Energy Star Standards for Energy Performance Requirements outlined in the following table, whichever is more stringent:

ENERGY STAR Requirements for Window and Glass Doors (source: Lead for Homes Requirements, Table 18)

| Metric | Northern | | | | North Central | | South Central | | Southern | | |
|---------------------|----------|-------|-------|----------|---------------|-------|---------------|-------|----------|----------|-------|
| | U-factor | SHGC | Any | U-factor | SHGC | Any | U-factor | SHGC | Any | U-factor | SHGC |
| Good Windows | ≤0.35 | ≤0.40 | ≤0.40 | ≤0.40 | ≤0.40 | ≤0.40 | ≤0.40 | ≤0.40 | ≤0.40 | ≤0.40 | ≤0.40 |
| Enhanced Windows | ≤0.31 | ≤0.35 | ≤0.35 | ≤0.35 | ≤0.35 | ≤0.35 | ≤0.35 | ≤0.35 | ≤0.35 | ≤0.35 | ≤0.35 |
| Exceptional Windows | ≤0.28 | ≤0.32 | ≤0.32 | ≤0.32 | ≤0.32 | ≤0.32 | ≤0.32 | ≤0.32 | ≤0.32 | ≤0.32 | ≤0.32 |

(Table from Lead for Homes Rating System, Table 18, p. 63)

Install windows with low air leakage rates

-Less than 25 cfm per LF of sash opening for double hung windows

-Less than 10 cfm per LF for casement, awning and fixed windows

-Limit skylights to less than 3% WFA (window to floor area is the ratio of window area to floor area.

Materials:

Wood: Use FSC-certified sustainably harvested wood from well-managed forests and attain proper identification from vendor.

Wood Veneer: Use FSC-certified sustainably harvested wood from well-managed forests and attain proper identification from vendor.

Veneer shall be manufactured in a facility approved by an agency accredited by the Forest Stewardship Council (FSC).

Provide and install window units in configurations shown on drawings and in accordance with Federal, State, Local, & neighborhood guidelines.

Performance: Windows shall be designed to resist the design wind loads specified in Table R301.2(2) and as adjusted for height and exposure in Table R301.2(3) of the IRC.

Provide units that comply w/ Sec. R308, Glazing and Sec. R613, Exterior Windows and Glass Doors, of the IRC.

Egress: Comply w/ requirements of Sec. R310 of the IRC regarding min. window openings required for emergency escape and rescue.

Comply with ANSI/NWMA "Industry Standard for Wood Window Units 1.5, 2-80" by National Woodwork Manufacturers Association (NWA), except to extent more stringent requirements as indicated.

Manufacturers: Provide casement, awning or double hung true divided lite units as indicated on the plans; each operating sash equipped with pair of counter balancing mechanism, lift handle, latch at meeting rail, produced by one of the following:

Anderson Corp. Bayport.

Caradco Corp/Bendix, Rantoul, IL

Hurd Millwork, Flagstaff, AZ

Marvin Windows, Warroad, MN

Pella Windows, Pella, IA

Weather Shield Mfg. Inc., Meador, WI

-Green Recommended Manufacturer and Products: (per BuildingGreen.com)

J.S. Benson Woodworking & Design, LLC - Certified Wood Windows

Jeld-Wen Windows & Doors, Nilmar Collection High Performance Windows

Loewen Windows, Heat Smart Window

Marvin Windows & Doors, High Performance Wood Windows

Milgard Manufacturing Inc., High Performance Windows

Paramount Windows, Inc., High Performance Wood Windows

Pella Corporation, Designer Series

Weather Shield Manufacturing Inc., High Performance Wood Windows

SECTION 08 71 00 - DOOR HARDWARE

Hardware Allowances: See Division 1 for amount and procedures for Allowance Items. The costs of handling and installation are not covered by the allowance and shall be included in the base bid.

General Hardware Requirements: Submit final hardware schedule organized by "hardware sets", to indicate specifically the product to be furnished for each item required on each door.

Furnish template to fabricator of doors and frames, as required for preparation to receive hardware.

Install each hardware item to comply with manufacturer's instructions and recommendations.

Set thresholds for exterior doors in full bed of butyl-rubber or polysbutylene mastic sealant. Remove excess sealant and clean adjacent surfaces.

SECTION 08 71 00.1 WEATHERSTRIPPING, THRESHOLDS, AND SEALS

-Green Recommendation:

Shop priming recommended. All paints and stains to be low VOC and meet the standard of the Green Seal Standard #16-03. All sealants and adhesives to meet the standards of the South Coast Air Quality Management District Rule #160.

Provide adequate weathershipping to reduce envelope leakage as shown in table 18 above.

All exterior doors and doors to unheated spaces shall be weather-stripped. Provided aluminum interlocking thresholds with 3" x 3" aluminum angle finish strips, weatherstrip head and jambs with vinyl bulb set in aluminum strip, or approved equal.

Provide concealed, non-ferrous spring-metal or vinyl-gasket type, applied to each edge of each operable sash. Preglazed wood windows units with sealant and 1/8" float or sheet glass or clear fused-glass-edged insulating glass if shown on drawings.

Install each hardware item to comply with manufacturer's instructions and recommendations.

Set thresholds for exterior doors in full bed of butyl-rubber or polysbutylene mastic sealant. Remove excess sealant and clean adjacent surfaces.

DIVISION 9 FINISHES

</

SECTION 09 11 00 - PAINTING

-Green Recommendations:

Materials: Use only architectural paints and coatings that meet the standards below:

| Component | Applicable Standard (VOC Content) | Reference |
|---|--|--|
| Paints, coatings, and primers applied to interior walls and ceilings | Flats: 50g/L Nonflats: 150g/L | Green Seal Standard GS-11, Paints, 1 st Edition, May 20, 1998 |
| Anticorrosive and anti-rust paints applied to interior ferrous substrates | 250g/L | Green Seal Standard (C-C), Anti-Corrosive Paints, 2 nd Edition, Jan 7, 1997 |
| Clear wood finishes | Furnish: 350g/L Lacquers: 350g/L 100g/L | South Coast Air Quality Management District Rule 1113, Architectural Coatings South Coast Air Quality Management District Rule 1113, Architectural Coatings |
| Floor coatings | | South Coast Air Quality Management District Rule 1113, Architectural Coatings |
| Sealers | Waterproofing: 250g/L Sealing: 275g/L All others: 200g/L | South Coast Air Quality Management District Rule 1113, Architectural Coatings |
| Shellacs | Clear: 750g/L Pigmented: 850g/L | South Coast Air Quality Management District Rule 1113, Architectural Coatings |
| Stains | 250g/L | South Coast Air Quality Management District Rule 1113, Architectural Coatings |

Surface preparation, prime and finish coats specified are in addition to shop-priming and surface treatments. Paints exposed surfaces whether or not colors are designated in schedules, except where a surface or material is indicated not to be painted or is to remain natural. Where an item or surface is not mentioned, paint the same as similar adjacent materials or surfaces.

Samples for verification purposes: Submit samples of each color and surface to be applied, with texture to simulate actual conditions, on representative samples of the actual substrates: define each separate coat, including block fillers and primers. Use representative colors when preparing samples for review. Resubmit until required sheet, color, and texture is achieved.

Single Source Responsibility: Provide primers and undercoat paint produced by the same manufacturer as the finish coats. Final acceptance of colors will be from job applied samples.

Material Quality: Provide the manufacturer's best quality paint material of the various coating types specified. Paint material containers not displaying manufacturer's product identification will not be acceptable.

Acceptable Manufacturers:

Pittsburgh Paints
Porter Paints
Benjamin Moore Paints
Duron Paints
Sherwin-Williams Co.

-Green Recommended Manufacturers and Products:

Sherwin Williams Co, Harmony
Benjamin Moore, Pristine Eco Spc
Pittsburgh Paints, Fire Performance

Examine substrates and conditions under which painting will be performed for compliance with requirements. Do not begin application until unsatisfactory conditions have been corrected.

Preparation: Remove hardware and accessories, plates, machined surfaces, lighting fixtures, and items in place that are not to be painted, or provided protection prior to surface preparation and painting. Remove items if necessary for complete painting of the items and adjacent surfaces. Following completion of painting, reinstall items removed using workmen skilled in the trades involved.

Clean surfaces before applying paint or surface treatments. Schedule cleaning and painting so dust and other contaminants will not fall on wet, newly painted surfaces.

Surface Preparation: Clean and prepare surfaces to be painted in accordance with manufacturer's instructions for each particular substrate condition.

Application: Apply paint in accordance with manufacturer's directions. Use applicators and techniques best suited for substrate and type of material being applied. Do not paint over dirt, rust, scale, grease, moisture, scuffed surfaces, or conditions detrimental to formation of a durable paint film.

Minimum Coating Thickness: Apply material at the manufacturer's recommended spreading rate. Provide total dry film thickness of the system as recommended by the manufacturer. Apply additional coats when undercoats or other conditions show through final coat, until paint film is of uniform finish, color and appearance.

Paint colors, surface treatments, and finishes are determined by the Owner if not otherwise indicated on the drawings.

DIVISION 10 SPECIALTIES

-Green Recommendation:

Environmentally Preferable Products:

Use local products when possible (extracted, processed and manufactured within 500 miles of project).
Use products with low emissions.
Use recycled or reclaimed products.

SECTION 10 28 11 - TUB AND SHOWER DOORS:

Shower enclosures (unless otherwise shown on the drawings): Provide aluminum-framed 3/16" tempered glass, or approved shatterproof laminated safety glass or plastic. Provide sliding panels with towel bars. All enclosures shall be minimum height of 6'0" above finish floor.

DIVISION 11 EQUIPMENT

-Green Recommendation:

Install High-Efficiency Appliances that meet or exceed ENERGY STAR standards and have an ENERGY STAR label.

Use local products when possible (extracted, processed and manufactured within 500 miles of project).

Equipment Allowances: See Division I for amount and procedures for purchase and payment (overnun and underrun). The costs of handling and installation of Appliances are not covered by the allowances and shall be included in the base bid.

General: Installation of appliances shall conform to the conditions of their listing and label and the manufacturer's installation instructions.

See Mechanical System Requirements, Chapter 13, Sec. M307, APPLIANCE INSTALLATION of the IRC.
Verify all rough-in dimensions for all built-in appliances.

Residential equipment required is indicated on drawings. Include cords, valves, duct hoods, vents, as required for a complete installation.

DIVISION 12 FURNISHINGS

-Green Recommendation:

Environmentally Preferable Products:

Use local products when possible (extracted, processed and manufactured within 500 miles of project).
Use products with low emissions.
Use recycled or reclaimed products.

SECTION 12 35 30 - RESIDENTIAL CABINETS

Cabinet Allowances: See Division I for amount and procedures for purchased and payment (overnun and underrun). The costs of handling and installation including hardware and drawer pulls are covered by the allowance.

Sizes, Shapes and Types: Provide the sizes and types of units as shown, complete with drawers, doors, shelves, compartments for appliances and fixtures, and special features as indicated.

Installation: Anchor cabinet units securely in place with concealed (when doors and drawers are closed) fasteners, anchored into structural support members of wall construction. Comply with manufacturer's instructions and recommendations for support of units.

Counter Tops: Attach counter tops securely to base units. Spline and glue joints in counter tops: provide concealed mechanical clamping of joint. Provide cut-outs for fixtures and appliances as indicated: smooth cut edges and coat with waterproof coating or adhesive.

Complete hardware installation and adjust doors and drawers for proper operation.

DIVISION 22 PLUMBING

Green Recommendation:

Environmentally Preferable Products:

Use local products when possible (extracted, processed and manufactured within 500 miles of project).

Water Reuse:

Design and install a rainwater harvesting and storage system for landscape irrigation or indoor water use. The storage system must be sized to hold all water from a 14 inch event.
Design and install a graywater reuse system with a tank or dosing basin for landscape irrigation use or indoor water use. Graywater can be collected from clothes washer, shower, faucets and other source. If available, utilize a municipal recycled water system.

Fixtures:

Use high efficiency fixtures and fittings:

Faucets: average flow rate must be ≤ 2.0 gpm (gallons per minute).

Showers: average flow rate must be ≤ 2.0 gpm (gallons per minute).

Toilets: average flow rate must be ≤ 1.3 gpm (gallons per minute) or meet AGME A12.14.14 requirements or meet the U.S. EPA WaterSense Spec.

Use dual flush toilets when possible.

Efficient Systems:

Design and install an energy-efficient hot water distribution system.

Insulate all hot water piping with R-4 insulation and ensure the 90 degree elbow bends are adequately insulated.

Design and install Energy-efficient Domestic Hot Water(DHW) Equipment .

Soil and Waste Piping: Shall be approved PVC extending 5'0" beyond exterior wall. Vent piping shall be approved PVC. All vent piping penetrating roof shall be properly flashed with G.I. roof jacks and pointed to match roof. Where possible, route all vents to rear side of ridges or to the least visible location.

Clean-outs: Provide cleanout at 5'0" o.s. at end of all branched section, at change of direction at base of all accessible traps and at all points necessary to remove obstructions. Clean-outs shall be set flush with walls, floors and or grades.

Plumbing Fixtures and Equipment: Furnish all fixtures, complete with all compression stops, strainers, ballpieces, trim, etc. All exposed brass tubing supplies, cast brass traps, and waste pieces shall be polished chrome plated. Finish all piping through walls, floors or ceiling with chrome plated wall flanges or escutcheons.

Hot and Cold Water Piping: Water piping shall be copper or approved equal. Tubing under or within concrete slab shall be type "K" tubing above slab shall be type L. No fittings shall occur under slab. Connections between copper and ferrous piping shall be made with dielectric or approved isolation fittings. Provide 150 psi hydrostatic test on all water piping system prior to covering.

Gas Piping: Shall be installed in accordance w/ Chapter 24, Fuel Gas, IRC.

Water Heaters: Provide temperature/pressure relief valve within 6' from top of heater and pipe to exterior of building using copper or steel piping (plastic not allowed). Water heaters shall be installed with minimum 6" unobstructed clearance at front and 2" at sides and rear. When installed in garage, place on raised platform 18" above finished floor. (Refer to heating Section for combustion air requirements.)

Miscellaneous Plumbing Items:

Washer sub-outs: Provide hot and cold water and drain at washer locations. Locate as required to conceal from view after appliance is installed.

Hose Bibs: Furnish and install as shown on the drawings. If not shown, provide minimum of 2 Hose Bibbs. Provide capped tees for low sprinkler connections. Install hose bibs as light to exterior wall as connections allow.

Through penetrations: Piping penetrating fire-resistance-rated wall or floor assemblies shall comply w/ Sec. R317.3 of the IRC.

Isolate hot and cold water lines from the framing with 1/4" thick felt, carpet padding or equal.

The wall cavity containing water piping or plastic waste and vent lines must be packed solid with open-faced insulation (sprayed-on cellulose okay).

Common supply or waste line connections passing through sound separations are prohibited.

DIVISION 23 HEATING, VENTILATING, AND AIR CONDITIONING (HVAC)

-Green Recommendation:

General Design:

*Design and size HVAC equipment properly according to ACCA Manual J, the ASHRAE Handbook of Fundamentals or equivalent procedure. HVAC equipment must meet the ENERGY STAR for Homes National Builder Option Package outlined in table below. Install certified and labeled ENERGY STAR programmable thermostat.

| HVAC Requirements (Source: Lead for Homes Requirements, Table 19) | End Use | Central AC | | Furnaces (gas, oil or propane) | | Boilers (gas, oil or propane) | | Ground Source Heat Pump-open loop | | Ground Source Heat Pump-closed loop | | Ground Source Heat Pump-direct expansion | |
|---|-----------------|-------------------------|------|--------------------------------|------|-------------------------------|-----|-----------------------------------|-----|-------------------------------------|-----|--|-----|
| | | SEER | HSPF | AFUE | AFUE | SEER | COP | SEER | COP | SEER | COP | SEER | COP |
| *Good HVAC Design and Installation (Climate Zones 4-9) | Cooling Heating | ≥ 14 SEER ≥ 8.2 HSPF | | ≥ 90 AFUE | | ≥ 16.2 SEER ≥ 3.6 COP | | ≥ 14.1 SEER ≥ 3.3 COP | | ≥ 15 SEER ≥ 3.5 COP | | | |
| *Good HVAC Design and Installation (Climate Zones 1-3) | Cooling Heating | ≥ 14 SEER ≥ 8.2 HSPF | | ≥ 80 AFUE | | ≥ 16.2 SEER ≥ 3.6 COP | | ≥ 14.1 SEER ≥ 3.3 COP | | ≥ 15 SEER ≥ 3.5 COP | | | |

Air Conditioning Refrigerants:

*Conduct a Refrigerant Charge Test to ensure performance.

Install an HVAC system with non-HCFC refrigerants or do not use refrigerants.

Indoor Air Quality:

Complete all the requirements of the US EPA's Energy Star w/ Indoor Air Package.

Combustion Venting- All of the following are required:

*No unvented combustion appliances to be used,*a carbon monoxide monitor must be installed on each floor, *all fireplaces and woodstoves must have doors, *space and water heating equipment that involves combustion must be closed, have a power vented exhaust, or located in a detached utility or open air facility.

Use a blower-door test to measure the pressure difference created by the presence of a chimney-vented appliance and limit the risk of backdrafting where the pressure difference is ≤ 5 Pascals.

Forced Air Systems:

*Minimize energy consumption due to thermal bridges and/or leaks in the heating and cooling system. Limit duct leakage rate to outside the conditioned envelope. The tested leakage rate must be ≤ 4.0 cfm at 25 Pascals per 100 square feet of conditioned floor area for each installed system.

*Ducts to be installed in interior walls and to be fully ducted. If installed in exterior walls, extra insulation is needed to maintain the overall UA for an exterior wall without ducts.

*Minimum R-6 insulation to be used around ducts in unconditioned spaces.

*Conduct Room by Room load calculations per ACCA Manuals J and D, or ASHRAE Handbook of Fundamentals for ducted and non-ducted systems and install ducts accordingly.

Assure each room has adequate return air flow through multiple returns, transfer grilles or jump ducts. Openings should be sized to 1 square inch of cfm of supply, and pressure differential between closed rooms and adjacent spaces should be less than 2.5 Pascals.

Use Anti-stratification system when possible, that re-circulates hot air that has risen to upper areas into lower areas.

Nonducted HVAC Systems

*Use at least R-3 insulation around distribution pipes in unconditioned spaces. (If possible, keep the boiler and distribution pipes in conditioned space.)

Install outdoor reset controls based on outdoor air temperature.

*Conduct Room by Room load calculations per ACCA Manuals J and D, or ASHRAE Handbook of Fundamentals for ducted and non-ducted systems and install ducts accordingly.

Design and install flow control valves on every radiator of Hydraulic systems for a room by room system or install two distinct zones with independent thermostat controls.

Moisture Control:

Maintain relative humidity below 60% with additional dehumidification equipment or a central HVAC system with additional controls to operate in dehumidification mode.

*Install nonpaper-faced backer board on walls around tub, showers and spa areas

*Use water resistant flooring in kitchens, bathrooms, laundry rooms, entry areas within 3' of exterior door and spa areas; do NOT use carpet

*Install drain and drain pan in hot water heater if it is in or over living space

*Install drain and drain pan, or accessible single-throw supply valve to clothes washer if it is in or over living space.

*Exhaust dryer directly to outdoors

*Install drain and drain pan to condensing clothes dryer

Outdoor Air Ventilation

*Design and install a whole building ventilation system that complies with ASHRAE Standard 62.2-2007 (unless built in a mild climate (fewer than 4500 infiltration degree-days)).

Local Exhaust:

*Design and install local exhaust systems in all bathrooms and kitchens to meet requirements of ASHRAE Standard 62.2-2007 Section 5.

*Design and install the fans and ducts to meet requirements of Section 7 of ASHRAE Standard 62.2-2007.

*Exhaust air directly to the outdoors

*Use Energy Star labeled bathroom exhaust fans.

Use an occupancy sensor, an automatic humidistat controller, an automatic timer or a continuously operating exhaust fan for bathrooms.

Air Filtering

*Install air filters ≥ MERV 8 for forced air systems and nonducted HVAC systems. Maintain adequate pressure and air flow in all mechanical ventilation systems.

Contaminant Control

Seal all permanent ducts and vents to minimize contamination during construction and remove seals after construction is complete.

Flush the home for 48 hours prior to occupancy but after all phases of construction are completed.

Radon Protection

If located in EPA Radon Zone 1, design and build with radon-resistant construction techniques prescribed by the EPA , IRC or equivalent standard.

Garage Pollutant Protection

*No HVAC systems in garage; place all air-handling equipment and ductwork outside the fire-rated envelope of garage. When possible, detach garage completely from house.

Tightly seal shared surfaces between garage and conditioned spaces. --If space is above garage: seal all penetrations, seal all connecting floor and ceiling joist bays, and paint wall and ceilings to avoid carbon monoxide penetration through gypsum board. If space is adjacent to garage: weather-strip all doors, place carbon-monoxide detectors in rooms adjacent, seal all penetrations and seal all cracks at base of the walls.

Install an exhaust fan in garage rated for continuous operation.

Installation: Heating and Cooling equipment and appliances shall be installed in accordance w/ the IRC and the manuf. installation instructions.

Access: Equipment shall be located w/ respect to building construction and other equipment to permit maintenance, servicing and replacement.

Cleanances shall be maintained to permit cleaning of heating and cooling surfaces: replacement filters, blowers, motors, controls and vent connections, lubrications of moving parts; and adjustments.

Sizing: Heating and Cooling equipment shall be sized based on building loads calculated in accordance w/ ACCA Manual J or other approved heating and cooling calculations methodologies.

Flood Hazard: In areas prone to flooding as established by Table R301.2 of the IRC, heating and cooling equipment and appliances shall be located or installed in accordance w/ Sec. R323.15 of the IRC.

Duct Design: Duct systems serving heating cooling and ventilation equipment shall be fabricated in accordance w/ the provisions of Chapter 16, of the IRC and ACCA Manual D or other approved methods.

Venting Required: Fuel-burning appliances shall be vented to the outside in accordance w/ their listing and label and manufacturer's installation instructions except appliances listed and labeled for unvented use. Venting systems shall consist of approved venting systems that are integral parts of labeled appliances.

Gas-Fired appliances shall be vented in accordance w/ Chapter 24 of the IRC.

Electrical distribution systems shall comply w/ Part VIII, Chapters 35 through 42, of the IRC; the NEC, and NFPA 70.

Materials: Materials and equipment shall be new and listed by Underwriter's Laboratories, Inc., and all work shall conform with the requirements of the National Electrical Code and NFPA 70.

Circuits: Electrical system layouts are generally diagrammatic and location of outlets and equipment is approximate. Exact location of outlets and circuiting shall be governed by structural conditions and obstructions as well as applicable sections of the NEC.

a) Lighting Circuits: 15 AMP with #14 AWG conductors (120V).

b) Receptacle Circuits: 20 AMP with #12 AWG conductors (120).

c) Provide 2 separate appliance circuits at kitchen, 20 AMP with #12 AWG conductors (120).

Convenience Receptacles: Shall be placed maximum 12'-0" on centers along room perimeter and Maximum 6'-0" from end walls, and at all finishable walls exceeding 2'-0" from end wall, and at all finishable walls exceeding 2'-0" in length.

a) All receptacles shall be grounded type.

b) Locate receptacles 6" above floor and countertops, unless otherwise noted.

c) Install 240V receptacles where noted on the drawings.

d) All switched receptacles shall be one half hot.

DIVISION 26 ELECTRICAL

-Green Recommendation:

Lighting:

*Install at least four Energy Star labeled light fixtures or Energy Star labeled compact fluorescent light bulbs in high use rooms.

Install Energy Star labeled fixtures wherever possible.

Renewable Energy:

Design and install a renewable electricity generation system by using energy modeling to estimate the energy supplied by the system and the annual reference electrical load. The annual reference load is the amount of electricity that a typical home would consume in a given year and can be calculated by using the 2006 Mortgage Industry National Home Energy Rating Standards Guidelines. Home design should be at least 3% better than annual reference load.

Light Switch: Located at 48" above finish floor and 6" above counter tops, unless otherwise noted. Verify counter height w/ Owner.

System Grounding: Provide accessible junction box and necessary conductors for grounding main electrical system in accordance w/ Sec. E35071 of the IRC and Sections 250.20(b)(1) and 250.24(a).

Smoke Detectors: Provide approved smoke detector and alarm system conforming to UBC Standard 45-6 at locations shown on the drawings.

Aluminum wire shall not be used in electrical wiring within the dwelling unit.

All equipment installed outdoors and exposed to weather shall be "weather-proof"

Provide a separate 20 ampere laundry circuit.

Provide ground fault circuit interrupter (GFI) protection at all bathrooms, powder rooms, outdoor receptacles and garages

In accordance w/ Sec. E3802 of the IRC.

Verify minimum flood elevation prior to placement of devices, equipment, and appliances.

DIVISION 31 EARTHWORK

-Green Recommendation:

Site Selection:

Do not develop, build or pave on portions of site that meet the following criteria:
-land that is at or below the 100-year floodplain (as determined by FEMA).

-land that is named a habitat for any endangered or threatened species (as determined by state or federal agencies).

-land that is within 100 feet of water

Build on a previously developed lot if possible, or on a site that is adjacent to a previously developed site. Select a lot that is within ½ mile of existing infrastructure (water and sewer lines).

Select a lot that is within ½ mile of open space accessed by the public or private community.

Build homes with an average housing density of 7 or more dwelling units/acre, or a single home on 1/1 acre.

Building Orientation for Solar Design:

Site the building so that the glazing area on the north and south facing walls is at least 50% greater than the sum of the glazing area on the east and west walls.

Orient the building so that the east-west axis of the building is within 15 degrees of due east and due west.

The roof south-facing area should have a minimum of 450 sq. ft. of area oriented properly for solar applications.

Site Stewardship:

*Implement a plan of erosion control during construction to include:
-stockpile and protect disturbed topsoil from erosion.

-control the path and velocity of runoff with silt fencing or other measures.

-protect on-site storm sewer inlets, streams and lakes with straw bales, silt fencing, or other measures.

-provide swales to divert surface water from hillsides.

-in sloped areas, keep soil stabilized on sloped areas by using tires, erosion blankets, compost blankets or other measures.

Protect trees and plants with "tree protection area" fence delineated on site plan and on lot. Only develop and disturb necessary amount of site; leave as much undisturbed as possible.

Landscaping:

*Use native plants: do not introduce invasive plant species into landscape.

Use drought tolerant plants and turf or install irrigation system to reduce water usage.

Do not use turf in areas with a slope of 25% or more or in densely shaded areas. If possible, limit the use of turf.

Heat Island Effects:

Locate trees and other plants to shade hardscape areas.

Use light-colored high-albedo materials to pave sidewalks, patios and driveways. Examples include white concrete, light gray concrete, open pavers and/or any material with a SRI Index of at least 24.

Surface Water Management:

Use retaining walls and terracing for permanent erosion control on steep slopes.

Use permanent stormwater controls such as vegetated swales, on-site rain gardens, dry wells, or rainwater cisterns designed to manage runoff from home. If feasible in design, install a vegetated roof for at least ½ the roof area.

Use permeable materials such as pavers, turfstone, gravel and others for driveways and patios.

All earthwork shall be performed in accordance with applicable standards enforced by jurisdiction of which the project is located.

Earthwork shall be performed in accordance with recommendations contained in the soils report provided by the Owner, if applicable.

The soils report shall be considered as part of the construction documents. Refer to foundation plan and details for specific requirements.

All footings shall bear on firm, fully compacted, natural soil or on approved compacted fill. All imported soil shall be acceptable to the Soils Engineer. Sub-grade failing to meet compaction requirements shall be re-compacted and tested until specified results are achieved at no additional expense to Owner. Refer to Civil Engineer's grading and plot plans.

Refer to the Landscape Architect's grading and construction documents for fine grading.

All finish grades shall be placed so as to provide positive drainage away from the building.

SECTION 31 31 16 - TERMITE CONTROL

-Green Recommendation:

Timberline HD[®] Shingles

Made to protect your home. Your story. And those of over 50 million of your fellow Americans!



Timberline HD[®] Shingles Provide These Unique Benefits:

Great Value

Architecturally stylish but practically priced

Dimensional Look

Features GAF proprietary color blends and enhanced shadow effect for a genuine wood-shake look

Highest Roofing Fire Rating

UL Class A, Listed to ANSI/UL 790

High Performance

Designed with Advanced Protection[®] Shingle Technology, which reduces the use of natural resources while providing excellent protection for your home (visit gaf.com/APS/ to learn more)

Stays in Place

Dura Grip[™] Adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles warranted to withstand winds up to 130 mph (209 km/h)¹

StainGuard[®] Protection

Helps ensure the beauty of your roof against unsightly blue-green algae²

Peace of Mind

Lifetime Ltd. transferable warranty with Smart Choice[®] Protection (non-prorated material and installation labor coverage) for the first ten years³

Perfect Finishing Touch

For the best look, use Timbertex[®] Premium Ridge Cap Shingles or Ridglass[®] Premium Ridge Cap Shingles⁴

¹This wind speed coverage requires special installation; see *GAF Shingle & Accessory Ltd. Warranty* for details.

²StainGuard[®] Protection applies only to shingles with StainGuard[®]-labeled packaging. See *GAF Shingle & Accessory Ltd. Warranty* for complete coverage and restrictions.

³See *GAF Shingle & Accessory Ltd. Warranty* for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the *GAF Shingle & Accessory Ltd. Warranty* and means as long as the original individual owner(s) of a single-family detached residence (or the second owner(s) in certain circumstances) owns the property where the shingles are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable.

⁴These products are not available in all areas. See www.gaf.com/ridgecapavailability for details.

Colors & Availability

Regional Availability

Northeast, Southeast, Southwest,
West, and Central Areas

Copper Canyon

Patriot Red

Driftwood

Pewter Gray

Fox Hollow Gray

Shakewood

Barkwood

Golden Amber

Slate

Birchwood

Hickory

Sunset Brick

Biscayne Blue

Hunter Green

Weathered Wood

Canadian Driftwood

sold in Canada only

Mission Brown

White

Charcoal

Oyster Gray

Williamsburg Slate

Applicable Standards & Protocols

- UL Listed to ANSI/UL 790 Class A
- Miami-Dade County Product Control approved
- State of Florida approved
- UL 997 modified to 110 mph
- Classified by UL in accordance with ICC-ES AC438
- Meets ASTM D7158, Class H
- Meets ASTM D3161, Class F
- Meets ASTM D3018, Type 1
- Meets ASTM D3462¹
- ICC-ES Evaluation Reports ESR-1475 and ESR-3267

- Texas Department of Insurance listed
- CSA A123.5²
- ENERGY STAR® Certified (White Only) (U.S. Only)
- Rated by the CRRC
- Can be used to comply with Title 24 cool roof requirements
- Meets the cool roof requirements of the Los Angeles Green Building Code (Birchwood, Copper Canyon, Golden Amber, and White Only)

Product/System Specifics³

- Fiberglass Asphalt Construction
- Dimensions (approx.): 13 1/4" x 39 3/8" (337 x 1,000 mm)

- Exposure: 5 5/8" (143 mm)
- Bundles/Square: 3
- Pieces/Square: 64
- StainGuard® Protection: Yes⁴
- Hip/Ridge: Timberline®; Seal-A-Ridge®; Z® Ridge; Ridglass®
- Starter: Pro-Start® & WeatherBlocker™

Installation

Detailed installation instructions are provided on the inside of each bundle wrapper of Timberline HD® Shingles. Installation instructions may also be obtained at gaf.com.

¹Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.

²Refers to shingles sold in Canada only.

³Refer to complete published installation instructions.

⁴StainGuard® Protection applies only to shingles with StainGuard®-labeled packaging. See *GAF Shingle & Accessory Ltd. Warranty* for complete coverage and restrictions.

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

DOUBLE HUNG

| MO (mm) | 1-10 (559) | 2-2 (660) | 2-6 (762) | 2-8 (813) | 2-10 (864) |
|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|
| RO (mm) | 1-10 1/2 (572) | 2-2 1/2 (673) | 2-6 1/2 (775) | 2-8 1/2 (826) | 2-10 1/2 (876) |
| FS (mm) | 1-9 1/2 (546) | 2-1 1/2 (648) | 2-5 1/2 (749) | 2-7 1/2 (800) | 2-9 1/2 (851) |
| DLO (mm) | 1-3 11/16 (398) | 1-7 11/16 (500) | 1-11 11/16 (602) | 2-1 11/16 (652) | 2-3 11/16 (703) |
| 6-4 (1930) | 3-0 (914) | 3-0 (914) | 3-0 (914) | 3-0 (914) | 3-0 (914) |
| 6-0 (1829) | 3-0 (914) | 3-0 (914) | 3-0 (914) | 3-0 (914) | 3-0 (914) |
| 6-0 1/4 (1835) | 3-0 1/4 (921) | 3-0 1/4 (921) | 3-0 1/4 (921) | 3-0 1/4 (921) | 3-0 1/4 (921) |
| 6-3 3/4 (1924) | 2-11 3/4 (908) | 2-11 3/4 (908) | 2-11 3/4 (908) | 2-11 3/4 (908) | 2-11 3/4 (908) |
| 2-9 11/16 (856) | 1-1 11/16 (348) | 1-1 11/16 (348) | 1-1 11/16 (348) | 1-1 11/16 (348) | 1-1 11/16 (348) |
| (S.O. 1-8 x 6-2) | (S.O. 1-8 x 2-10) |
| ELDH2276 | ELDH2236 | ELDH2636 | ELDH3036 | ELDH3236 | ELDH3436 |
| (S.O. 2-0 x 6-2) | (S.O. 2-0 x 3-2) |
| ELDH2676 | ELDH2240 | ELDH2640 | ELDH3040 | ELDH3240 | ELDH3440 |
| (S.O. 2-4 x 6-2) | (S.O. 1-8 x 3-6) |
| ELDH3076 E | ELDH2244 | ELDH2644 | ELDH3044 | ELDH3244 | ELDH3444 |
| (S.O. 2-6 x 6-2) | (S.O. 1-8 x 3-10) |
| ELDH3276 E | ELDH2248 | ELDH2648 | ELDH3048 | ELDH3248 | ELDH3448 |
| (S.O. 2-8 x 6-2) | (S.O. 2-0 x 4-2) |
| ELDH3476 E | ELDH2252 | ELDH2652 | ELDH3052 | ELDH3252 | ELDH3452 |
| (S.O. 1-8 x 5-10) | (S.O. 1-8 x 4-6) |
| ELDH3272 E | ELDH2256 | ELDH2656 | ELDH3056 | ELDH3256 | ELDH3456 |
| (S.O. 2-0 x 5-10) | (S.O. 2-0 x 4-10) |
| ELDH3472 E | ELDH2260 | ELDH2660 | ELDH3060 | ELDH3260 | ELDH3460 |
| (S.O. 2-4 x 5-10) | (S.O. 1-8 x 5-2) |
| ELDH3072 | ELDH2264 | ELDH2664 | ELDH3064 | ELDH3264 | ELDH3464 |
| (S.O. 2-6 x 5-10) | (S.O. 2-0 x 5-2) |
| ELDH3272 E | ELDH2268 | ELDH2668 | ELDH3068 | ELDH3268 E | ELDH3468 E |
| (S.O. 2-8 x 5-10) | (S.O. 2-4 x 5-6) |
| ELDH3472 E | ELDH2272 | ELDH2672 | ELDH3072 | ELDH3272 E | ELDH3472 E |
| (S.O. 1-8 x 6-2) | (S.O. 1-8 x 5-6) |
| ELDH3276 E | ELDH2268 | ELDH2668 | ELDH3068 | ELDH3268 E | ELDH3468 E |
| (S.O. 2-0 x 6-2) | (S.O. 2-0 x 5-6) |
| ELDH3476 E | ELDH2276 | ELDH2676 | ELDH3076 E | ELDH3276 E | ELDH3476 E |
| (S.O. 2-4 x 6-2) | (S.O. 2-4 x 5-2) |
| ELDH3076 E | ELDH2264 | ELDH2664 | ELDH3064 | ELDH3264 | ELDH3464 |
| (S.O. 2-6 x 6-2) | (S.O. 2-6 x 5-2) |
| ELDH3276 E | ELDH2260 | ELDH2660 | ELDH3060 | ELDH3260 | ELDH3460 |
| (S.O. 2-8 x 6-2) | (S.O. 2-8 x 4-10) |
| ELDH3476 E | ELDH2256 | ELDH2656 | ELDH3056 | ELDH3256 | ELDH3456 |
| (S.O. 1-8 x 4-2) | (S.O. 2-0 x 4-6) |
| ELDH3076 E | ELDH2252 | ELDH2652 | ELDH3052 | ELDH3252 | ELDH3452 |
| (S.O. 2-0 x 4-2) | (S.O. 1-8 x 4-2) |
| ELDH3276 E | ELDH2248 | ELDH2648 | ELDH3048 | ELDH3248 | ELDH3448 |
| (S.O. 2-4 x 4-2) | (S.O. 2-0 x 3-10) |
| ELDH3476 E | ELDH2244 | ELDH2644 | ELDH3044 | ELDH3244 | ELDH3444 |
| (S.O. 2-6 x 4-2) | (S.O. 2-6 x 3-6) |
| ELDH3076 E | ELDH2240 | ELDH2640 | ELDH3040 | ELDH3240 | ELDH3440 |
| (S.O. 2-8 x 4-2) | (S.O. 2-6 x 3-2) |
| ELDH3276 E | ELDH2236 | ELDH2636 | ELDH3036 | ELDH3236 | ELDH3436 |
| (S.O. 1-8 x 2-10) | (S.O. 2-8 x 3-2) |
| ELDH3476 E | ELDH2228 | ELDH2628 | ELDH3028 | ELDH3228 | ELDH3428 |

DOUBLE HUNG

| MO (mm) | 3-0 (914) | 3-2 (965) | 3-6 (1067) | 4-0 (1219) | 4-6 (1372) |
|-----------------|-----------------|-----------------|------------------|------------------|-------------------|
| RO (mm) | 3-0 1/2 (927) | 3-2 1/2 (978) | 3-6 1/2 (1080) | 4-0 1/2 (1232) | 4-6 1/2 (1384) |
| FS (mm) | 2-11 1/2 (902) | 3-1 1/2 (953) | 3-5 1/2 (1054) | 3-11 1/2 (1207) | 4-5 1/2 (1359) |
| DLO (mm) | 2-5 11/16 (754) | 2-7 11/16 (805) | 2-11 11/16 (906) | 3-5 11/16 (1059) | 3-11 11/16 (1211) |
| 3-0 (914) | | | | | |
| 3-0 1/4 (921) | | | | | |
| 3-0 1/2 (927) | | | | | |
| 3-0 3/4 (908) | | | | | |
| 3-1 1/16 (348) | | | | | |
| 3-4 (1016) | | | | | |
| 3-4 1/4 (1022) | | | | | |
| 3-3 3/4 (1010) | | | | | |
| 3-3 11/16 (388) | | | | | |
| 3-8 (1176) | | | | | |
| 3-8 1/4 (1124) | | | | | |
| 3-7 3/4 (1111) | | | | | |
| 3-7 11/16 (449) | | | | | |
| 4-0 (1219) | | | | | |
| 4-0 1/4 (1226) | | | | | |
| 4-0 1/2 (1232) | | | | | |
| 4-0 3/4 (1213) | | | | | |
| 4-1 1/16 (500) | | | | | |
| 4-4 (1321) | | | | | |
| 4-4 1/4 (1327) | | | | | |
| 4-3 3/4 (1314) | | | | | |
| 4-3 11/16 (551) | | | | | |
| 4-8 (1422) | | | | | |
| 4-8 1/4 (1429) | | | | | |
| 4-7 3/4 (1416) | | | | | |
| 4-7 11/16 (602) | | | | | |
| 5-0 (1524) | | | | | |
| 5-0 1/4 (1530) | | | | | |
| 5-0 1/2 (1524) | | | | | |
| 5-0 3/4 (1518) | | | | | |
| 5-1 1/16 (652) | | | | | |
| 5-4 (1626) | | | | | |
| 5-4 1/4 (1632) | | | | | |
| 5-3 3/4 (1619) | | | | | |
| 5-3 11/16 (703) | | | | | |
| 5-8 (1727) | | | | | |
| 5-8 1/4 (1734) | | | | | |
| 5-7 3/4 (1721) | | | | | |
| 5-7 11/16 (754) | | | | | |
| 6-0 (1829) | | | | | |
| 6-0 1/4 (1835) | | | | | |
| 6-0 1/2 (1829) | | | | | |
| 6-0 3/4 (1824) | | | | | |
| 6-1 1/16 (805) | | | | | |
| 6-4 (1930) | | | | | |
| 6-4 1/4 (1937) | | | | | |
| 6-3 3/4 (1924) | | | | | |
| 6-3 11/16 (856) | | | | | |

Details and Elevations not to scale.

Special sized units available within and outside of CN matrix. Please contact your Marvin dealer.

Minimum frame size: 17 1/2" x 27 3/4"
 Maximum frame size: 53 1/2" x 83 3/4"

Optional Double Hung GBGs and SDLs are available in a standard Rectangular cut shown. Other available lite cuts shown on page 3.

When ordering 6 9/16" (167 mm) or 6 13/16" (173 mm) jambs, add 1/4" (6 mm) to width and 1/8" (3 mm) to height for Rough Opening, Frame Size and Masonry Opening.

E = These windows meet National Egress Codes for fire evacuation. Local codes may differ.

Available in equal, cottage, and reverse cottage sash configurations. Cottage and reverse cottage sash configurations are not available below CN 36 height and above CN 68 height.

For further details and drawings visit the 'Tools and Documents' section at Marvin.com.

MULTIPLE ASSEMBLIES

Multiple assemblies can be factory mullied.

MAXIMUM ROUGH OPENING not to exceed 113 1/2" x 76 1/4" Maximum up to 5 units wide by 1 unit high.

MAXIMUM ROUGH OPENING not to exceed 84" x 92" Maximum up to 3 units wide by 5 units high.

Field mull kits are available. Structural mullion reinforcement is required for some assemblies.

Please consult your local Marvin representative for more information.

CASEMENT

| MO (mm) | 1-4 1/2 (419) | 1-8 1/2 (521) | 2-0 1/2 (622) | 2-4 1/2 (724) | 2-8 1/2 (826) | 3-0 1/2 (927) |
|------------------|---|---|---|---|---|---|
| RO (mm) | 1-5 (432) | 1-9 (533) | 2-1 (635) | 2-5 (737) | 2-9 (838) | 3-1 (940) |
| FS (mm) | 1-4 (406) | 1-8 (508) | 2-0 (610) | 2-4 (711) | 2-8 (813) | 3-0 (914) |
| DLO (mm) | 0-10 25/32 (274) | 1-2 25/32 (376) | 1-6 25/32 (477) | 1-10 25/32 (579) | 2-2 25/32 (680) | 2-6 25/32 (782) |
| 2-7 3/8 (797) |  |  |  |  |  |  |
| 2-7 5/8 (803) | | | | | | |
| 2-7 1/8 (791) | | | | | | |
| 2-1 29/32 (658) | | | | | | |
| 2-11 3/8 (898) |  |  |  |  |  |  |
| 2-11 5/8 (905) | | | | | | |
| 2-11 1/8 (892) | | | | | | |
| 2-5 29/32 (760) | | | | | | |
| 3-3 3/8 (1000) |  |  |  |  |  |  |
| 3-3 5/8 (1006) | | | | | | |
| 3-3 1/8 (994) | | | | | | |
| 2-9 29/32 (861) | | | | | | |
| 3-7 1/2 (1105) |  |  |  |  |  |  |
| 3-7 3/4 (1111) | | | | | | |
| 3-7 1/4 (1099) | | | | | | |
| 3-2 1/32 (966) | | | | | | |
| 3-11 3/8 (1203) |  |  |  |  |  |  |
| 3-11 5/8 (1210) | | | | | | |
| 3-11 1/8 (1197) | | | | | | |
| 3-5 29/32 (1065) | | | | | | |
| 4-7 3/8 (1406) |  |  |  |  |  |  |
| 4-7 5/8 (1413) | | | | | | |
| 4-7 1/8 (1400) | | | | | | |
| 4-1 29/32 (1288) | | | | | | |
| 4-11 3/8 (1508) |  |  |  |  |  |  |
| 4-11 5/8 (1514) | | | | | | |
| 4-11 1/8 (1502) | | | | | | |
| 4-5 29/32 (1369) | | | | | | |
| 5-3 3/8 (1610) |  |  |  |  |  |  |
| 5-3 5/8 (1616) | | | | | | |
| 5-3 1/8 (1603) | | | | | | |
| 4-9 29/32 (1471) | | | | | | |
| 5-11 3/8 (1813) |  |  |  |  |  |  |
| 5-11 5/8 (1819) | | | | | | |
| 5-11 1/8 (1807) | | | | | | |
| 5-5 29/32 (1674) | | | | | | |

FRENCH DOORS



Door 4621LEFRE (IG) in Fir with Modified Ovolo Sticking



Door 512FRE (SG) in Fir with Modified Ovolo Sticking



Door 46216LTLEFRE (Low-E) in Fir with Ovolo Sticking



Door 5512FRE IG in Fir with Modified Ovolo Sticking



Door 410FRE (SG) in Fir with Ovolo Sticking



Door 5512LEFRE (IG) in Fir with Ovolo Sticking



Door Warranty,
Installation & Care
Information

Please see
pages 30-34



| |
|------------|
| Project |
| Type |
| Ordering # |
| Comments |

Seaside Collection Seaside 1 Light Outdoor Wall Light in Black 9023BK (Black (Painted))

Product Description:

With an aura that is as pure as a sea breeze, the Seaside Collection offers the homeowner a unique line of outdoor fixtures guaranteed to bring a new identity to your home's landscape. For this 1-light Seaside Wall Lantern, aluminum with stainless steel is combined with Kichler's Black finish, resulting in a high quality fit that will look fantastic for years to come. The fixture houses a 150-watt (max.) bulb that provides outstanding outdoor illumination for your landscape. It is 14 1/2" high, is U.L. listed for wet location and is Dark Skies compliant.

Available Finishes

Black (Painted)
Brushed Nickel
Olde Brick
Olde Bronze

Technical Information

| | |
|-------------------|--------------------|
| Lamp Included: | Not Included |
| Weight: | 4LBS |
| Lead Wire Length: | 9" |
| Extension: | 11.5 |
| Safety Rated: | Wet |
| HCWO: | 8.75 |
| Base Backplate: | 4.75"DIA |
| Dual Mount: | No |
| Dark Sky: | Yes |
| Light Source: | Incandescent |
| Socket Base: | Medium |
| Number of Bulbs: | 1 |
| Lamp Type: | A |
| Max Watt: | 150W |
| Width: | 10.25" |
| Height: | 14.25" |
| Overall Height: | " |
| Collection: | Seaside Collection |
| Finish: | Black (Painted) |

314 CHARLES STREET

Request to install (2) two storm doors -
1 on the front and 1 on the rear of the
property. (Contributing, c. 1855)



HISTORIC REVIEW APPLICATION MAJOR REVIEW (HISTORIC REVIEW BOARD)

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org / Website: www.cityofbeaufort.org

Application Fee:
see attached schedule

OFFICE USE ONLY: Date Filed: 5/28/25 Application #: 28861
Zoning District: 74-N

- HAS PROJECT ATTENDED HTRC MEETING? (REQUIRED) YES NO
- IS PROJECT A CONTRIBUTING STRUCTURE?
 - OR NON-CONTRIBUTING STRUCTURE:

FOR A LIST OF CONTRIBUTING OR NON-CONTRIBUTING STRUCTURES, PLEASE SEE:
<https://cityofbeaufort.org/350/Beaufort-County-Historic-Sites-Survey>

APPLICABILITY FOR HISTORIC REVIEW BOARD: Major discretionary review board (HDRB) approval shall apply to applications for Certification of Appropriateness per Section 9.10.2 for the following requests (please check all that apply):

- New building(s) in Historic District
- Changes to exterior materials of Contributing Structures
- Additions to Contributing Structures
- Non-similar roof replacement on Contributing Structures (roof with different materials)
- Window replacements on Contributing Structures
- Major changes to a Contributing or Non-contributing Site
- Demolition
- Other changes to exterior of Contributing Structures

SUBMITTAL REQUIREMENTS: All forms and information shall be submitted digitally + 5 hard copies of all documents. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? No

APPLICANT, PROPERTY, AND PROJECT INFORMATION:

APPLICANT NAME: SCOTT HAUPT AND MARILYN MARINO HUSBAND AND WIFE

APPLICANT ADDRESS: 314 CHARLES STREET BEAUFORT SC 29902

APPLICANT E-MAIL: SCOTTHAUPT16@gmail.com APPLICANT PHONE NUMBER: 410 302 0056
410 302 0056

APPLICANT TITLE: Homeowner Tenant Architect Engineer Developer



**HISTORIC REVIEW APPLICATION
MAJOR REVIEW (HISTORIC REVIEW BOARD)**

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org / Website: www.cityofbeaufort.org

Application Fee:
see attached schedule

OWNER (IF OTHER THAN THE APPLICANT): _____

OWNER ADDRESS: 314 CHARLES STREET BEAUFORT SC 29902

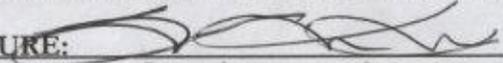
PROPERTY ADDRESS: 314 CHARLES STREET BEAUFORT SC 29902

PROPERTY IDENTIFICATION NUMBER (TAX MAP & PARCEL NUMBER): PIN: R120 004 000 849B 0000

PROVIDE A BRIEF PROJECT NARRATIVE: (Attach any necessary documentation, spec sheets, pictures, paint swatches, etc.):

WE INTEND TO INSTALL STORM DOORS ON THE FRONT AND REAR DOORS OF OUR HOME!
THEY WILL BE CUSTOM MADE DUE TO THE UNIQUE HISTORIC DIMENSIONS. THEY
WILL BE A MAINTENANCE FREE MATERIAL (ALUMINUM), BLACK, FULL GLASS VIEW
SPEC SHEETS ARE ATTACHED, ALSO ATTACHED PLEASE FIND EXAMPLES OF
SIMILAR DOORS ON PROPERTIES IN THE BEAUFORT COUNTY HISTORIC SITES
SURVEY 1997, SEE ATTACHED LIST OF PROPERTIES AND PHOTOS

CERTIFICATION OF CORRECTNESS: I/we certify that the information in this application is correct.

APPLICANT'S SIGNATURE:  DATE: _____
SCOTT HADRUP MARILYN MARNO

OWNER'S SIGNATURE: _____ DATE: _____

(The owner's signature is required if the applicant is not the owner.)

SCHEDULE:

The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. Staff will schedule HRB meeting after HTRC and review of application submittal for completeness and compliance with the Beaufort Preservation Manual and the City of Beaufort Development Code.

CONTACT INFORMATION:

City of Beaufort Community Development Department
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: development@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

Historic Review Application

Re: 314 Charles St

Storm Doors



HISTORIC REVIEW APPLICATION MAJOR REVIEW (HISTORIC REVIEW BOARD)

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org / Website: www.cityofbeaufort.org

Application Fee:
see attached schedule

OFFICE USE ONLY: Date Filed: _____ **Application #:** _____

Zoning District: _____

- **HAS PROJECT ATTENDED HTRC MEETING? (REQUIRED)** YES NO
- **IS PROJECT A CONTRIBUTING STRUCTURE?**
 - **OR NON-CONTRIBUTING STRUCTURE:**

FOR A LIST OF CONTRIBUTING OR NON-CONTRIBUTING STRUCTURES, PLEASE SEE:

<https://cityofbeaufort.org/350/Beaufort-County-Historic-Sites-Survey>

APPLICABILITY FOR HISTORIC REVIEW BOARD: Major discretionary review board (HDRB) approval shall apply to applications for Certification of Appropriateness per Section 9.10.2 for the following requests (please check all that apply):

- New building(s) in Historic District
- Changes to exterior materials of Contributing Structures
- Additions to Contributing Structures
- Non-similar roof replacement on Contributing Structures (roof with different materials)
- Window replacements on Contributing Structures
- Major changes to a Contributing or Non-contributing Site
- Demolition
- Other changes to exterior of Contributing Structures

SUBMITTAL REQUIREMENTS: All forms and information shall be submitted digitally + 5 hard copies of all documents. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

APPLICANT, PROPERTY, AND PROJECT INFORMATION:

APPLICANT NAME: SCOTT HAUPT AND MARILYN MARINO HUSBAND AND WIFE

APPLICANT ADDRESS: 314 CHARLES STREET BEAUFORT SC 29902

APPLICANT E-MAIL: SCOTTHAUPT16@GMAIL.COM **APPLICANT PHONE NUMBER:** 410 302 0056
410 302 0056

APPLICANT TITLE: Homeowner Tenant Architect Engineer Developer



HISTORIC REVIEW APPLICATION MAJOR REVIEW (HISTORIC REVIEW BOARD)

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org / Website: www.cityofbeaufort.org

Application Fee:
see attached schedule

OWNER (IF OTHER THAN THE APPLICANT): _____

OWNER ADDRESS: 314 CHARLES STREET BEAUFORT SC 29902

PROPERTY ADDRESS: 314 CHARLES STREET BEAUFORT SC 29902

PROPERTY IDENTIFICATION NUMBER (TAX MAP & PARCEL NUMBER): PIN: R120 004 000 849B 0000

PROVIDE A BRIEF PROJECT NARRATIVE: (Attach any necessary documentation, spec sheets, pictures, paint swatches, etc.):

WE INTEND TO INSTALL STORM DOORS ON THE FRONT AND REAR DOORS OF OUR HOME!
THEY WILL BE CUSTOM MADE DUE TO THE UNIQUE HISTORIC DIMENSIONS. THEY
WILL BE A MAINTENANCE FREE MATERIAL (ALUMINUM), BLACK, FULL GLASS VIEW
SPEC SHEETS ARE ATTACHED, ALSO ATTACHED PLEASE FIND EXAMPLES OF
SIMILAR DOORS ON PROPERTIES IN THE BEAUFORT COUNTY HISTORIC SITES
SURVEY 1997, SEE ATTACHED LIST OF PROPERTIES AND PHOTOS

CERTIFICATION OF CORRECTNESS: I/we certify that the information in this application is correct.

APPLICANT'S SIGNATURE:  **DATE:** _____
SCOTT HADYT MARILYN MARIE

OWNER'S SIGNATURE: _____ **DATE:** _____

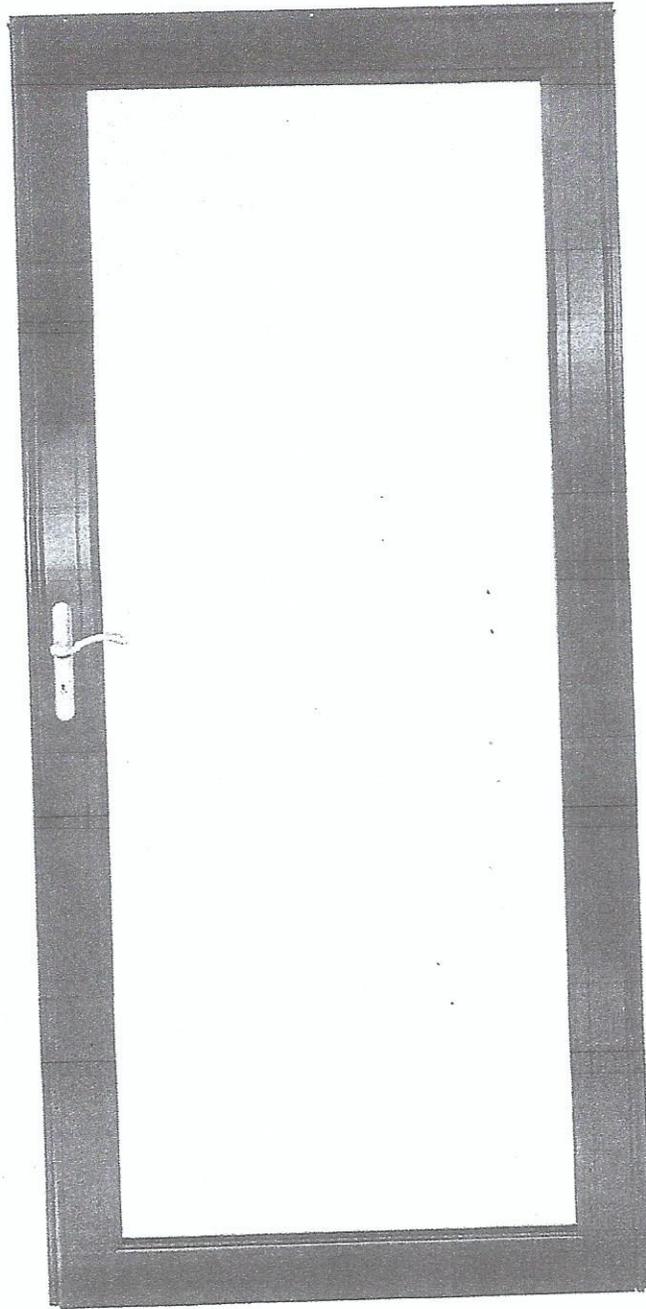
(The owner's signature is required if the applicant is not the owner.)

SCHEDULE:

The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. Staff will schedule HRB meeting after HTRC and review of application submittal for completeness and compliance with the Beaufort Preservation Manual and the City of Beaufort Development Code.

CONTACT INFORMATION:

City of Beaufort Community Development Department
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: development@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606



BLACK FULL VIEW
STORM DOOR
CUSTOM MADE BY ANDESEN

PRODUCT LIMITED WARRANTY

DOOR FRAME: EMCO Enterprises, Inc. (EMCO) warrants the door frame, hinges, and painted finish on Andersen® aluminum storm door products to be free from defects in manufacturing, materials, paint adhesion, or workmanship, under normal use, for as long as the original consumer purchaser owns the home in which the door was initially installed.

COMPONENTS: EMCO warrants the non-glass and non-insect screen fabric components of Andersen® storm doors (including brass and nickel hardware finish and the mechanical functions of balancers, locksets, closers, windows and insect screens) to be free from defects in manufacturing, materials and workmanship for a period of five (5) years from the date of original retail purchase or for as long as the original consumer purchaser owns the home in which the door was initially installed, whichever is shorter. Insulated glass is also warranted for a period of five (5) years not to develop, under normal conditions, any material obstruction of vision resulting from manufacturing defects or as a result of premature failure of the glass or hermetic seal.

In the event a door frame, hinges, insulated glass or a component fails as a result of a defect in manufacturing, materials or workmanship within the limited warranty period specified above, and upon written proof of purchase, EMCO, at its option, will provide a replacement door frame, hinge, insulated glass unit and/or components with-out charge – installation is not included. Such replacement or repair is warranted for the remainder of the original limited warranty period. Please locate the door serial number and written proof of purchase and contact EMCO Consumer Support at 1-800-933-3626. Warranty claims made one (1) year after purchase are subject to a flat processing fee.

“OOPS-PROOF” INSTALLATION LIMITED WARRANTY

EMCO Enterprises, Inc. (EMCO) warrants that any part lost or mis-cut during the original installation of your Andersen storm door will be repaired or replaced at no additional charge within ninety (90) days of the date of original purchase. This limited warranty will not apply if the part has been misused, abused or altered. Cutting parts not specified by the installation guide or mis-drilled parts are not included in this warranty.

In the event a part is lost or mis-cut within the limited warranty period, EMCO, at its option, will provide the appropriate replacement part – installation is not included. Please locate the door serial number and written proof of purchase and contact EMCO Consumer Support at 1-800-933-3626.

GENERAL LIMITED WARRANTY INFORMATION

The limited warranties set forth in this document are the only express warranties (whether written or oral) applicable to Andersen® storm doors, and no one is authorized to modify or expand these limited warranties. All warranty claims must be made during the applicable warranty periods.

ALL IMPLIED WARRANTIES INCLUDING MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE ARE LIMITED TO THE APPLICABLE STATUTE OF LIMITATION, BUT IN NO CASE WILL EXTEND BEYOND THE TERM OF THE LIMITED WARRANTIES SET FORTH ABOVE. EMCO EXCLUDES AND WILL NOT PAY FOR INCIDENTAL OR CONSEQUENTIAL DAMAGES, WHETHER ARISING OUT OF CONTRACT, TORT OR OTHERWISE, AND ITS LIABILITY WILL IN ALL INSTANCES BE LIMITED TO THE REPAIR OR REPLACEMENT OF THE DEFECTIVE PRODUCT.

Some states do not allow the exclusion of incidental and consequential damages, or limitation of the duration of an implied warranty, so the above limitations or exclusions may not apply to you.

This limited warranty gives you specific legal rights, and you may also have other rights that may vary from state to state and in Canada.

What is NOT covered by this limited warranty: damage caused by 1) improper installation, maintenance, or use; 2) chemicals or airborne pollutants, such as salt or acid rain; 3) acts of God, including wind damage; 4) products not manufactured by EMCO

Re: Historic Review Application
Major Review (Historic Review Board)
314 Charles St - Strom Doors

The following are photos of houses in the Beaufort Historic District that we believe to be aluminum and full view, similar to our intentions to install – full view black frame.

White Full view Strom Door:
1609 North Ave
1411 Bay St
1207 Bay St

We currently have original windows, shutters and siding. We are hoping that you will consider this maintenance free item that is not a permanent install.

Also attached is a photo of the subject property – 314 Charles St.

Thank you,
Scott Haupt
Marilyn Marino
Owners



1609

1609 NORTH AVE



1411 BAY ST



1207

1207 BAY ST

314

SUBJECT
314 CHARLES ST.





STAFF REPORT: Historic District Review Board (HRB)

314 CHARLES STREET

DATE: June 11, 2025

GENERAL INFORMATION

| | |
|----------------------------------|--|
| Applicant: | Scott Haupt & Marilyn Marino (Homeowners) |
| Site Address / Tax PIN: | 314 Charles Street; R120 004 000 847B 0000 |
| Applicant's Request: | Applicants are requesting approval to install two (2) storm doors - 1 on the front and 1 on the rear door of their home. Custom made (due to the unique historic dimensions), aluminum material, solid black, full glass view. |
| Current Zoning: | T4-NEIGHBORHOOD DISTRICT (T4-N) |
| Contributing/Neighborhood | Contributing - The Bluff (ca. 1855) - Sarah Gibbes Barnwell House |
| Flood Zone/Base Flood | Flood Zone SX, Elevation: 8'-9' |
| Existing Trees | No Specimen/Landmark trees are affected by this request. |

ZONING DISTRICT INFORMATION

T4-HISTORIC NEIGHBORHOOD DISTRICT (T4-N)

| | |
|--------------------------------|--|
| Lot Width at Setback: | N/A |
| Minimum Lot Size: | N/A |
| Max Lot Coverage: | 70% of lot area (This percentage indicates maximum lot coverage by roofs; total impervious coverage may be an additional 10%. Parcels may also be subject to Section 8.3 - Stormwater) |
| Min. Frontage Build Out | 60% min; 85% max |
| Front Setback | 0 ft -15 ft |
| Side Setback | Corner: 0 ft - 10 ft; Interior: 5 ft min., 0 ft if attached |
| Rear Setback | 10 ft min; from alley: 0 ft. |
| Building Height: | Primary: 4 stories max; 3.5 stories max in & fronting Historic District & interior lots along Allison Rd Accessory: 2 stories / 30 ft max |

SURROUNDING ZONING, LAND USE AND REQUIRED BUFFERS

| <u>Adjacent Zoning</u> | <u>Adjacent Land Uses</u> | <u>Setbacks for Adjacent Zoning /Buffer required if rezoned</u> |
|------------------------|--|---|
| North: T4-N | 1001 Craven St (1-1/2 story brick veneer office building, noncontributing, ca. 1975) | N/A |
| South: T4-N | 310 Charles St (Vacant lot) | N/A |
| East: T5-DC | 918 Craven St (Parking lot) | N/A |
| West: T4-N | 310 Charles St (Vacant lot) | N/A |

PROJECT TIMELINE

| |
|---|
| <ul style="list-style-type: none"> 5/14/25: Attended HTRC Meeting 5/28/25: Submitted HRB Application Form 6/11/25: HRB Meeting |
|---|

Background: The applicants are requesting approval to install two (2) storm doors - 1 on the front and 1 on the rear door of their home. The proposed storm doors are custom made specifically for this property by Anderson, due to the unique historic dimensions of the door. The proposed storm doors are constructed of aluminum, to be painted black, with a full glass view. **The applicants have been to one (1) HTRC Meeting on May 14th, 2025.**

Tree Removal Proposed:

No Specimen/Landmark trees are affected by this request.

Surrounding Area:

The property lies on the southwest corner of Craven St and Charles St, within The Bluff neighborhood of the Historic District. The property is classified as a contributing structure, with the surrounding properties mainly being vacant/open space, with an office building north of the property, across Craven St.

Determination of adequate historic integrity for New Construction, Infill, Additions and Demolition:

As per the Beaufort Preservation Manual (Chapter 5) and the Beaufort Development Code (Section 4.7), the compatibility of new infill construction as well as major renovations within Beaufort Historic District is determined in consideration with the following principles: **1. Location, 2. Design, 3. Setting, 4. Materials, 5. Workmanship, 6. Feeling and 7. Association.** See detailed staff analysis and recommendations in table below.

| <u>4.7.2 Integrity Guidelines (as per Beaufort Development Code)</u> | <u>Rationale Present</u> | <u>Staff Analysis of Rationale</u> |
|---|---------------------------------|--|
| 1. Location: This is the relationship between the property and its historical context. | YES | ✓ 314 Charles Street is located within the Bluff neighborhood of the Historic District. Staff believes the proposal would not impact the relationship between the property and its historical context within the area. |
| 2. Design: This is the combination of elements that create the feeling of a district or structure. These elements include building patterns, streetscapes, site elements, building size, mass and scale, spatial relationships, and specific architectural elements and details. | YES | ✓ Staff believes the proposal will not alter the streetscape, nearby site elements, or the spatial relationship with nearby buildings. |
| 3. Setting: This is the physical environment of a property and should be evaluated on its context as well as on the historical role the property has played and continues to play. Important features include topography, vegetation, man-made | YES | ✓ Staff believes the relationship between the house and the historic setting of the neighborhood are not impacted by the proposal. |

| | | |
|--|------------|--|
| features, and relationships between existing structures and their surroundings. | | |
| 4. Materials: These are the physical elements that make up a property or district. | NO | ✗ Per the preservation manual, the proposed material (aluminum) is not an appropriate material for historic homes. |
| 5. Workmanship: This is the physical evidence of the crafts of a particular culture or time period. This particularly applies to rehabilitation projects, but for new infill projects, workmanship of surrounding structures should be considered and respected. | YES | ✓ Staff believes the workmanship of the existing house as well as the surrounding structures will not be impacted by the proposal. |
| 6. Feeling: This is the property's expression of the aesthetic or historic sense of a particular period of time. This particularly applies to rehabilitation projects, but for new infill projects, the feeling of surrounding structures should be considered and respected. | YES | ✓ Staff believes the feeling of the existing house as well as the surrounding structures will not be impacted by the proposal. |
| 7. Association: This is the direct link between an important historic event or person and a property. | YES | ✓ Staff believes the association between Sarah Gibbes Barnwell and the house will not be impacted by the proposal. |

FINDINGS AND RECOMMENDATIONS

Staff Recommendation: Staff recommends APPROVAL of the storm doors, in that it satisfies the intent of the Beaufort Preservation Manual and requirements of the Beaufort Code, with the following condition:

- 1. Applicants switch to a wood storm door instead of aluminum. (Wood storm door may require a locking rail be added for stability).**

914 NEWCASTLE STREET

Request for construction of a new
single-family residence
(Non-Contributing)



HISTORIC REVIEW APPLICATION MAJOR REVIEW (HISTORIC REVIEW BOARD)

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org / Website: www.cityofbeaufort.org

Application Fee:
see attached schedule

Pol. 64

OFFICE USE ONLY: Date Filed: 5-27-25

Application #: 28859

Zoning District: T4-HN

- HAS PROJECT ATTENDED HTRC MEETING? (REQUIRED) YES NO
- IS PROJECT A CONTRIBUTING STRUCTURE? **COMPLETED 03/05/25**
 - OR NON-CONTRIBUTING STRUCTURE:

FOR A LIST OF CONTRIBUTING OR NON-CONTRIBUTING STRUCTURES, PLEASE SEE:
<https://cityofbeaufort.org/350/Beaufort-County-Historic-Sites-Survey>

APPLICABILITY FOR HISTORIC REVIEW BOARD: Major discretionary review board (HDRB) approval shall apply to applications for Certification of Appropriateness per Section 9.10.2 for the following requests (please check all that apply):

- New building(s) in Historic District
- Changes to exterior materials of Contributing Structures
- Additions to Contributing Structures
- Non-similar roof replacement on Contributing Structures (roof with different materials)
- Window replacements on Contributing Structures
- Major changes to a Contributing or Non-contributing Site
- Demolition
- Other changes to exterior of Contributing Structures

SUBMITTAL REQUIREMENTS: All forms and information shall be submitted digitally + 5 hard copies of all documents. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

APPLICANT, PROPERTY, AND PROJECT INFORMATION:

APPLICANT NAME: MEGAN CHANCELLOR CRUMRINE

APPLICANT ADDRESS: PO BOX 17, BEAUFORT, SC 29901

APPLICANT E-MAIL: MEGAN@CHANCELLORDESIG APPLICANT PHONE NUMBER: 406-579-1925

APPLICANT TITLE: Homeowner Tenant Architect Engineer Developer
Designer



**HISTORIC REVIEW APPLICATION
MAJOR REVIEW (HISTORIC REVIEW BOARD)**

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org / Website: www.cityofbeaufort.org

Application Fee:
see attached schedule

OWNER (IF OTHER THAN THE APPLICANT): SHAWN + CHRISTINA KEARNS

OWNER ADDRESS: 195 E SIDE DRIVE, ALTON BAY, NH 03810

PROPERTY ADDRESS: 914 NEWCASTLE STREET, BEAUFORT, SC 29902

PROPERTY IDENTIFICATION NUMBER (TAX MAP & PARCEL NUMBER): R120 004 000 0279 0000

PROVIDE A BRIEF PROJECT NARRATIVE: (Attach any necessary documentation, spec sheets, pictures, paint swatches, etc.):

New, custom home--please see included drawings.

CERTIFICATION OF CORRECTNESS: I/we certify that the information in this application is correct.

APPLICANT'S SIGNATURE: *Megan Chancellor Crumrine* DATE: 02/20/2025

OWNER'S SIGNATURE: *[Signature]* DATE: 2/20/2025

(The owner's signature is required if the applicant is not the owner.)

SCHEDULE:

The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. Staff will schedule HRB meeting after HTRC and review of application submittal for completeness and compliance with the Beaufort Preservation Manual and the City of Beaufort Development Code.

CONTACT INFORMATION:

City of Beaufort Community Development Department
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: development@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

City of Beaufort Certificate of Appropriateness Checklists

Submission Requirements for New Construction and Alterations or Additions

Please submit DIGITAL FILES ONLY via email to: development@cityofbeaufort.org

*Initial submittals should show existing and proposed conditions. For all subsequent submittals, architectural drawings should show and clearly label existing conditions, the previous proposal, and the current proposed. Each version of the same drawing should be adjacent to the others in the application for easy review.

***This Application Requirements Checklist MUST be included in applications, with submitted items checked.**

Conceptual Review

- Existing Context:** Color photographs of the existing structure and the adjacent structures.
- Plat:** A plat indicating the tax map and parcel number, existing structure(s), setbacks, existing trees, and proposed construction footprint.
- Site Plan:** A site plan, to scale, indicating the location of the existing structure on the lot, proposed new structure, any site modifications (parking, paths, landscaping, tree removal, etc...), any new or existing mechanical equipment and screening area, and percentage of the total impervious paving. The plan should also include any connections to the public right of way (street and/or sidewalk), and grade elevations of the street and/or sidewalk and the proposed construction at the first floor.
- Design:** One or more drawings that convey the intent of the proposal. This may include: floor plans, elevations, and building sections. They should display massing and scale of new construction and how it relates to the existing structure or surrounding context. For new construction and additions, this drawing should include a street elevation and/or a street section showing height and width relationships to existing adjacent buildings.
- 3-D Rendering:** A 3-D rendering, or physical scale model, showing the height, mass and scale of the proposed building in its context is required for all structures except single-family and 2-3 unit residential buildings.
- Pre-Application Conference:** A Pre-application conference is required for all commercial new construction and substantial commercial renovation projects. The requirement for an Archeological Impact Assessment will be determined at this meeting.

Preliminary Review: All the documents required for Conceptual Review, PLUS:

- Floor Plans:** Proposed floor plans of all levels of the building, including square footage. For Alterations or Additions, existing conditions drawings of the floor plan are also required, showing the area and square footage affected by the addition.
- Elevations:** Elevation drawings of all sides of the building, including heights – height above grade, floor-to-floor heights, eave height and ridge height (if applicable). For Alterations or Additions, existing conditions drawings of all four elevations are also required.
- Color Rendering:** A colored version of at least one elevation, noting proposed materials and colors.
- Additional on-site representation, such as a height story pole, and corner staking of the foundation, may be required.
- A Certified Arborist report may be required if grand trees are affected by the project.

Final Review: All the documents required for Preliminary Review, PLUS:

- Details:** A typical wall section(s), window details, door details, eave details, porch details, and any other details characteristic to the building are required.
- Material Samples and Cut Sheets:** Applicant to submit cut sheets for all exterior building materials, to include roof and typical roof details, doors, windows, dryer vents, exterior lighting, etc. Samples of windows, lighting and building materials may be required at Staff's discretion.
- Final Materials List:** A final list, including colors, is required.
- Landscaping Plan:** A landscaping plan is required for commercial projects. It shall include a schedule detailing materials and colors of all plants and landscape materials, all existing trees, with the trees to be removed noted, existing and proposed grading, and any exterior lighting proposed.

**CHANCELLOR
ATELIER LLC**

PO BOX 17
BEAUFORT, SC 29901
406.579.1925
CHANCELLORA.COM

DRAWING INDEX

- T1 Title Sheet
- C1 Existing Context
- C2 Plat
- C3 Site Plan
- S0 Foundation Plan
- A1 First Floor Plan
- A2 Second & Apartment Floor Plans
- A3 Roof Plan
- A4 Elevations + Rendering
- A5 Elevations + Street Section
- A6 Building Sections
- A7 Building Sections
- A8 Wall Sections
- A9 Details
- E1 First Floor Electrical
- E2 Second Floor Electrical



KEARNS RESIDENCE

914 NEWCASTLE STREET
BEAUFORT, SOUTH CAROLINA 29902

**KEARNS
RESIDENCE**

914 Newcastle Street
Beaufort, SC 29902

| WINDOW SCHEDULE | | | | | | | |
|-----------------|-------|---------------|--------------|--------------------------|-------------|-------------|-------------|
| Type Mark | Count | Rough Opening | | Manufacturer | Model | Operation | Head Height |
| | | Width | Height | | | | |
| 01 | 6 | 2' - 11 1/2" | 5' - 11 3/4" | Marvin Windows and Doors | ELDH3672 | Double Hung | 8' - 0" |
| 02 | 6 | 2' - 11 1/2" | 5' - 7 3/4" | Marvin Windows and Doors | ELDH3668 | Double Hung | <varies> |
| 03 | 7 | 2' - 4" | 2' - 7 1/8" | Marvin Windows and Doors | ELCA2931 | Casement | <varies> |
| 04 | 2 | 2' - 1" | 2' - 2 1/8" | Marvin Windows and Doors | ELAWN4935 | Awning | 8' - 0" |
| 05 | 4 | 2' - 11 1/2" | 6' - 3 3/4" | Marvin Windows and Doors | ELDH3676 | Double Hung | 8' - 0" |
| 07 | 3 | 2' - 11 1/2" | 4' - 11 3/4" | Marvin Windows and Doors | ELDH3660 | Double Hung | 8' - 0" |
| 08 | 2 | 2' - 5 1/2" | 6' - 3 3/4" | Marvin Windows and Doors | ELDH3076 | Double Hung | 8' - 0" |
| 09 | 1 | 2' - 5 1/2" | 3' - 11 3/4" | Marvin Windows and Doors | ELDH3048 | Double Hung | 6' - 4" |
| 10 | 2 | 2' - 8" | 3' - 11 1/8" | Marvin Windows and Doors | ELAWN4935 | Awning | 6' - 0" |
| 11 | 1 | 2' - 0" | 2' - 0" | Marvin Windows and Doors | ELDRECT3616 | Fixed | 7' - 6" |

| DOOR SCHEDULE | | | |
|---------------|-----------|-----------|------------|
| Door Number | Door Type | Door Size | Notes |
| 2a | 85 | ELIFD3065 | w/ Transom |
| 4a | 71 | 28" x 96" | |
| 5a | 86 | ELOFD5065 | w/ Transom |
| 8a | 85 | ELIFD3065 | w/ Transom |
| 8b | 02 | 32" x 96" | |
| 9a | 02 | 32" x 96" | |
| 10a | 66 | 32" x 96" | |
| 11a | 63 | 28" x 96" | |
| 12a | 74 | 24" x 96" | |
| 13a | 63 | 28" x 96" | |
| 14a | 85 | ELIFD3065 | w/ Transom |
| 14b | 62 | 8' x 8' | |
| 14c | 62 | 8' x 8' | |
| 14d | 88 | 36" x 96" | |
| 16a | 88 | 36" x 96" | |
| 18a | 66 | 32" x 96" | |
| 19a | 74 | 24" x 96" | |
| 20a | 66 | 32" x 96" | |
| 21a | 77 | 60" x 96" | |
| 23a | 74 | 24" x 96" | |
| 24a | 66 | 32" x 96" | |
| 28a | 63 | 28" x 96" | |
| 29a | 66 | 32" x 96" | |
| 30a | 63 | 28" x 96" | |
| 30b | 85 | ELIFD3065 | w/ Transom |
| 30c | 63 | 28" x 96" | |
| 30d | 66 | 32" x 96" | |

| CODE REVIEW | | |
|---|--|----------------|
| Zone: | T4-HN | |
| Max Lot Coverage by roofs: | 55% of Lot Area | (51% Proposed) |
| Max Lot Coverage for additional pervious (driveway): | 10% of Lot Area | (8% Proposed) |
| Frontage Build Out %: | 75% Max | (73% Proposed) |
| Front Setback: | Average Prevailing Setback on Block | (15' Proposed) |
| Side Setback (Corner/Alley): | 5' | |
| Side Setback (Interior): | 6' | |
| Rear Setback From Alley: | Garage Doors Shall Be 15' Min. From Alley Centerline and 0' For All Others | |
| Accessory Building Height: | 2 Stories or 30' Max | |
| The finished ground floor height for residential structures shall be elevated a min. of 2 feet above the average adjacent sidewalk grade or adjacent street grade where no sidewalk present | | |

| AREA SCHEDULE | |
|----------------------|---------|
| FIRST FLOOR PLAN | 1328 SF |
| SECOND FLOOR PLAN | 901 SF |
| | 2229 SF |
| APARTMENT FLOOR PLAN | 624 SF |
| | 624 SF |
| TOTAL HEATED SF | 2853 SF |

This plan has been prepared to meet top professional standards and practices; however, building codes and environmental conditions vary at different locations. Before construction begins, the contractor is required to:

- Verify all dimensions prior to proceeding with construction and report any discrepancy to the designer before proceeding.
- Verify all dimensions and locations of existing structures and utilities.
- Plans indicate locations only, engineering aspects should incorporate actual site conditions.
- HVAC and plumbing layouts are not included. These should be obtained by a local mechanical contractor or engineer to ensure compliance with local codes and that equipment is sized correctly for the particular region and conditions.
- Verify all structural elements with local licensed engineer.

The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual art under the 1976 Copyright Act. It is an exclusive work of original authorship. None of the pictorial graphic or technical details or drawings appearing on this sheet may be reproduced by any method, including tracing or photocopying, without the express prior written permission of the author. Title and ownership remains with the author and shall not be used for any purpose without the express prior written permission of the author. Title and ownership remains with the author without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions. All drawings and specifications are the property of the designer and must be returned upon request.

ALL RIGHTS RESERVED. Copyright ©2025 Chancellor Atelier LLC.

Title Sheet

Project number 24106
Date 05/27/2025
Drawn by MCC

T1

Scale 1/4" = 1'-0"

PROPOSED SITE: 914 NEWCASTLE STREET



1101/1103 GREENE STREET



VIEW FROM GREENE STREET



VIEW FROM NEWCASTLE STREET



1011 GREENE STREET



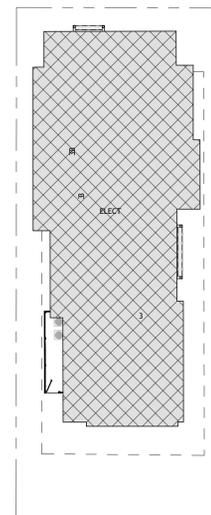
1104 GREENE STREET



WASHINGTON STREET PARK



902 NEWCASTLE STREET



IMPERVIOUS COVERAGE CALCULATIONS

PROPERTY: 5,918 SF
 ROOF COVERAGE: 3,062 SF
 IMPERVIOUS SURFACES = 52%
 IMPERVIOUS ALLOWED = 55%

AVERAGE PREVAILING SETBACK

FROM CENTER OF ROW = 35'
 FROM PROPERTY LINE = 5'-5"

② SITE PLAN - Impervious Coverage
 1" = 20'-0"



① SITE PLAN - Setbacks
 1" = 50'-0"

CHANCELLOR
 ATELIER LLC

PO BOX 17
 BEAUFORT, SC 29901
 406.579.1925
 CHANCELLORA.COM

KEARNS
 RESIDENCE

914 Newcastle Street
 Beaufort, SC 29902

This plan has been prepared to meet top professional standards and practices; however, building codes and environmental conditions vary at different locations. Before construction begins, the contractor is required to:

- Verify all dimensions prior to proceeding with construction and report any discrepancy to the designer before proceeding.
- Verify all structural elements with local licensed engineer.
- Plans indicate locations only, engineering aspects should incorporate actual site conditions.
- HVAC and plumbing layouts are not included. These should be obtained by a local mechanical contractor or engineer to ensure compliance with local codes and that equipment is sized correctly for the particular region and conditions.
- Verify all structural elements with local licensed engineer.

The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual art under the 1978 Copyright Act. It is an exclusive work of original authorship. None of the photos, graphics or technical details or drawings appearing on this sheet may be reproduced by any method, including tracing or photocopying, without the express written permission of the author. Title and ownership remains with the author. No part of this drawing shall be used or re-used for any purpose without the express prior written permission of the author. Title and ownership remains with the author without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions. All drawings and specifications are the property of the designer and must be returned upon request.

ALL RIGHTS RESERVED. Copyright ©2025 Chancellor Atelier LLC.

Existing Context

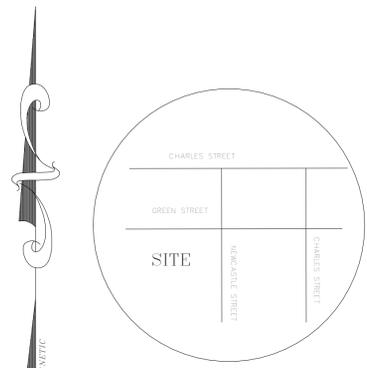
| | |
|----------------|------------|
| Project number | 24106 |
| Date | 05/27/2025 |
| Drawn by | MCC |

C1

Scale As indicated

**CHANCELLOR
ATELIER LLC**

PO BOX 17
BEAUFORT, SC 29901
406.579.1925
CHANCELLORA.COM



LOCATION MAP (Not To Scale)

LEGEND

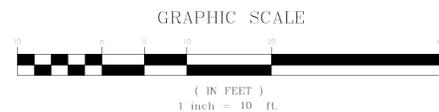
- IP(O) = OLD IRON PIPE FOUND
- CM(O) = OLD CONCRETE MONUMENT FOUND
- RB(N) = NEW REBAR SET 1/2" DIA.
- CI(O) = OLD CRIMP TOP IRON PIPE
- IP(N) = NEW CRIMP TOP IRON PIPE FOUND
- RB(O) = OLD REBAR FOUND
- P.P. = POWER POLE
- O.H.P. = OVERHEAD POWER LINES
- △ = CALCULATED POINT
- ⊗ = TREE TO BE REMOVED

GENERAL NOTES:

- 1.) PRESENT OWNER OF PROPERTY SHOWN HEREON: SHAWN & CRISTINA KEARNS
- 2.) TOTAL ACRES SURVEYED AND SHOWN HEREON: AS SHOWN
- 3.) ACREAGE DETERMINED BY RECTANGULAR COORDINATES.
- 4.) TOWN # 120-04-278
- 5.) IT IS EXPRESSLY UNDERSTOOD THAT CHRISTENSEN SURVEYING CO. DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF ANY FRESHWATER WETLANDS ON THE PROPERTY SHOWN HEREON.
- 6.) THE BEARINGS SHOWN HEREON ARE MAGNETIC AND AS SUCH SUBJECT TO LOCAL ATTRACTION.
- 7.) PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE "X" (N/A) PER FEMA MAP PANEL 45013C-0158-G DATED: MARCH 23, 2021

REFERENCE PLATS & DEEDS

- 1.) DEED 4298/968
- 2.) PLAT BK 157/78



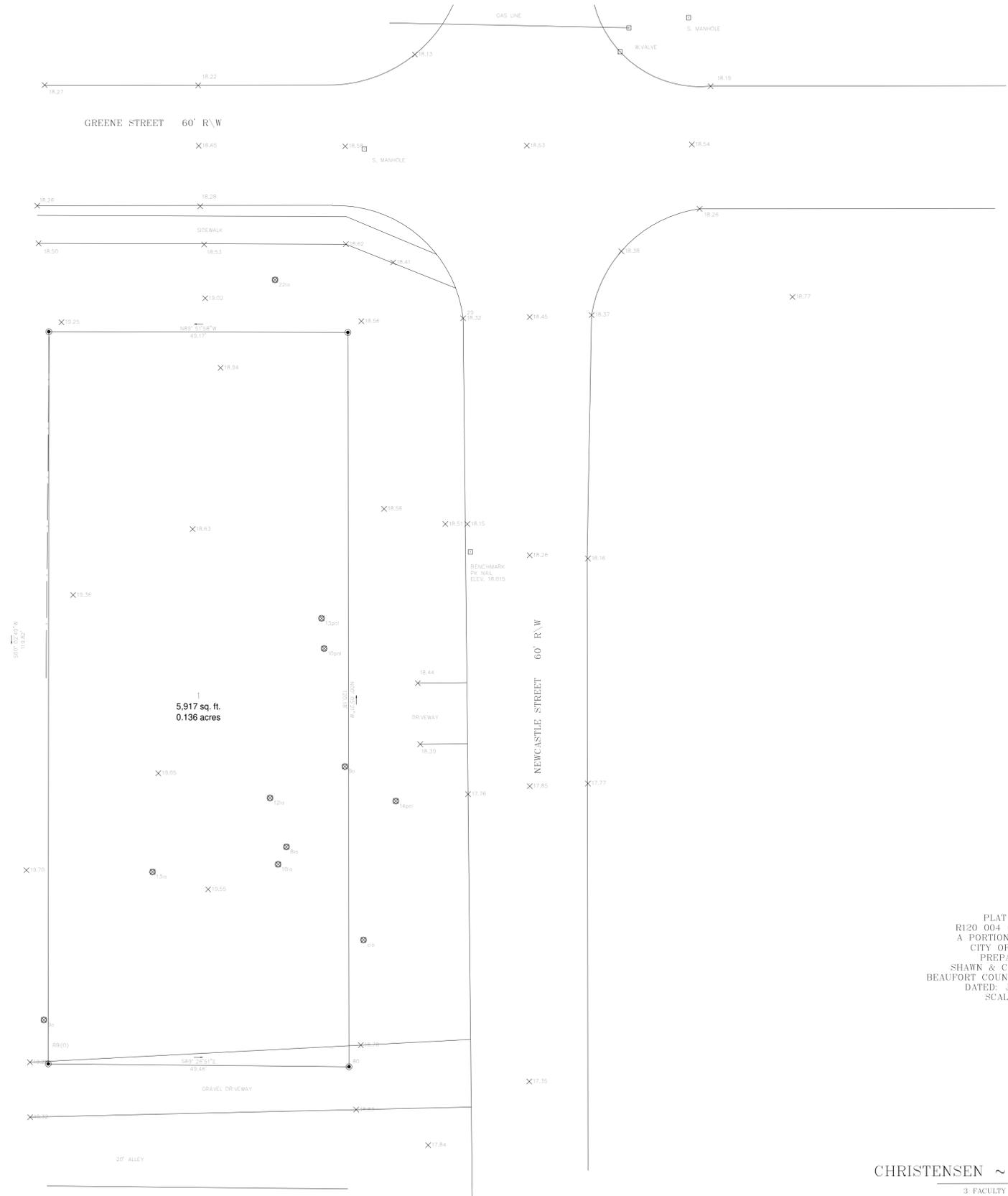
CERTIFICATION:

I, ZYAD A. KHALIL, HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "B" SURVEY AS SPECIFIED THEREIN;



ZYAD A. KHALIL RLS
S.C. REG. NO. 15176

[THIS SURVEY IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE AND AN EMBOSSED SEAL]



| CODE | COMMON NAME | BOTANICAL NAME |
|------|--------------------|-------------------------|
| LOP | LODGEPOLE PINE | PINUS TAEDA |
| LP | LONGLEAF PINE | PINUS PALUSTRIS |
| SLP | SLASH PINE | PINUS ELIOTTI |
| BCY | BOLD CYPRESS | TAXODIUM DISTICHUM |
| PCP | CARRAGE PALMETTO | SABAL PALMETTO |
| WTO | WHITE OAK | QUERCUS ALBA |
| LO | LIVE OAK | QUERCUS VIRGINIANA |
| SRD | SOUTHERN RED OAK | QUERCUS FALCATA |
| NRO | NORTHERN RED OAK | QUERCUS RUBRA |
| WO | WATER OAK | QUERCUS NIGRA |
| WDO | WILLOW OAK | QUERCUS PHellos |
| LA | LAUREL OAK | QUERCUS LAURIFOLIA |
| S | SHEET OAK | LIQUIDAMBAR STYRACIFLUA |
| SM | SOUTHERN MAGNOLIA | MAGNOLIA GRANDIFLORA |
| FDW | FLOWERING DOGWOOD | CORNUS FLORIDA |
| BN | BLACK WALNUT | JUGLANS NERA |
| SHH | SHAGBARK HICKORY | CARYA OVATA |
| MKH | MOCHESSNET HICKORY | CARYA TOMENTOSA |
| PH | PIGNUT HICKORY | CARYA GLABRA |
| RM | RED MAPLE | ACER RUBRUM |
| ALM | AMERICAN ELM | ULMUS AMERICANA |
| AMS | AMERICAN SYCAMORE | PLATANUS OCCIDENTALIS |
| SR | SUCKERBERRY | CELTIS LAEVIGATA |
| BCR | BLACK CHERRY | PRUNUS SEROTINA |
| SAS | SASSAFRAS | SASSAFRAS ALBIDUM |

PLAT SHOWING
R120 004 000 0279 0000
A PORTION OF BLOCK B5
CITY OF BEAUFORT,
PREPARED FOR:
SHAWN & CRISTINA KEARNS
BEAUFORT COUNTY, SOUTH CAROLINA
DATED: JUNE 9, 2024
SCALE: 1" = 10'

CHRISTENSEN ~ KHALIL SURVEYORS, INC.
3 FACULTY DRIVE, BEAUFORT SC 29907
(843) 524-4148

**KEARNS
RESIDENCE**
914 Newcastle Street
Beaufort, SC 29902

This plan has been prepared to meet top professional standards and practices; however, building codes and environmental conditions vary at different locations. Before construction begins, the contractor is required to:

- Verify all dimensions prior to proceeding with construction and report any discrepancy to the designer before proceeding.
- Verify all utility locations and depths.
- HVAC and plumbing layouts are not included. These should be obtained by a local mechanical contractor or engineer to ensure compliance with local codes and that equipment is sized correctly for the particular region and conditions.
- Verify all structural elements with local licensed engineer.

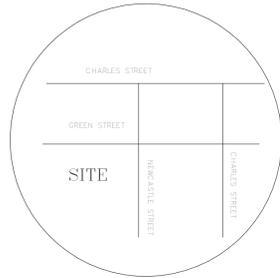
The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual art under the 1976 Copyright Act. It is an exclusive work of original authorship. None of the pictorial graphics or technical details or drawings depicted on this sheet may be reproduced by any method, including tracing or photocopying, without the prior written permission of the author. Title and ownership remains with the author. These plans shall be used or re-used for any purpose without the express prior written permission of the author. Title and ownership remains with the author without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions. All drawings and specifications are the property of the designer and must be returned upon request.

ALL RIGHTS RESERVED. Copyright ©2025 Chancellor Atelier LLC.

| Plat | |
|----------------|-------------|
| Project number | 24106 |
| Date | 05/27/2025 |
| Drawn by | MCC |
| C2 | |
| Scale | 1" = 10'-0" |

**CHANCELLOR
ATELIER LLC**

PO BOX 17
BEAUFORT, SC 29901
406.579.1925
CHANCELLORA.COM



LOCATION MAP (Not To Scale)

LEGEND

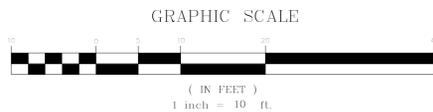
- IP(O) = OLD IRON PIPE FOUND
- CM(O) = OLD CONCRETE MONUMENT FOUND
- RB(N) = NEW REBAR SET 1/2" DIA.
- CI(O) = OLD CRIMP TOP IRON PIPE
- OE(O) = OLD OPEN END IRON PIPE FOUND
- RB(O) = OLD REBAR FOUND
- P- = POWER POLE
- O.H.P. = OVERHEAD POWER LINES
- ▲ = CALCULATED POINT
- ⊗ = TREE TO BE REMOVED

GENERAL NOTES:

- 1.) PRESENT OWNER OF PROPERTY SHOWN HEREON: SHAWN & CRISTINA KEARNS
- 2.) TOTAL ACRES SURVEYED AND SHOWN HEREON: AS SHOWN
- 3.) ACREAGE DETERMINED BY RECTANGULAR COORDINATES.
- 4.) TMN # 120-04-278
- 5.) IT IS EXPRESSLY UNDERSTOOD THAT CHRISTENSEN SURVEYING CO. DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF ANY FRESHWATER WETLANDS ON THE PROPERTY SHOWN HEREON.
- 6.) THE BEARINGS SHOWN HEREON ARE MAGNETIC AND AS SUCH SUBJECT TO LOCAL ATTRACTION.
- 7.) PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE "X" (N/A) PER FEMA MAP PANEL 45013C-0158-G DATED: MARCH 23, 2021

REFERENCE PLATS & DEEDS

- 1.) DEED 4298/968
- 2.) PLAT BK 157/78



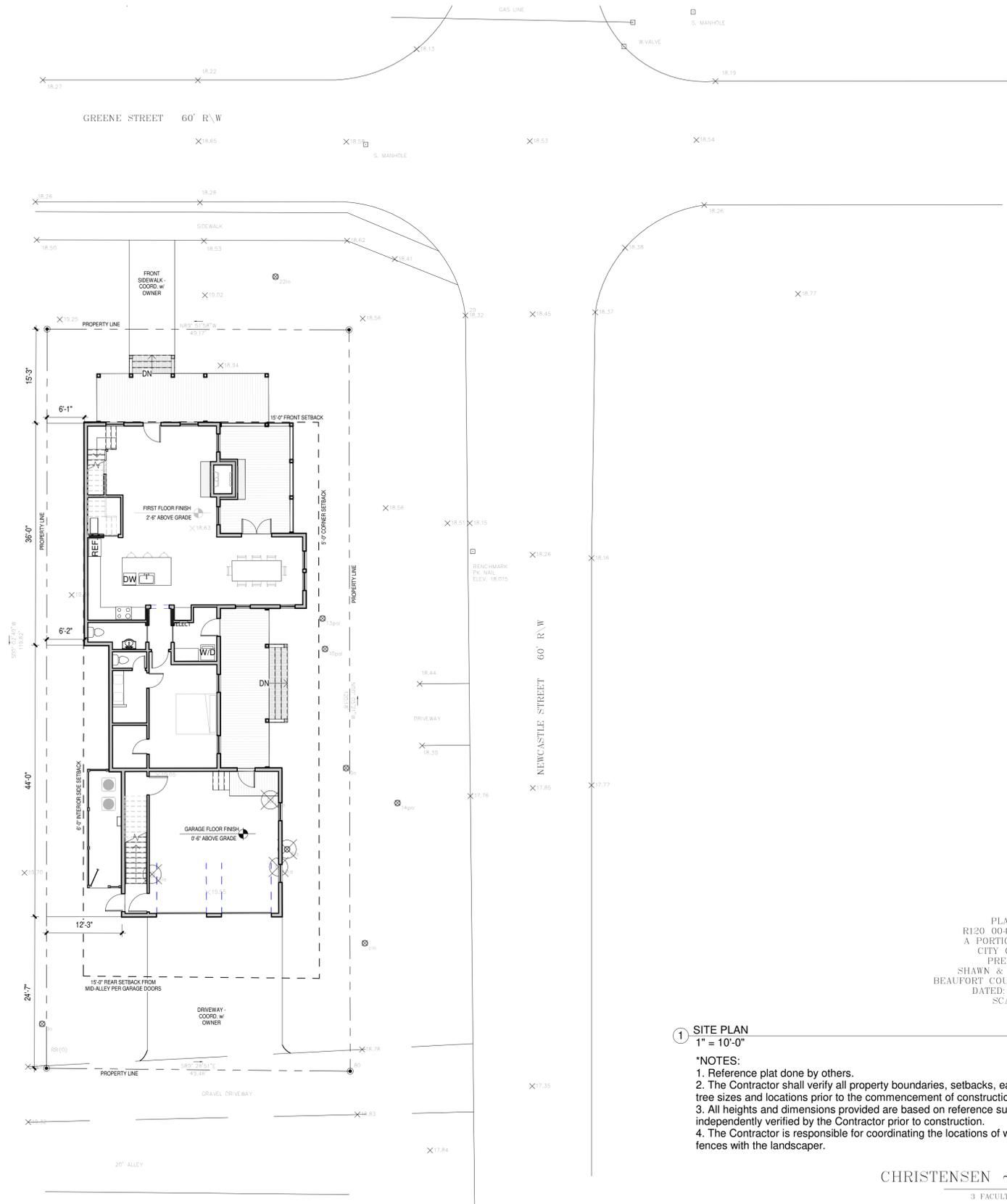
CERTIFICATION:

I, ZYAD A. KHALIL, HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "B" SURVEY AS SPECIFIED THEREIN;



ZYAD A. KHALIL RLS
S.C. REG. NO. 15176

[THIS SURVEY IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE AND AN EMROSSED SEAL]



| TREE LEGEND | | |
|-------------|---------------------|-----------------------|
| CODE | COMMON NAME | BOTANICAL NAME |
| LBP | Loblolly Pine | Pinus taeda |
| LP | Longleaf Pine | Pinus palustris |
| SLP | Slash Pine | Pinus elliotii |
| BCY | Bald Cypress | Taxodium distichum |
| PAL | Palmetto | Sabal palmetto |
| WDO | White Oak | Quercus alba |
| LD | Live Oak | Quercus virginiana |
| GRD | Southern Red Oak | Quercus falcata |
| NRO | Northern Red Oak | Quercus rubra |
| WDO | Water Oak | Quercus nigra |
| WDO | Willow Oak | Quercus phellos |
| LA | Laurel Oak | Quercus laurifolia |
| SL | Shoestring Live Oak | Quercus laevis |
| FW | Flowering Dogwood | Cornus florida |
| BN | Black Walnut | Juglans nigra |
| SH | Shagbark Hickory | Carya ovata |
| MO | Mohawk Hickory | Carya tomentosa |
| TH | Trotter Hickory | Carya glabra |
| RM | Red Maple | Acer rubrum |
| ALM | American Elm | Ulmus americana |
| AMS | American Sweetgum | Platanus occidentalis |
| SR | Sourberry | Celtis laevigata |
| BCR | Black Cherry | Prunus serotina |
| SAS | Sassafras | Sassafras albidum |



PLAT SHOWING
R120 004 000 0279 0000
A PORTION OF BLOCK 85
CITY OF BEAUFORT.
PREPARED FOR
SHAWN & CRISTINA KEARNS
BEAUFORT COUNTY, SOUTH CAROLINA
DATED: JUNE 9, 2024
SCALE: 1" = 10'

**1 SITE PLAN
1" = 10'-0"**

- *NOTES:**
1. Reference plat done by others.
 2. The Contractor shall verify all property boundaries, setbacks, easements, FEMA requirements, and tree sizes and locations prior to the commencement of construction.
 3. All heights and dimensions provided are based on reference survey data and must be independently verified by the Contractor prior to construction.
 4. The Contractor is responsible for coordinating the locations of walks, driveways, parking areas, and fences with the landscaper.

CHRISTENSEN ~ KHALIL SURVEYORS, INC.
3 FACULTY DRIVE, BEAUFORT SC 29907
(843) 524-4148

**KEARNS
RESIDENCE**
914 Newcastle Street
Beaufort, SC 29902

This plan has been prepared to meet top professional standards and practices; however, building codes and environmental conditions vary at different locations. Before construction begins, the contractor is required to:

- Verify all dimensions prior to proceeding with construction and report any discrepancy to the designer before proceeding.
- Verify all setbacks and easements are shown on this plan.
- Plans indicate locations only, engineering aspects should incorporate actual site conditions.
- HVAC and plumbing layouts are not included. These should be obtained by a local mechanical contractor or engineer to ensure compliance with local codes and that equipment is sized correctly for the particular region and conditions.
- Verify all structural elements with local licensed engineer.

The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual art under the 1978 Copyright Act. It is an exclusive work of original authorship. None of the plans, graphics or technical data or drawings appearing on this sheet may be reproduced by any method, including tracing or scanning, without the prior written permission of the author. Title and ownership remains with the author. These plans shall be used or re-used for any purpose without the express prior written permission of the author. Title and ownership remains with the author without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions. All drawings and specifications are the property of the designer and must be returned upon request.

ALL RIGHTS RESERVED. Copyright ©2025 Chancellor Atelier LLC.

| Site Plan | |
|----------------|-------------|
| Project number | 24106 |
| Date | 05/27/2025 |
| Drawn by | MCC |
| Scale | 1" = 10'-0" |

C3

EX-11421

**CHANCELLOR
ATELIER LLC**

PO BOX 17
BEAUFORT, SC 29901
406.579.1925
CHANCELLORA.COM

**KEARNS
RESIDENCE**

914 Newcastle Street
Beaufort, SC 29902

This plan has been prepared to meet top professional standards and practices; however, building codes and environmental conditions vary at different locations. Before construction begins, the contractor is required to:

- Verify all dimensions prior to proceeding with construction and report any discrepancy to the designer before proceeding.
- Verify all dimensions and elevations on this sheet may be reproduced by any method, in whole or in part, is prohibited. This drawing is classified as a professional engineering drawing and is the property of Chancellor Atelier LLC. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the author. Title and ownership remains with the author and shall not be used or re-used for any purpose without the express prior written permission of the author. Title and ownership remains with the author and shall not be used or re-used for any purpose without the express prior written permission of the author. Title and ownership remains with the author and shall not be used or re-used for any purpose without the express prior written permission of the author. Title and ownership remains with the author and shall not be used or re-used for any purpose without the express prior written permission of the author.
- HVAC and plumbing layouts are not included. These should be obtained by a local mechanical contractor or engineer to ensure compliance with local codes and that equipment is sized correctly for the particular region and conditions.
- Verify all structural elements with local licensed engineer.

The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as a professional engineering drawing and is the property of Chancellor Atelier LLC. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the author. Title and ownership remains with the author and shall not be used or re-used for any purpose without the express prior written permission of the author. Title and ownership remains with the author and shall not be used or re-used for any purpose without the express prior written permission of the author.

ALL RIGHTS RESERVED. Copyright ©2025 Chancellor Atelier LLC.

Foundation Plan

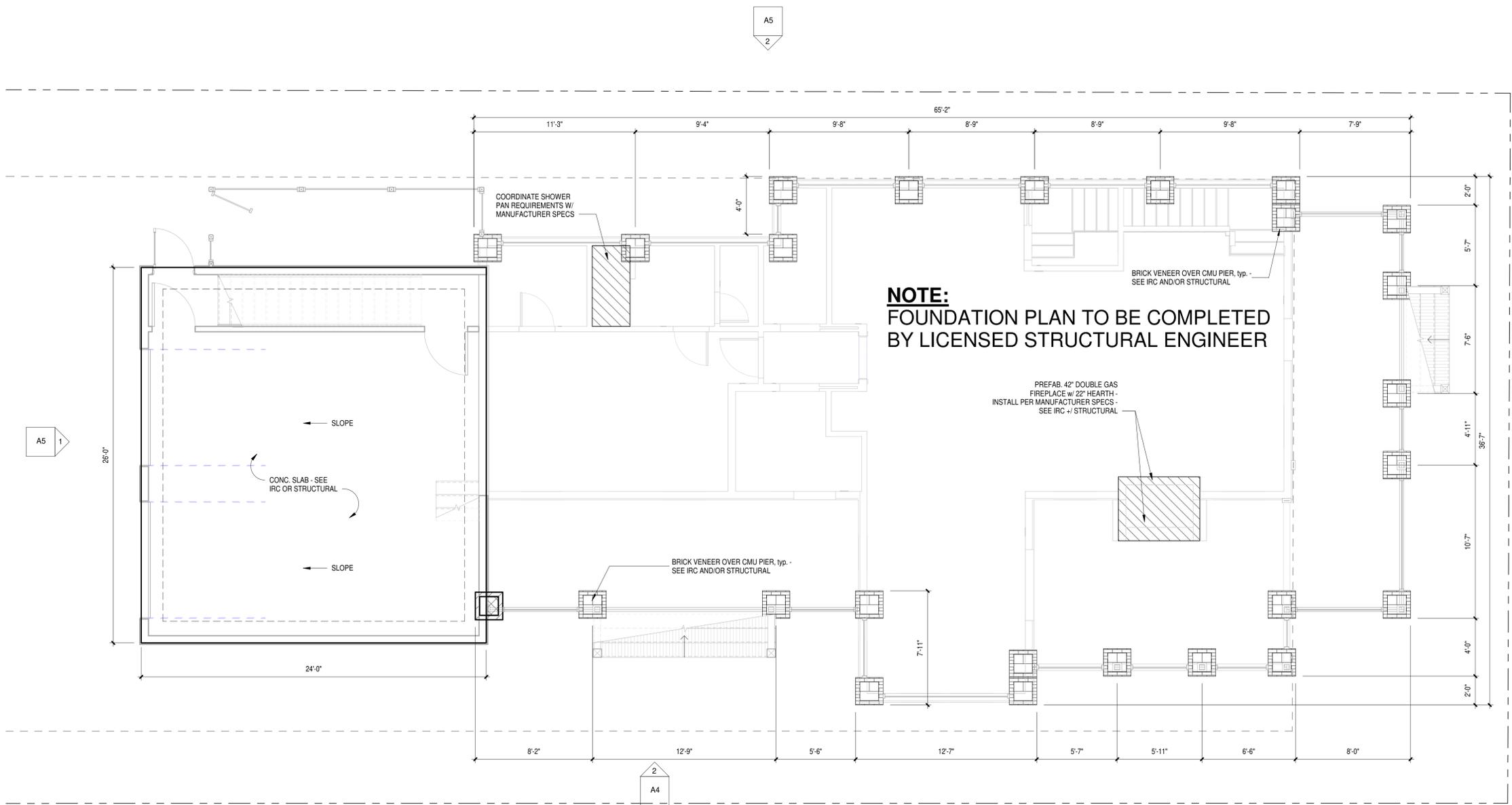
Project number 24106

Date 05/27/2025

Drawn by MCC

S0

Scale 1/4" = 1'-0"



NOTE:
FOUNDATION PLAN TO BE COMPLETED
BY LICENSED STRUCTURAL ENGINEER

1 GRADE
1/4" = 1'-0"

A5 1

A5
2

2
A4

1
A4

**CHANCELLOR
ATELIER LLC**

PO BOX 17
BEAUFORT, SC 29901
406.579.1925
CHANCELLORA.COM

**KEARNS
RESIDENCE**

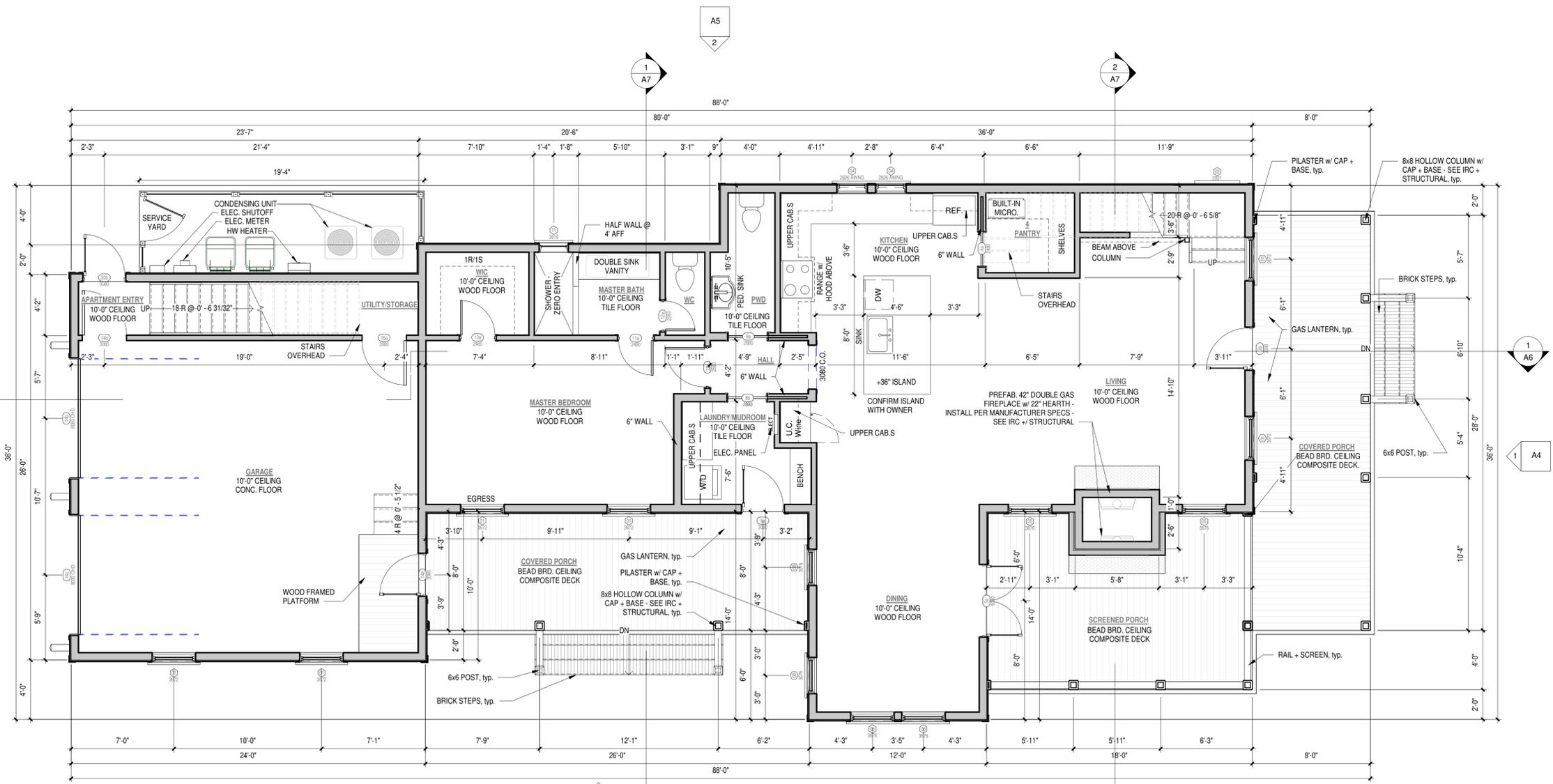
914 Newcastle Street
Beaufort, SC 29902

This plan has been prepared to meet top professional standards and practices; however, building codes and environmental conditions vary at different locations. Before construction begins, the contractor is required to:

- Verify all dimensions prior to proceeding with construction and report any discrepancy to the designer before proceeding.
- Verify all dimensions and locations of existing conditions on site.
- HVAC and plumbing layouts are not included. These should be obtained by a local mechanical contractor or engineer to ensure compliance with local codes and that equipment is sized correctly for the particular region and conditions.
- Verify all structural elements with local licensed engineer.

The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual art under the 1978 Copyright Act. It is an exclusive work of original authorship. None of the pictorial, graphic or technical ideas or drawings appearing on this sheet may be reproduced by any method, including tracing or photocopying, without the express prior written permission of the author. Title and ownership remains with the author and shall not be transferred or assigned in any manner without the express prior written permission of the author. Title and ownership remains with the author and shall not be transferred or assigned in any manner without the express prior written permission of the author. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions. All drawings and specifications are the property of the designer and must be returned upon request.

ALL RIGHTS RESERVED. Copyright ©2025 Chancellor Atelier LLC.



1 FIRST FLOOR PLAN
1/4" = 1'-0"

First Floor Plan

| | |
|----------------|------------|
| Project number | 24106 |
| Date | 05/27/2025 |
| Drawn by | MCC |

A1

Scale 1/4" = 1'-0"

**CHANCELLOR
ATELIER LLC**

PO BOX 17
BEAUFORT, SC 29901
406.579.1925
CHANCELLORA.COM

**KEARNS
RESIDENCE**

914 Newcastle Street
Beaufort, SC 29902

This plan has been prepared to meet top professional standards and practices; however, building codes and environmental conditions vary at different locations. Before construction begins, the contractor is required to:

- Verify all dimensions prior to proceeding with construction and report any discrepancy to the designer before proceeding.
- Verify all dimensions on drawings against actual site conditions.
- Plans indicate locations only; engineering aspects should incorporate actual site conditions.
- HVAC and plumbing layouts are not included. These should be obtained by a local mechanical contractor or engineer to ensure compliance with local codes and that equipment is sized correctly for the particular region and conditions.
- Verify all structural elements with local licensed engineer.

The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual art under the 1976 Copyright Act. It is an exclusive work of original authorship. None of the pictorial, graphic or technical ideas or drawings depicted on this sheet may be reproduced by any method, including tracing or photocopying, for any purpose without the express prior written permission of the author. Title and ownership remains with the author and shall not be transferred by any means, including electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions. All drawings and specifications are the property of the designer and must be returned upon request.

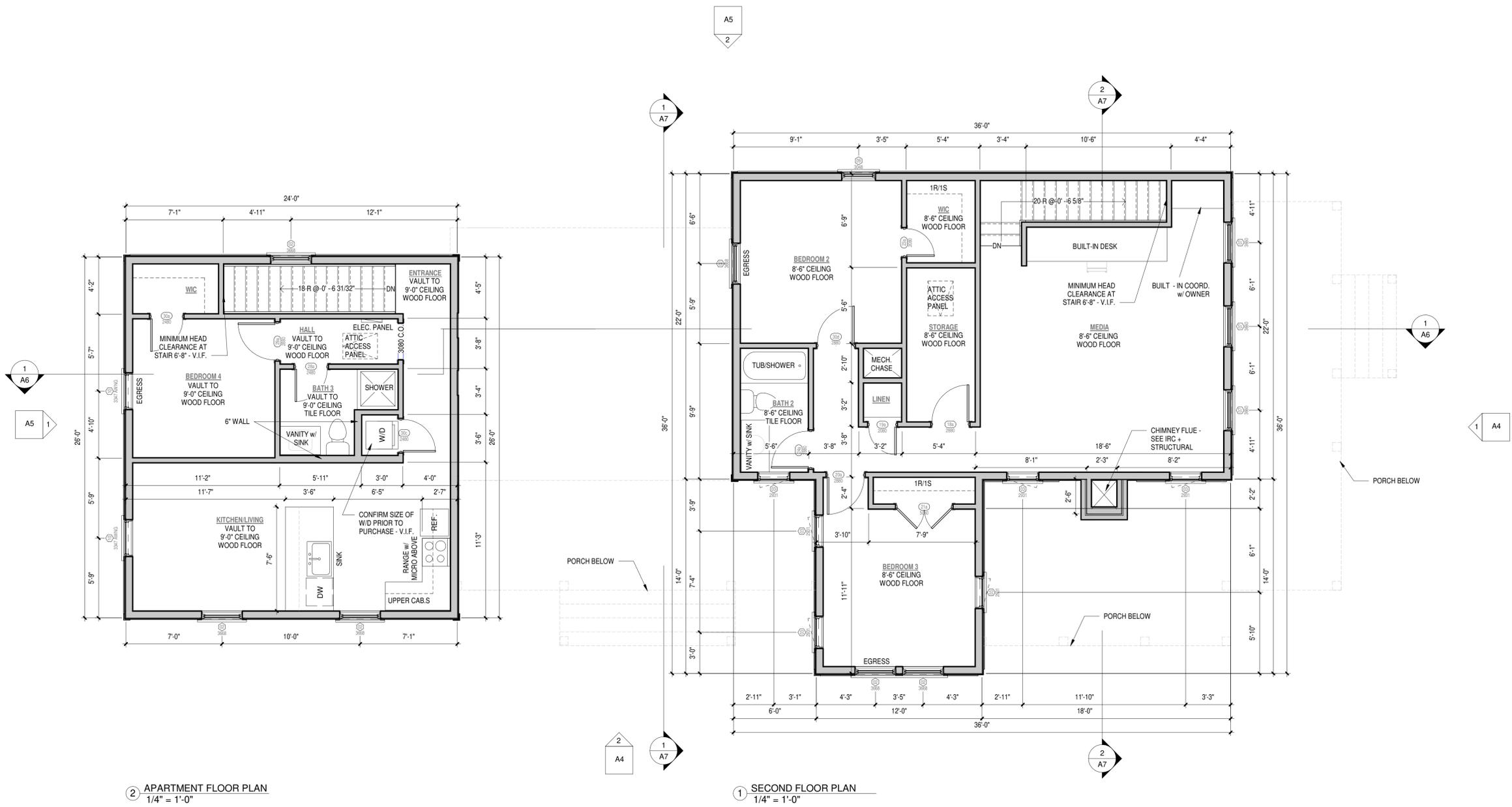
ALL RIGHTS RESERVED. Copyright ©2025 Chancellor Atelier LLC.

Second & Apartment Floor Plans

Project number 24106
Date 05/27/2025
Drawn by MCC

A2

Scale 1/4" = 1'-0"

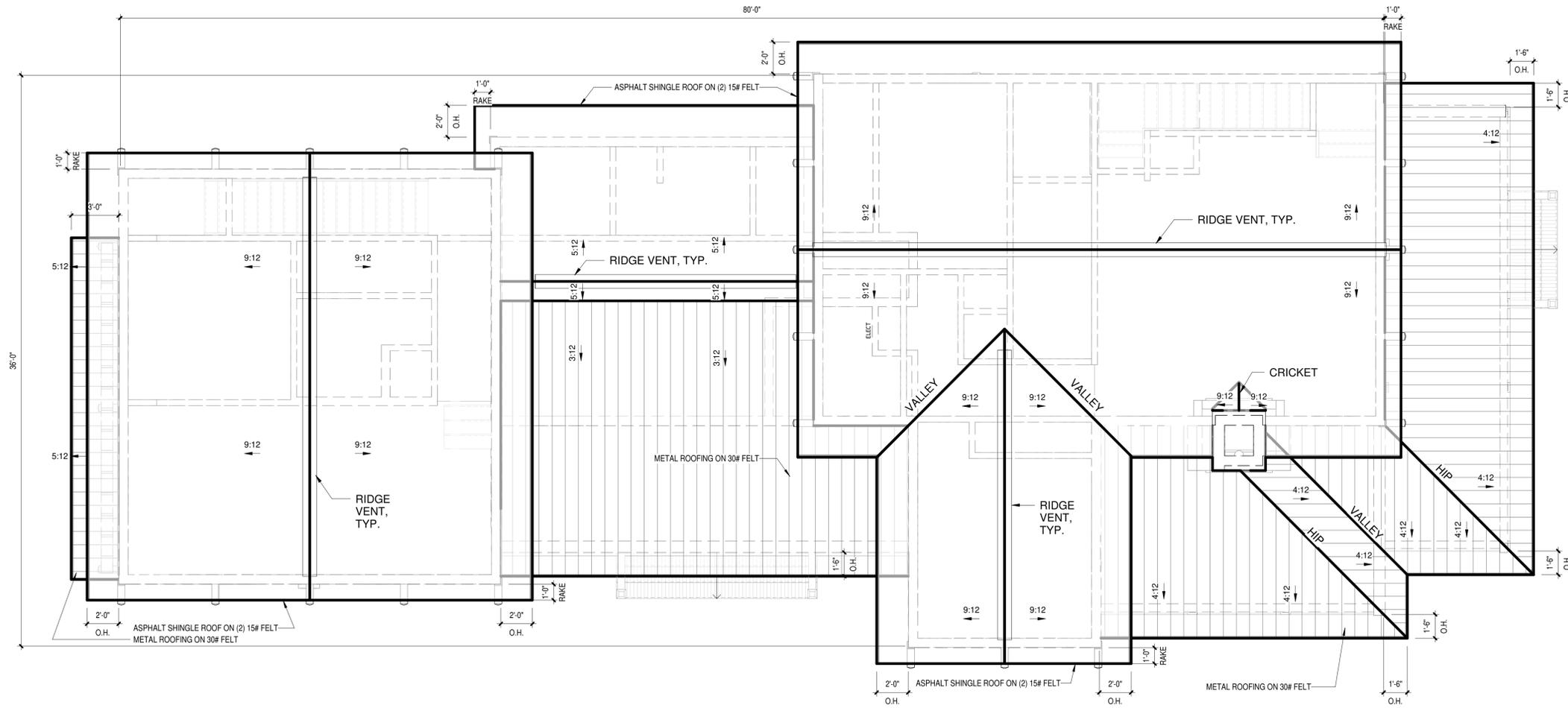


**CHANCELLOR
ATELIER LLC**

PO BOX 17
BEAUFORT, SC 29901
406.579.1925
CHANCELLORA.COM

**KEARNS
RESIDENCE**

914 Newcastle Street
Beaufort, SC 29902



1 Roof Plan
1/4" = 1'-0"

This plan has been prepared to meet top professional standards and practices; however, building codes and environmental conditions vary at different locations. Before construction begins, the contractor is required to:

- Verify all dimensions prior to proceeding with construction and report any discrepancy to the designer before proceeding.
- Verify all dimensions and locations of existing conditions on site.
- Plans indicate locations only, engineering aspects should incorporate actual site conditions.
- HVAC and plumbing layouts are not included. These should be obtained by a local mechanical contractor or engineer to ensure compliance with local codes and that equipment is sized correctly for the particular region and conditions.
- Verify all structural elements with local licensed engineer.

The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual art under the 1978 Copyright Act. It is an exclusive work of original authorship. None of the pictorial graphic or technical details or drawings appearing on this sheet may be reproduced by any method, including tracing or photocopying, without the express written permission of the author. Title and ownership remains with the author. This drawing is not to be used or re-used for any purpose without the express prior written permission of the author. Title and ownership remains with the author without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions. All drawings and specifications are the property of the designer and must be returned upon request.

ALL RIGHTS RESERVED. Copyright ©2025 Chancellor Atelier LLC.

| Roof Plan | |
|----------------|--------------|
| Project number | 24106 |
| Date | 05/27/2025 |
| Drawn by | MCC |
| A3 | |
| Scale | 1/4" = 1'-0" |

**CHANCELLOR
ATELIER LLC**

PO BOX 17
BEAUFORT, SC 29901
406.579.1925
CHANCELLORA.COM

**KEARNS
RESIDENCE**

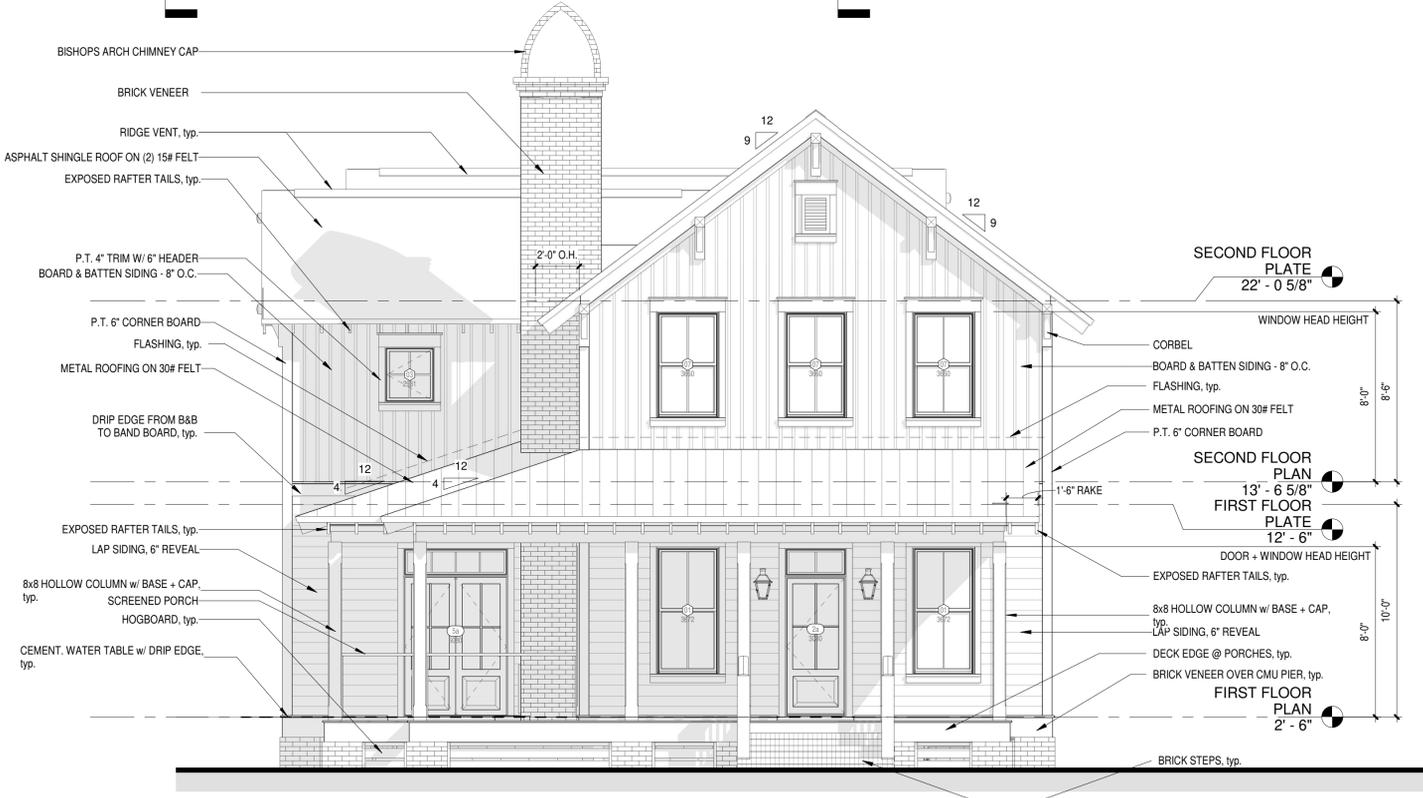
914 Newcastle Street
Beaufort, SC 29902



2 LEFT ELEVATION
1/4" = 1'-0"



3 COLOR RENDERING



1 FRONT ELEVATION
1/4" = 1'-0"

This plan has been prepared to meet top professional standards and practices; however, building codes and environmental conditions vary at different locations. Before construction begins, the contractor is required to:

- Verify all dimensions prior to proceeding with construction and report any discrepancy to the designer before proceeding.
- Verify all structural elements with local licensed engineer.
- Plans indicate locations only; engineering aspects should incorporate actual site conditions.
- HVAC and plumbing layouts are not included. These should be obtained by a local mechanical contractor or engineer to ensure compliance with local codes and that equipment is sized correctly for the particular region and conditions.
- Verify all structural elements with local licensed engineer.

The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual art under the 1976 Copyright Act. It is an exclusive work of original authorship. None of the pictures, graphics or technical details or drawings appearing on this sheet may be reproduced by any method, including tracing or photocopying, without the prior written permission of the author. Title and ownership remains with the author. No part of this drawing may be used or re-used for any purpose without the express prior written permission of the author. Title and ownership remains with the author without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions. All drawings and specifications are the property of the designer and must be returned upon request.

ALL RIGHTS RESERVED. Copyright ©2025 Chancellor Atelier LLC.

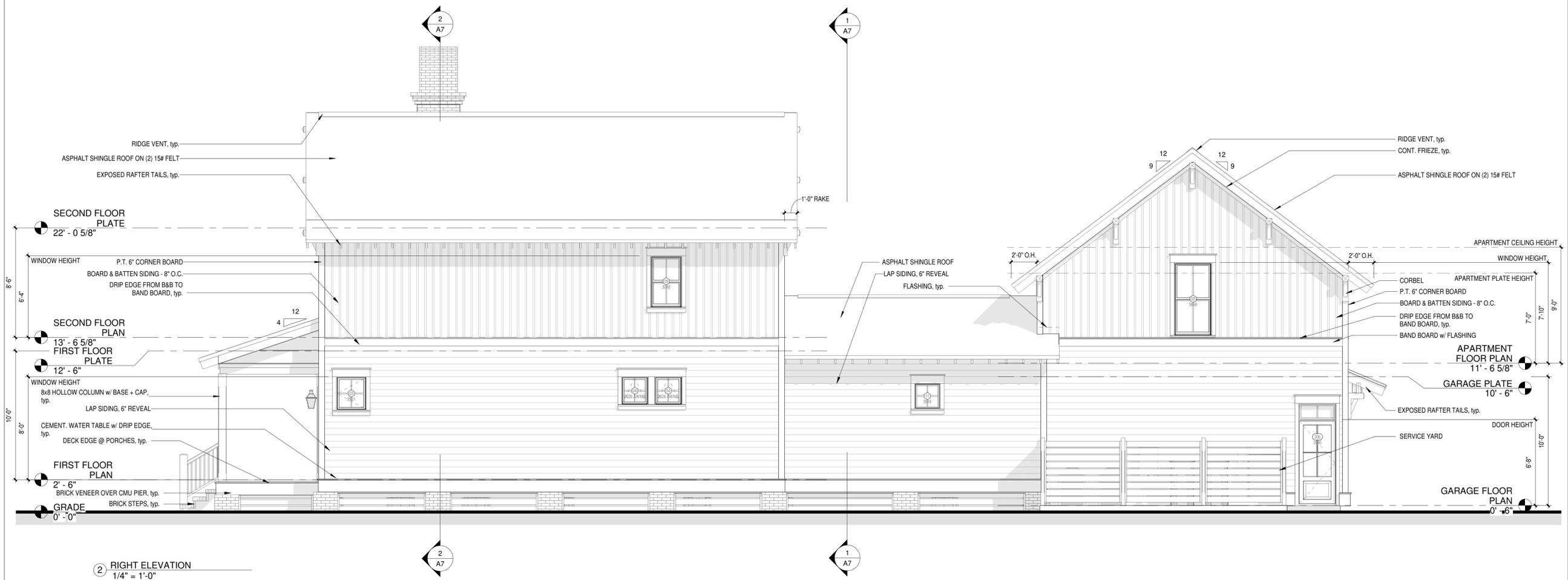
| Elevations + Rendering | |
|------------------------|--------------|
| Project number | 24106 |
| Date | 05/27/2025 |
| Drawn by | MCC |
| A4 | |
| Scale | 1/4" = 1'-0" |

**CHANCELLOR
ATELIER LLC**

PO BOX 17
BEAUFORT, SC 29901
406.579.1925
CHANCELLORA.COM

**KEARNS
RESIDENCE**

914 Newcastle Street
Beaufort, SC 29902



② RIGHT ELEVATION
1/4" = 1'-0"



① REAR ELEVATION
1/4" = 1'-0"



③ STREET SECTION
1/16" = 1'-0"

This plan has been prepared to meet top professional standards and practices; however, building codes and environmental conditions vary at different locations. Before construction begins, the contractor is required to:

- Verify all dimensions prior to proceeding with construction and report any discrepancy to the designer before proceeding.
- Verify all dimensions and elevations on this sheet may be reproduced by any method, including tracing or photocopying or technical data.
- Plans indicate locations only; engineering aspects should incorporate actual site conditions.
- HVAC and plumbing layouts are not included. These should be obtained by a local mechanical contractor or engineer to ensure compliance with local codes and that equipment is sized correctly for the particular region and conditions.
- Verify all structural elements with local licensed engineer.

The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual art under the 1978 Copyright Act. It is an exclusive work of original authorship. None of the pictorial graphic or technical data or drawings appearing on this sheet may be reproduced by any method, including tracing or photocopying or technical data, without the express prior written permission of the author. Title and ownership remains with the author and shall not be transferred to any other party. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions. All drawings and specifications are the property of the designer and must be returned upon request.

ALL RIGHTS RESERVED. Copyright ©2025 Chancellor Atelier LLC.

| Elevations + Street Section | |
|-----------------------------|--------------|
| Project number | 24106 |
| Date | 05/27/2025 |
| Drawn by | MCC |
| Scale | As indicated |

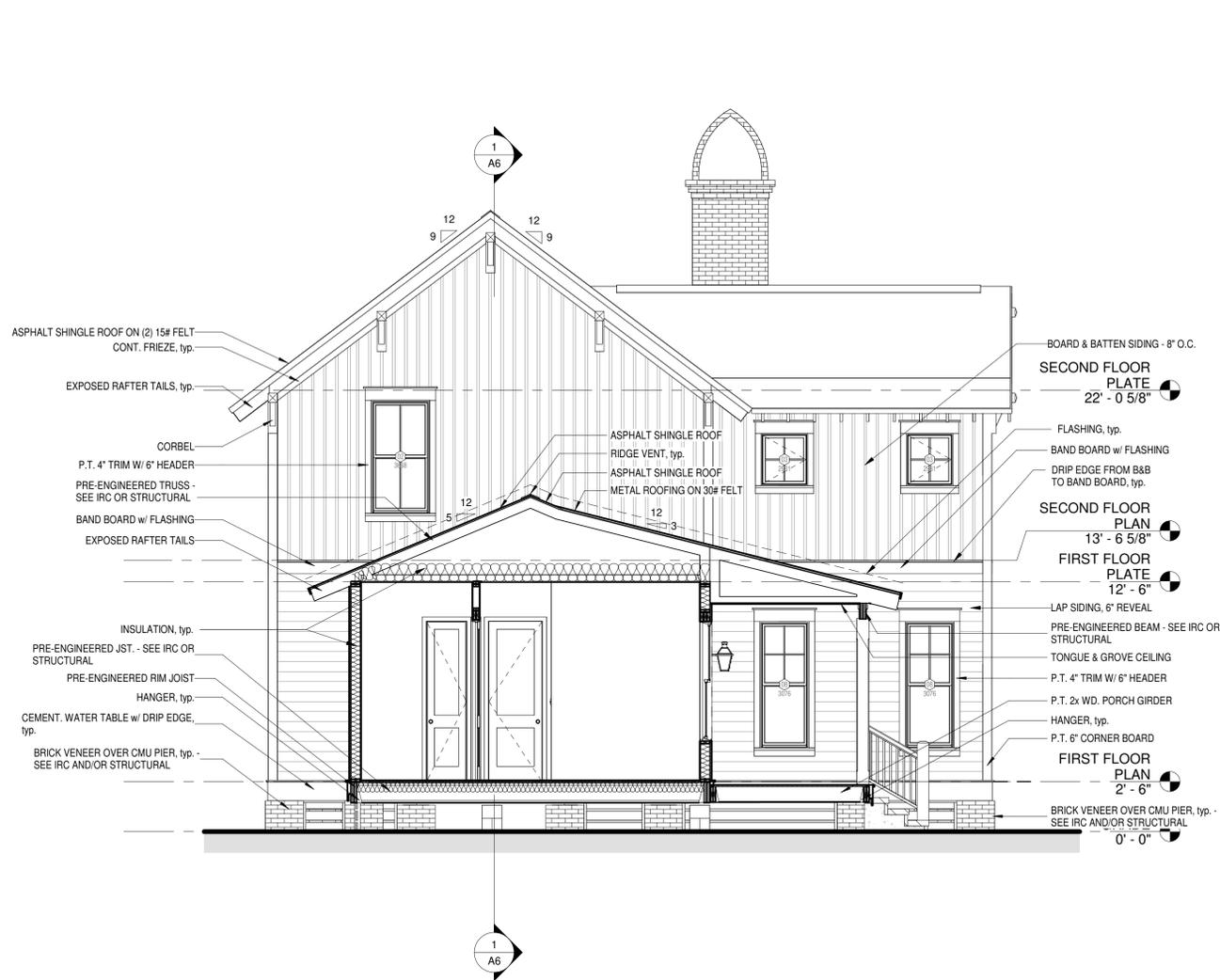
A5

**CHANCELLOR
ATELIER LLC**

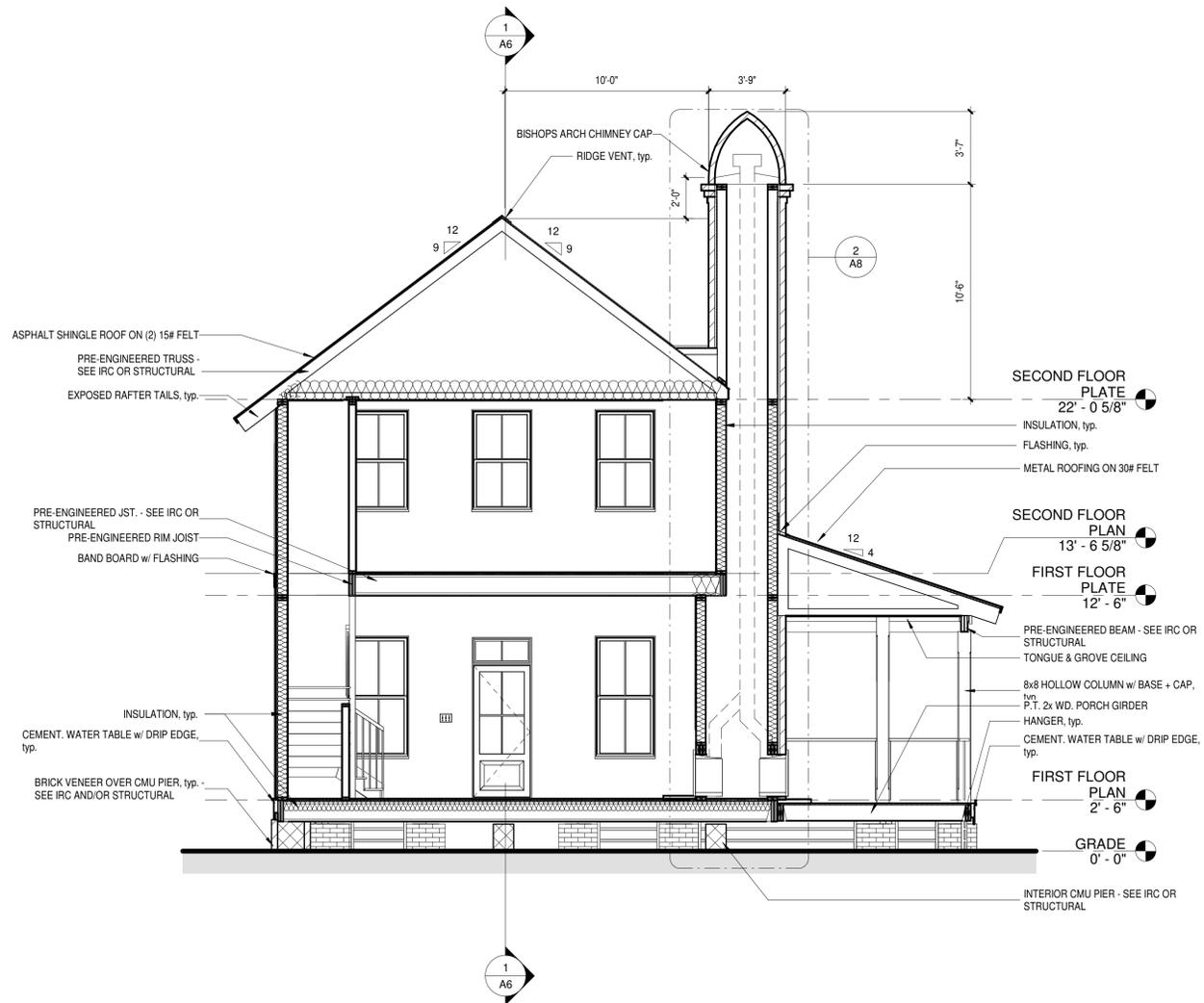
PO BOX 17
BEAUFORT, SC 29901
406.579.1925
CHANCELLORA.COM

**KEARNS
RESIDENCE**

914 Newcastle Street
Beaufort, SC 29902



① Building Section E-W
1/4" = 1'-0"



② Building Section - Fireplace
1/4" = 1'-0"

This plan has been prepared to meet top professional standards and practices; however, building codes and environmental conditions vary at different locations. Before construction begins, the contractor is required to:

- Verify all dimensions prior to proceeding with construction and report any discrepancy to the designer before proceeding.
- Verify all materials and equipment are in compliance with local codes and that equipment is sized correctly for the particular region and conditions.
- Verify all structural elements with local licensed engineer.

The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual art under the 1978 Copyright Act. It is an exclusive work of original authorship. None of the pictorial graphic or technical details or drawings depicted on this sheet may be reproduced by any means, including tracing or photocopying, without the express prior written permission of the author. Title and ownership remains with the author and shall not be used or re-used for any purpose without the express prior written permission of the author. Title and ownership remains with the author without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions. All drawings and specifications are the property of the designer and must be returned upon request.

ALL RIGHTS RESERVED. Copyright ©2025 Chancellor Atelier LLC.

| Building Sections | |
|-------------------|--------------|
| Project number | 24106 |
| Date | 05/27/2025 |
| Drawn by | MCC |
| A7 | |
| Scale | 1/4" = 1'-0" |

**CHANCELLOR
ATELIER LLC**

PO BOX 17
BEAUFORT, SC 29901
406.579.1925
CHANCELLORA.COM

**KEARNS
RESIDENCE**

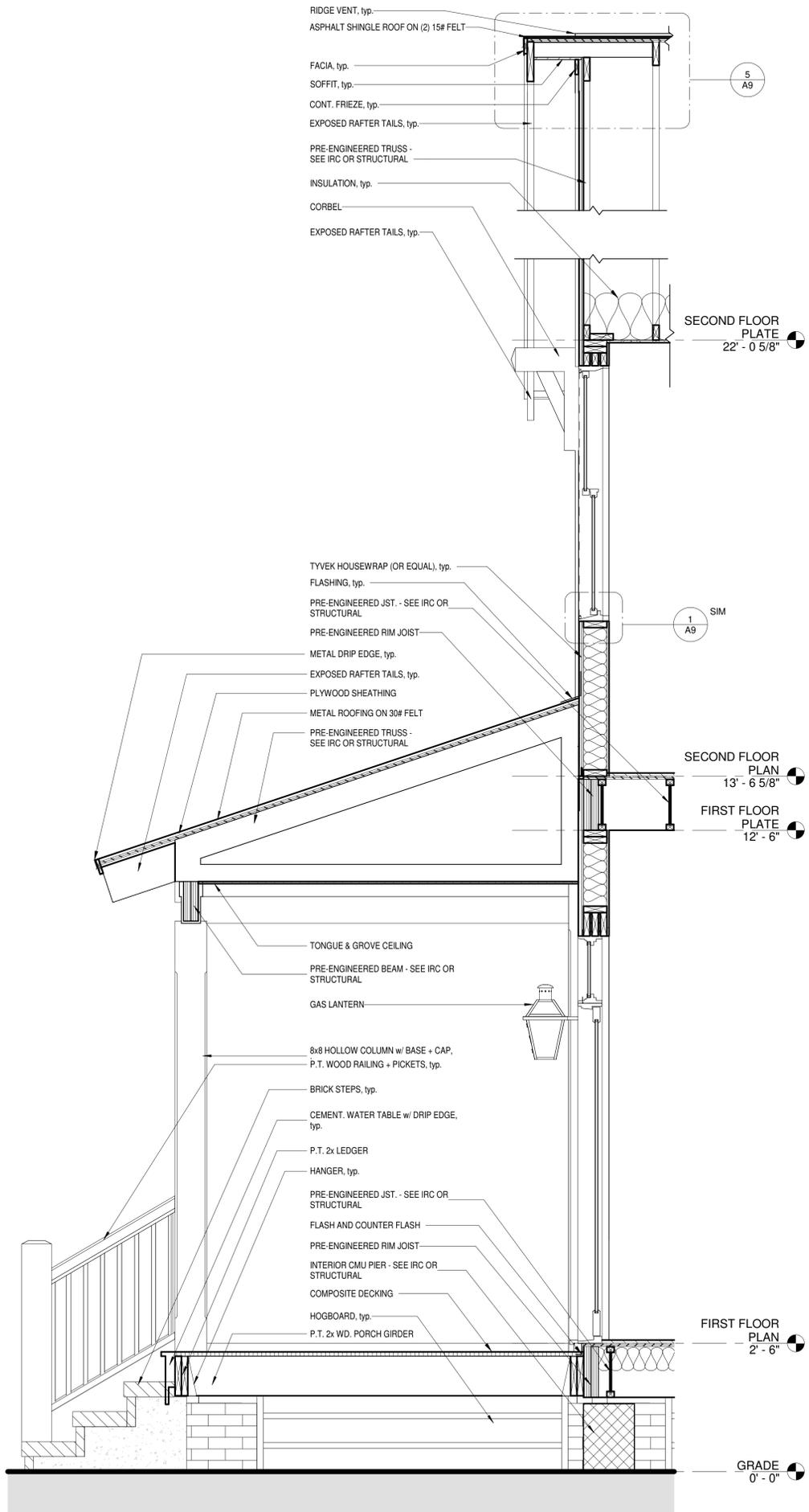
914 Newcastle Street
Beaufort, SC 29902

This plan has been prepared to meet top professional standards and practices; however, building codes and environmental conditions vary at different locations. Before construction begins, the contractor is required to:

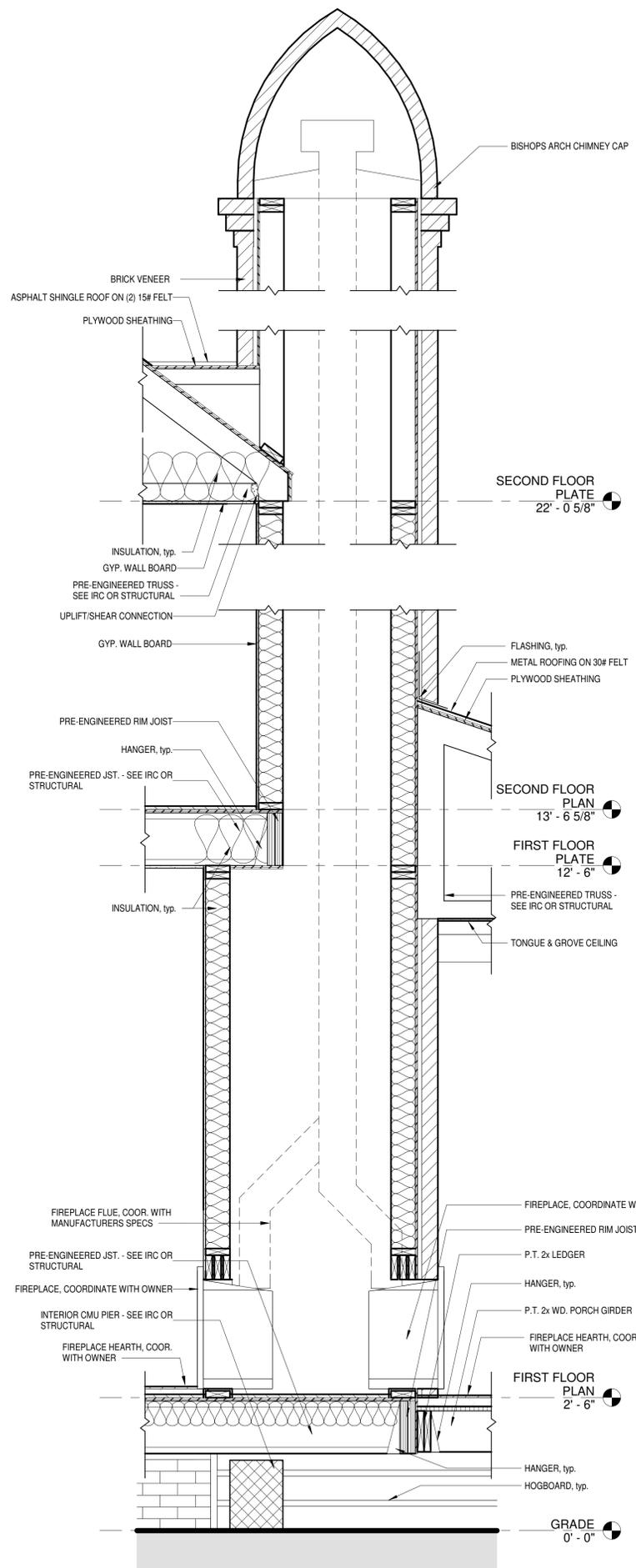
- Verify all dimensions prior to proceeding with construction and report any discrepancy to the designer before proceeding.
- Verify all materials and finishes are as specified.
- Plans indicate locations only; engineering aspects should incorporate actual site conditions.
- HVAC and plumbing layouts are not included. These should be obtained by a local mechanical contractor or engineer to ensure compliance with local codes and that equipment is sized correctly for the particular region and conditions.
- Verify all structural elements with local licensed engineer.

The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual art under the 1978 Copyright Act. It is an exclusive work of original authorship. None of the pictorial graphic or technical data or drawings appearing on this sheet may be reproduced by any method, including tracing or photocopying, without the prior written permission of the author. Title and ownership remains with the author. No part of this drawing is to be used or re-used for any purpose without the express prior written permission of the author. Title and ownership remains with the author without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions. All drawings and specifications are the property of the designer and must be returned upon request.

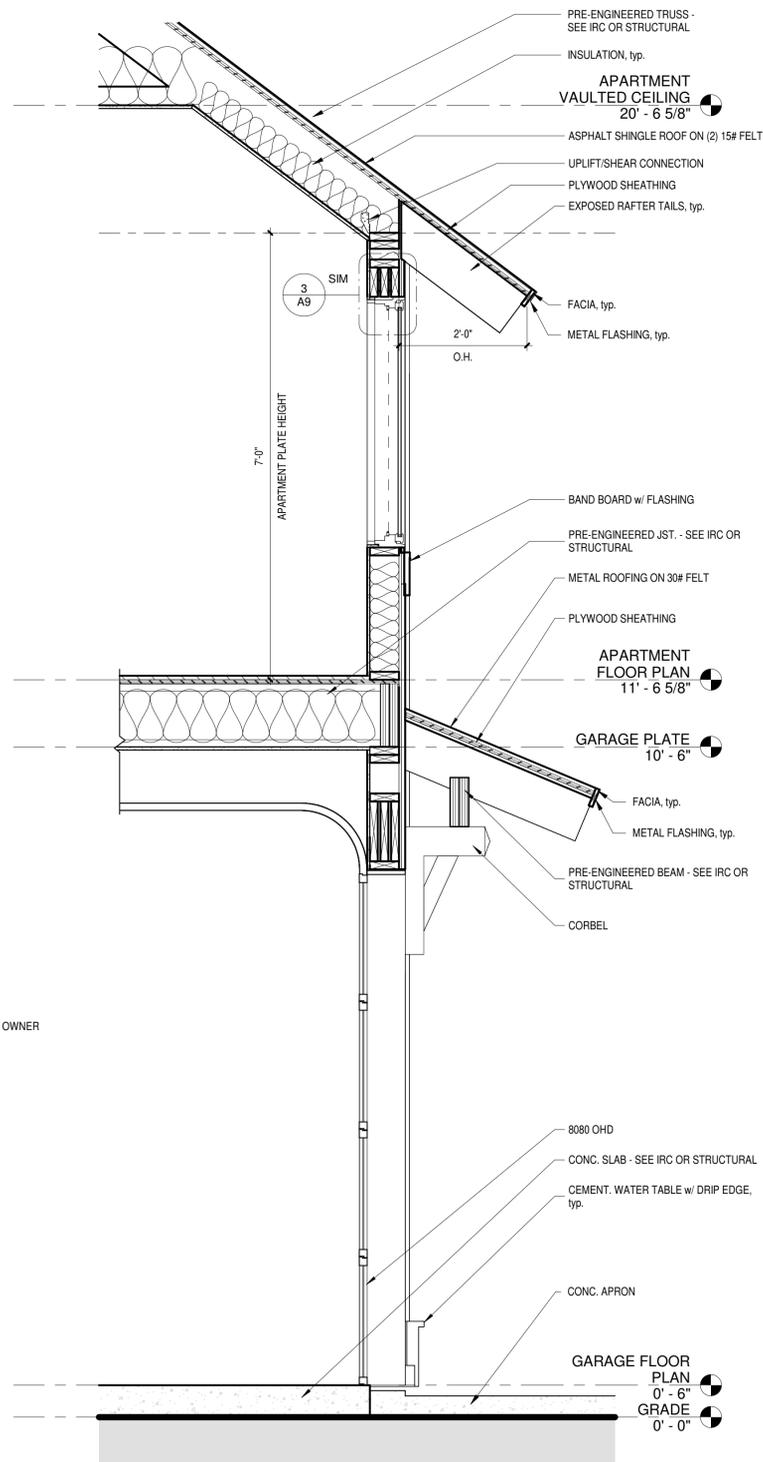
ALL RIGHTS RESERVED. Copyright ©2025 Chancellor Atelier LLC.



1 Wall Section - Front Porch
3/4" = 1'-0"



2 Wall Section - Fireplace
3/4" = 1'-0"



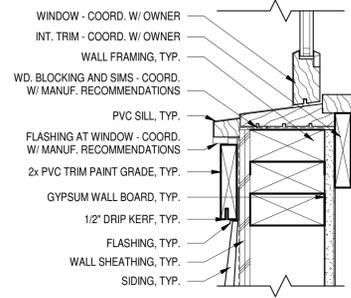
3 Wall Section - Garage
3/4" = 1'-0"

| Wall Sections | |
|----------------|--------------|
| Project number | 24106 |
| Date | 05/27/2025 |
| Drawn by | MCC |
| Scale | 3/4" = 1'-0" |

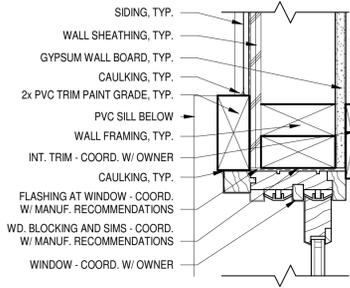
A8

**CHANCELLOR
ATELIER LLC**

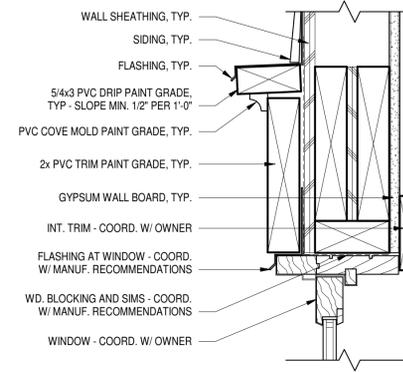
PO BOX 17
BEAUFORT, SC 29901
406.579.1925
CHANCELLORA.COM



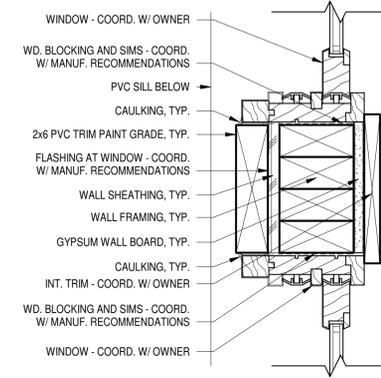
① Typical Window Sill
3" = 1'-0"



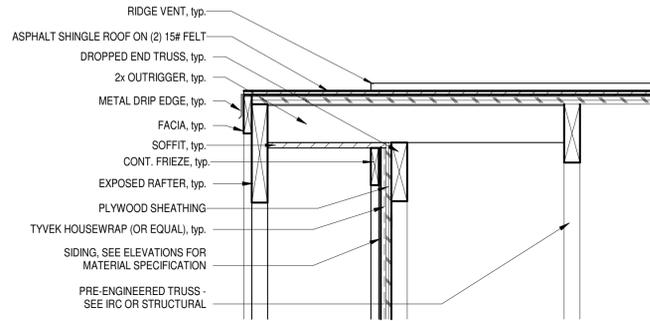
② Typical Window Jamb
3" = 1'-0"



③ Typical Window Head
3" = 1'-0"



④ Typical Window Jamb at Mull
3" = 1'-0"



⑤ Typical Rake
1 1/2" = 1'-0"

**KEARNS
RESIDENCE**

914 Newcastle Street
Beaufort, SC 29902

This plan has been prepared to meet top professional standards and practices; however, building codes and environmental conditions vary at different locations. Before construction begins, the contractor is required to:

- Verify all dimensions prior to proceeding with construction and report any discrepancy to the designer before proceeding.
- Verify all dimensions and materials are in accordance with the specifications and drawings.
- Plans indicate locations only, engineering aspects should incorporate actual site conditions.
- HVAC and plumbing layouts are not included. These should be obtained by a local mechanical contractor or engineer to ensure compliance with local codes and that equipment is sized correctly for the particular region and conditions.
- Verify all structural elements with local licensed engineer.

The use of these plans shall be restricted to the original project site for which they were created, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. This drawing is classified as part of an unpublished collection of visual art under the 1978 Copyright Act. It is an exclusive work of original authorship. None of the pictorial graphic or technical data or drawings depicted on this sheet may be reproduced by any method, including tracing or photocopying, without the express prior written permission of the author. Title and ownership remains with the author and shall not be used for any purpose without the express prior written permission of the author. Title and ownership remains with the author without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions. All drawings and specifications are the property of the designer and must be returned upon request.

ALL RIGHTS RESERVED. Copyright ©2025 Chancellor Atelier LLC.

Details

| | |
|----------------|------------|
| Project number | 24106 |
| Date | 05/27/2025 |
| Drawn by | MCC |

A9

| | |
|-------|--------------|
| Scale | As indicated |
|-------|--------------|

FINAL MATERIALS LIST

| | MATERIAL | SUPPLIER/MANUFACTURER | COLOR | SPEC SHEET |
|---------------------------|------------------------------------|------------------------------|-----------------|-------------------|
| ROOF MAIN | ARCHITECTURAL SHINGLES | GRAYCO/GAF | "CHARCOAL" | X |
| ROOF PORCHES | METAL - STANDING SEAM | 4M | "CHARCOAL" | X |
| EAVES + FASCIA | FIBER CEMENT | SHERWIN WILLIAMS | "SNOWBOUND" | X |
| SIDING | FIBER CEMENT, 6" REVEAL LAP SIDING | SHERWIN WILLIAMS | "SNOWBOUND" | X |
| COLUMNS + CORNER TRIM | FIBER CEMENT | SHERWIN WILLIAMS | "SNOWBOUND" | X |
| PORCH FLOOR | COMPOSITE | GRAYCO/TIMBERTECH COMPOSITE | "COASTLINE" | X |
| BRICK PIERS + STAIRS | BRICK | JENKINS BRICK COMPANY | "SAVANNAH GREY" | |
| DOORS | SAPELE | GRAYCO | NATURAL STAIN | |
| WINDOWS | MARVIN ELEVATE | GRAYCO | EBONY | X |
| EXTERIOR LIGHTING CHOICES | CONTEMPO FLUSH COLLECTION | CREGGER | COPPER | X |

GAF Timberline **UHDZ**[®]
Ultra High Definition[®] Lifetime[†] Shingles



Go beyond with our premium laminate shingle

Choose a combination of beauty and benefits that go beyond any shingle GAF has offered to date, with Dual Shadow Line for dramatic sunset shadows all day long and a 30-year StainGuard Plus PRO™ Limited Warranty against blue-green algae discoloration.²



Timberline UHDZ[®] Shingles

Benefits:

- Patented **Dual Shadow Line** for dramatic sunset shadows all day long
- **30-year StainGuard Plus PRO[™] Algae Protection Limited Warranty** against blue-green algae discoloration, thanks to 10% more time-release algae-fighting capsules than Timberline HDZ^{®2}
- **WindProven[™] Limited Wind Warranty** — when installed with the required combination of GAF accessories, Timberline UHDZ[®] shingles are eligible for a wind warranty with no maximum wind speed limitation³
- **LayerLock[®] Technology** mechanically fuses the common bond between overlapping shingle layers.
- **Up to 99.9% nailing accuracy** — the StrikeZone[®] nailing area is so easy to hit that a roofer placed 999 out of 1,000 nails correctly in our test¹
- **Dura Grip[™]** sealant pairs with the microgranule surface of the StrikeZone[®] nailing area, and an asphalt to-asphalt monolithic bond cures for durability, strength, and exceptional wind-uplift performance
- **For the best look** — use TimberTex[®] premium ridge cap shingles or TimberCrest[®] premium SBS-modified ridge cap shingles

Product details:

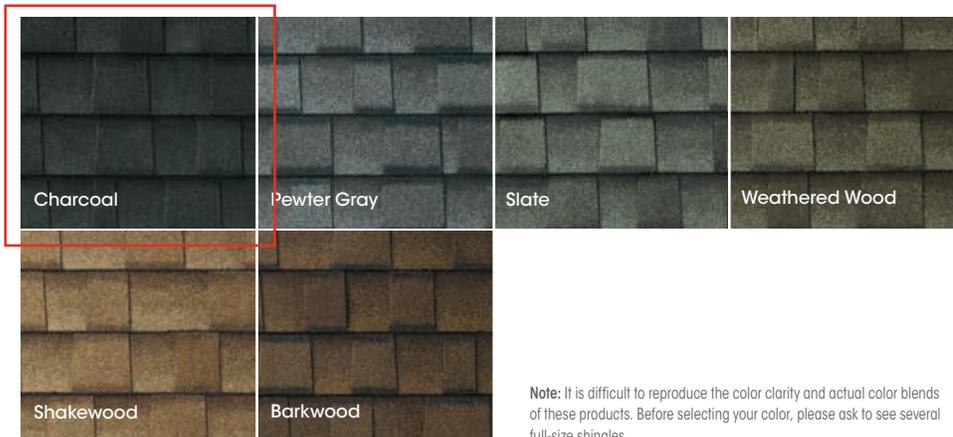
Product/System Specifics

- Fiberglass asphalt construction
- **Dimensions (approx.):** 13 1/4" x 39 3/8" (337 mm x 1,000 mm)
- **Exposure:** 5 5/8" (143 mm)
- **Bundles/Square:** 3
- **Pieces/Square:** 64
- **StainGuard Plus PRO[™] Algae Protection Limited Warranty²**
- **Hip/Ridge:** TimberTex[®]; TimberCrest[®]; Seal-A-Ridge[®]; Z[®]Ridge
- **Starter:** Pro-Start[®]; QuickStart[®]; WeatherBlocker[™]

Applicable Standards & Protocols:

- Passes UL 2218 Impact-Resistance Test with Class 3 rating
- UL Listed to ANSI/UL 790 Class A
- State of Florida Approved
- Classified by UL in accordance with ICC-ES AC438
- Meets ASTM D7158, Class H
- Meets ASTM D3161, Class F
- Meets ASTM D3018, Type 1
- Meets ASTM D3462⁴
- Miami-Dade County Product Control Approved
- ICC-ES Evaluation Reports ESR-1475 and ESR-3267
- Meets Texas Department of Insurance Requirements
- Meets CSA A123.5⁵

Colors:



Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

¹ Lifetime refers to the length of warranty coverage provided and means as long as the original individual owner(s) of a single-family detached residence [or eligible second owner(s)] owns the property where the qualifying GAF products are installed. For other owners/structures, Lifetime coverage is not applicable. Lifetime coverage on shingles requires the use of GAF Lifetime shingles only. See the *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. Lifetime coverage on shingles and accessories requires the use of any GAF Lifetime shingle and at least 3 qualifying GAF accessories. See the *GAF Roofing System Limited Warranty* for complete coverage and restrictions. For installations not eligible for the *GAF Roofing System Limited Warranty*, see the *GAF Shingle & Accessory Limited Warranty*; Visit gaf.com/LRS for qualifying GAF products.

² Results based on study conducted by Home Innovation Research Labs, an independent research lab, comparing installation of Timberline HDZ[®] Shingles to Timberline HDZ[®] Shingles on a 16-square roof deck using standard 4-nail nailing pattern under controlled laboratory conditions. Actual results may vary.

³ 30-year StainGuard Plus PRO[™] Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus PRO[™] logo. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions, and qualifying products.

⁴ 15-year WindProven[™] limited wind warranty on GAF Shingles with LayerLock[®] Technology requires the use of GAF starter strips, roof deck protection, ridge cap shingles, and leak barrier or attic ventilation. See *GAF Roofing System Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. For installations not eligible for the *WindProven[™] Limited Wind Warranty*, see *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions.

⁵ Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.

⁶ Refers to shingles sold in Canada only.



⁶ Meets certain FORTIFIED Roof[™] requirements. Visit gaf.com/Fortified and current FORTIFIED Home[™] Standard available at fortifiedhome.org for details. U.S. only.

We protect what matters most[™]





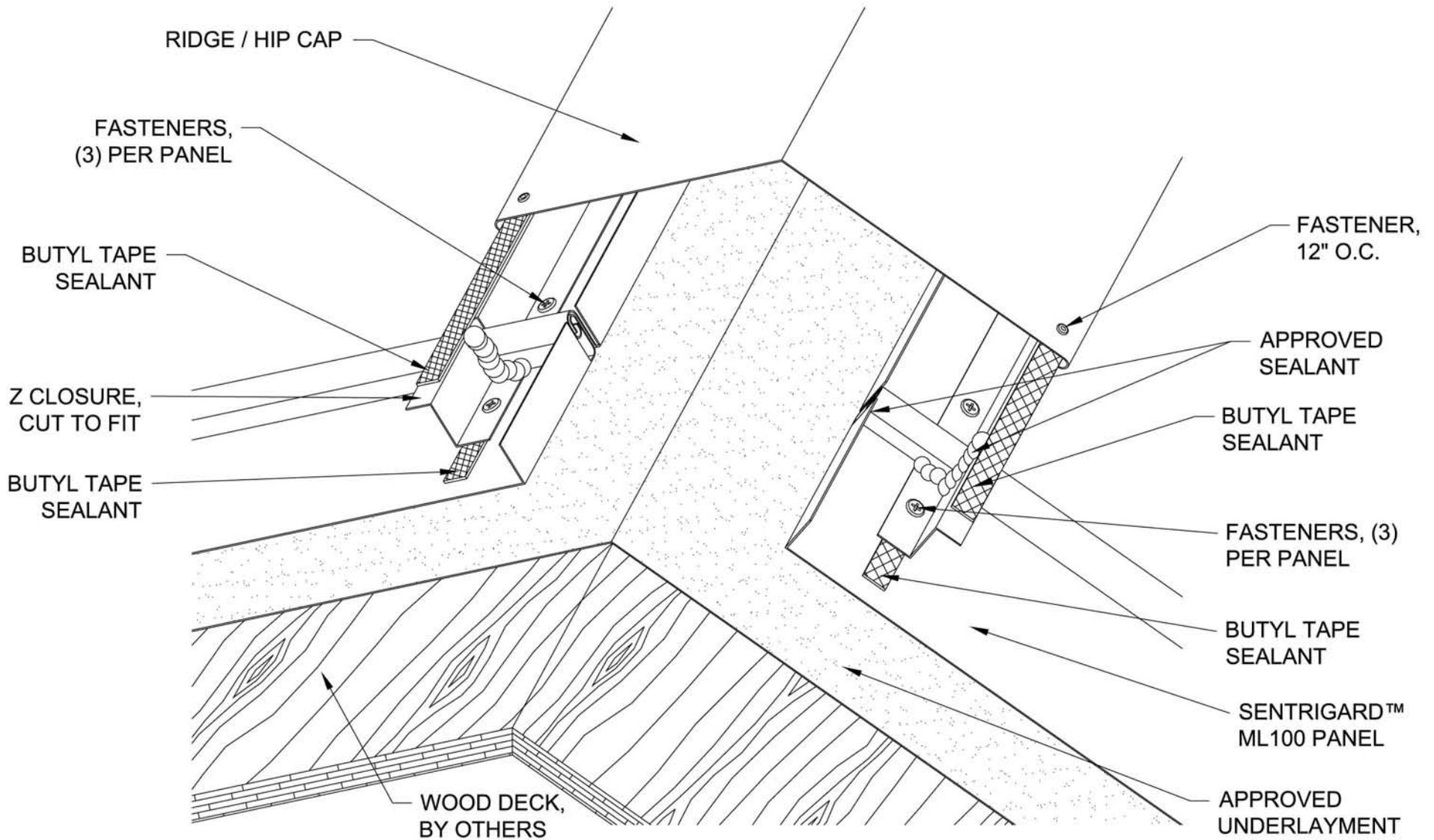
SENTRIGARD ML 100

4M Metals Inc.

201 Red Oaks Way

Ridgeland, SC 29936

tel: 843-208-2433 • fax: 843-208-2430

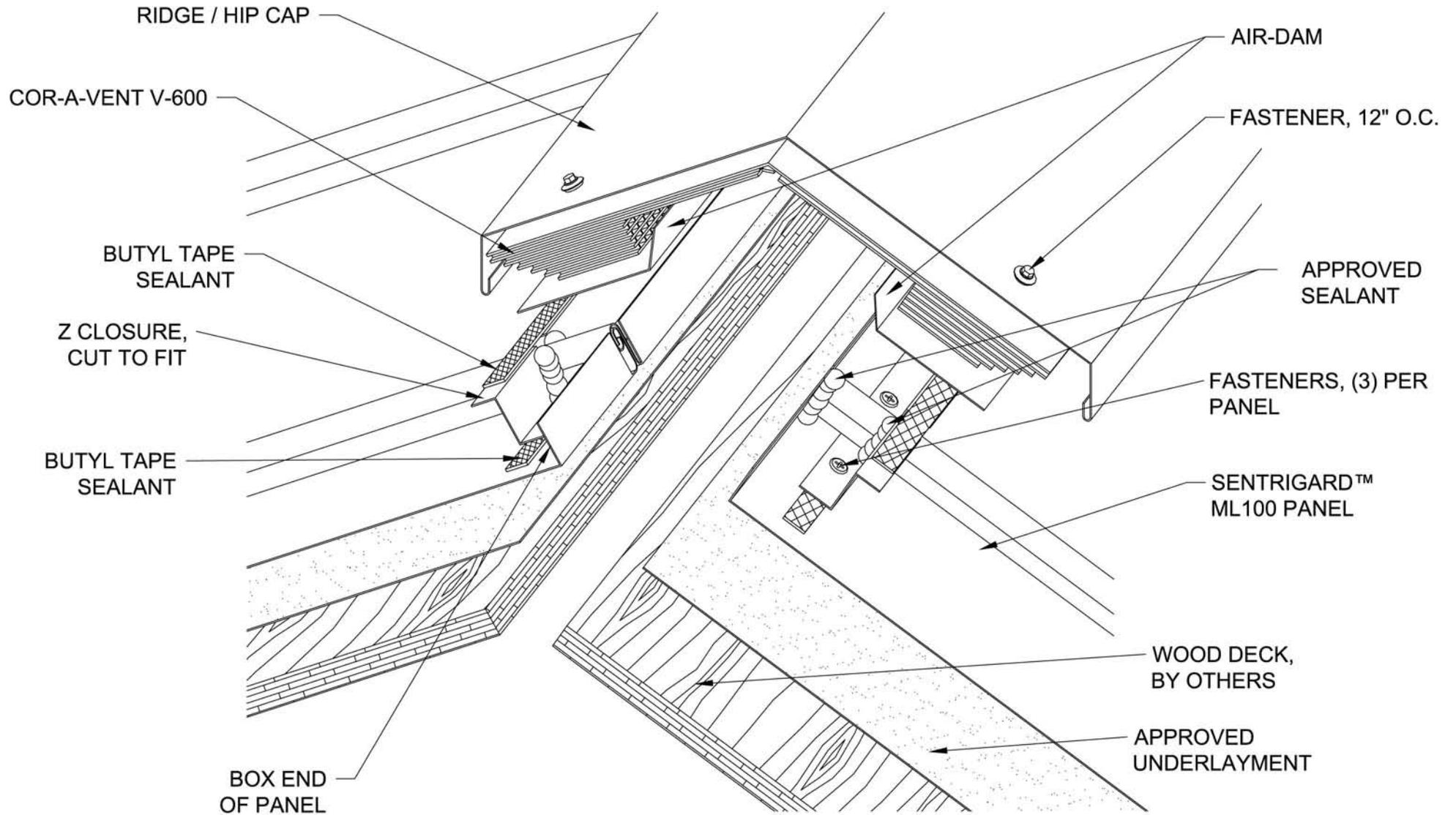


| | | |
|-------------|-------|--------|
| Project: | | |
| Contractor: | | |
| Designer: | Date: | Scale: |
| | | N/A |

THIS DRAWING IS THE PROPERTY OF N.B. HANDY CO., INC. THE USE OF THIS DRAWING WITHOUT THE EXPRESS PERMISSION OF N.B. HANDY IS PROHIBITED.

4M Metals Inc.
 201 Red Oaks Way
 Ridgeland, SC 29936
 tel: 843-208-2433 • fax: 843-208-2430

SENTRIGARD ML 100 HR-1

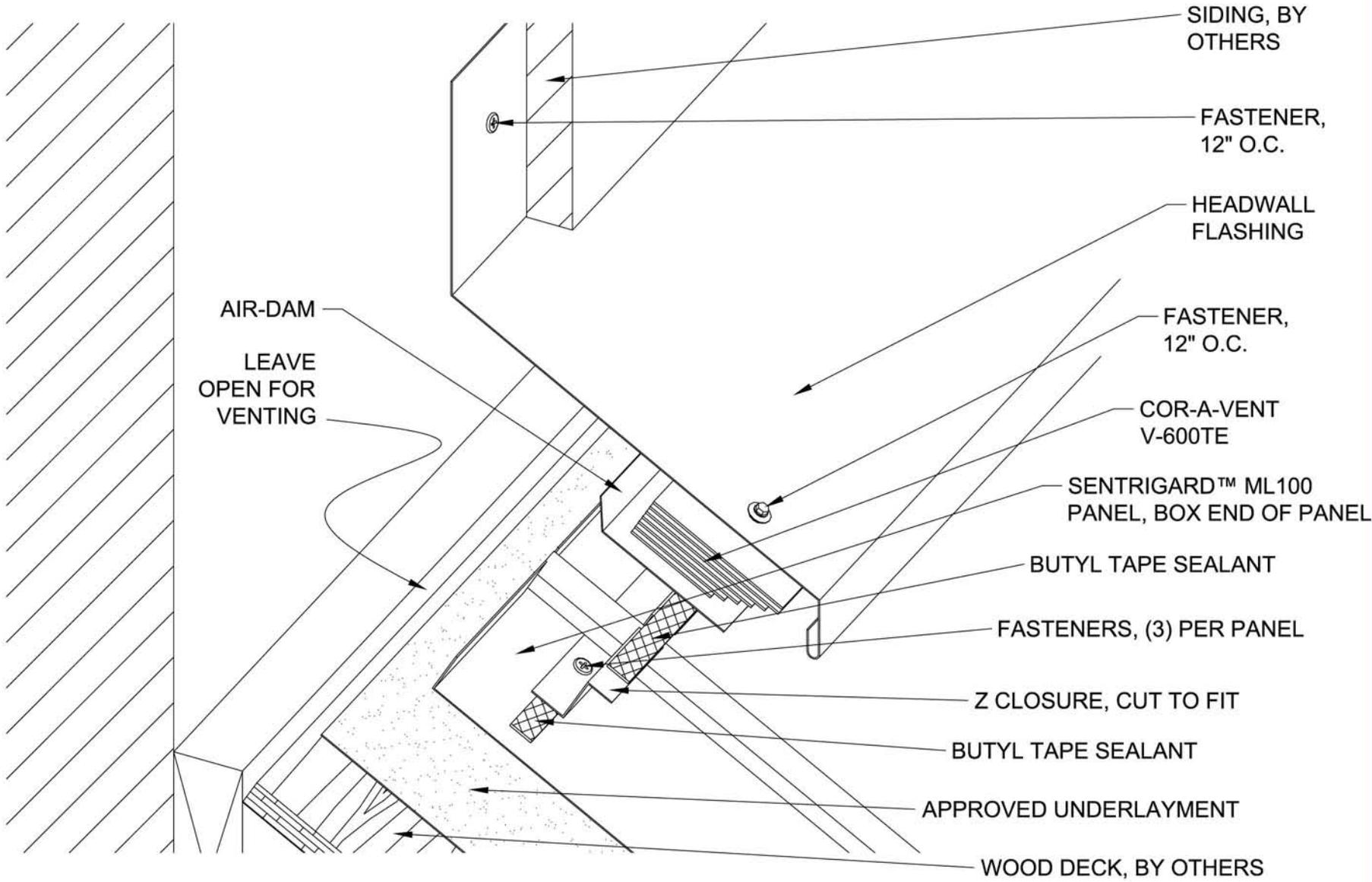


| | | |
|-------------|-------|--------|
| Project: | | |
| Contractor: | | |
| Designer: | Date: | Scale: |
| | | N/A |

THIS DRAWING IS THE PROPERTY OF N.B. HANDY CO., INC. THE USE OF THIS DRAWING WITHOUT THE EXPRESS PERMISSION OF N.B. HANDY IS PROHIBITED.

4M Metals Inc.
 201 Red Oaks Way
 Ridgeland, SC 29936
 tel: 843-208-2433 • fax: 843-208-2430

SENTRIGARD ML 100 VR-1



Project:

Contractor:

Designer:

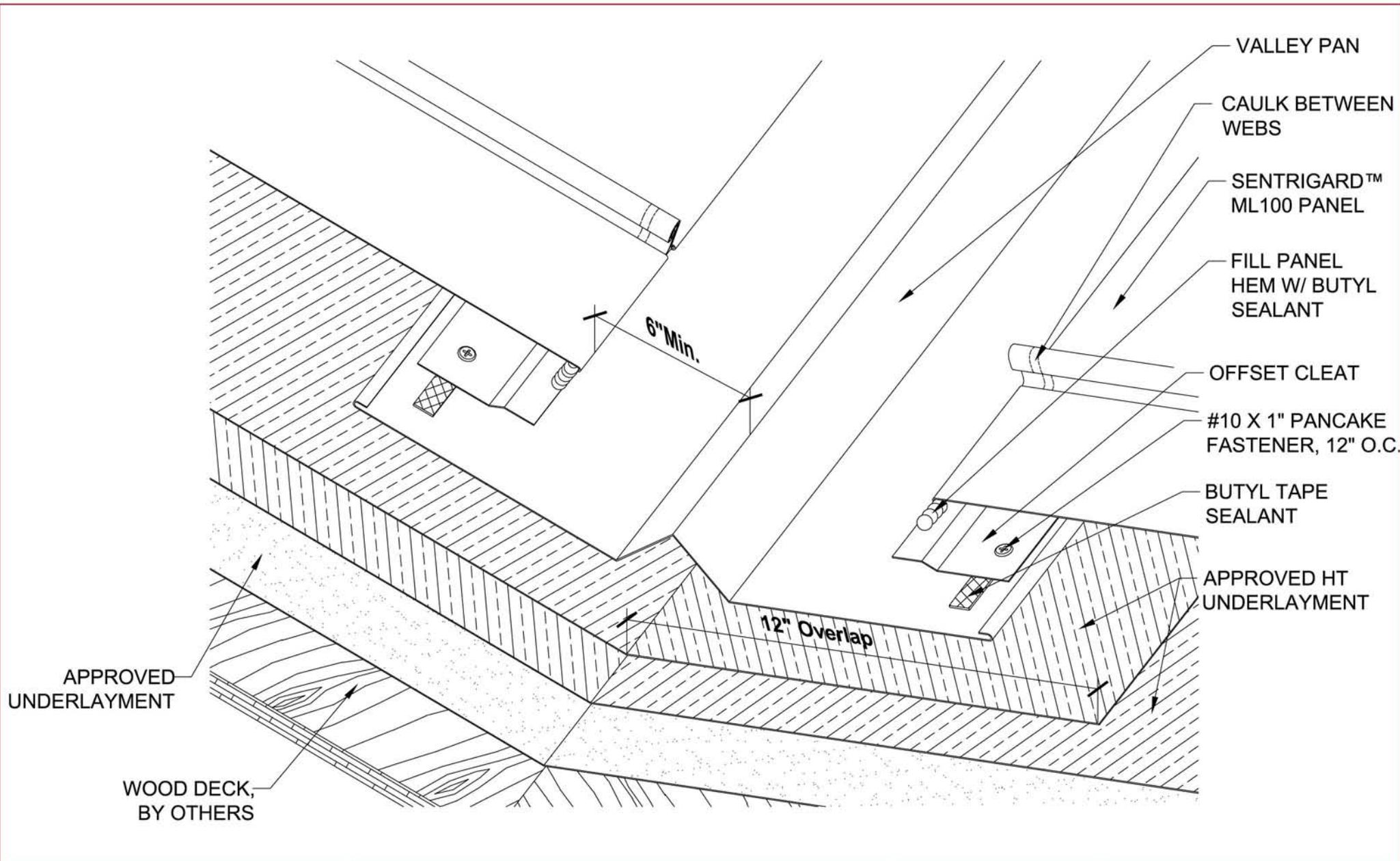
Date:

Scale: N/A

THIS DRAWING IS THE PROPERTY OF N.B. HANDY CO., INC. THE USE OF THIS DRAWING WITHOUT THE EXPRESS PERMISSION OF N.B. HANDY IS PROHIBITED.

4M Metals Inc.
 201 Red Oaks Way
 Ridgeland, SC 29936
 tel: 843-208-2433 • fax: 843-208-2430

SENTRIGARD ML 100 VH-1

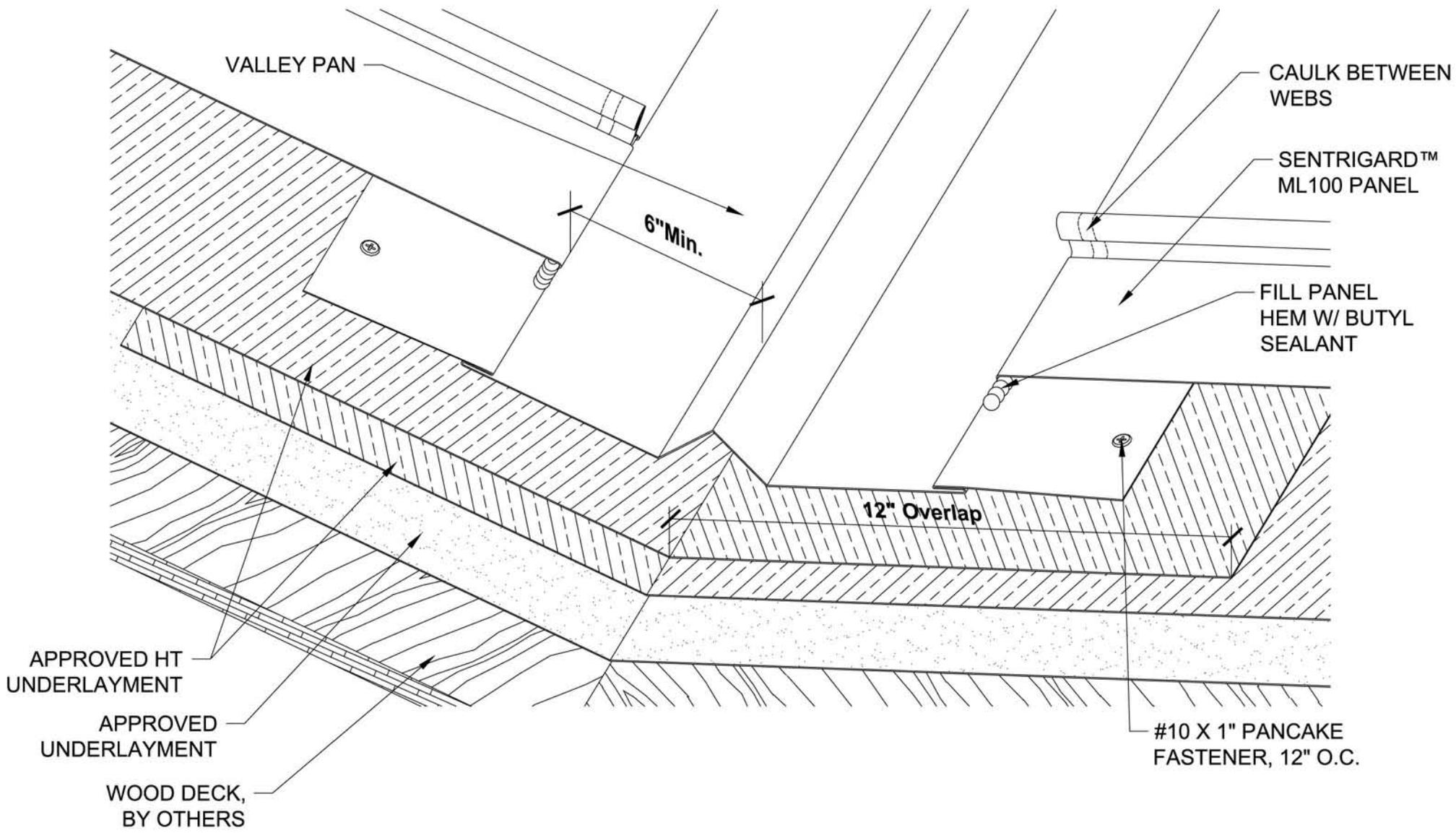


| | | |
|-------------|-------|--------|
| Project: | | |
| Contractor: | | |
| Designer: | Date: | Scale: |
| | | N/A |

THIS DRAWING IS THE PROPERTY OF N.B. HANDY CO., INC. THE USE OF THIS DRAWING WITHOUT THE EXPRESS PERMISSION OF N.B. HANDY IS PROHIBITED.

4M Metals Inc.
 201 Red Oaks Way
 Ridgeland, SC 29936
 tel: 843-208-2433 • fax: 843-208-2430

SENTRIGARD ML 100 V-1

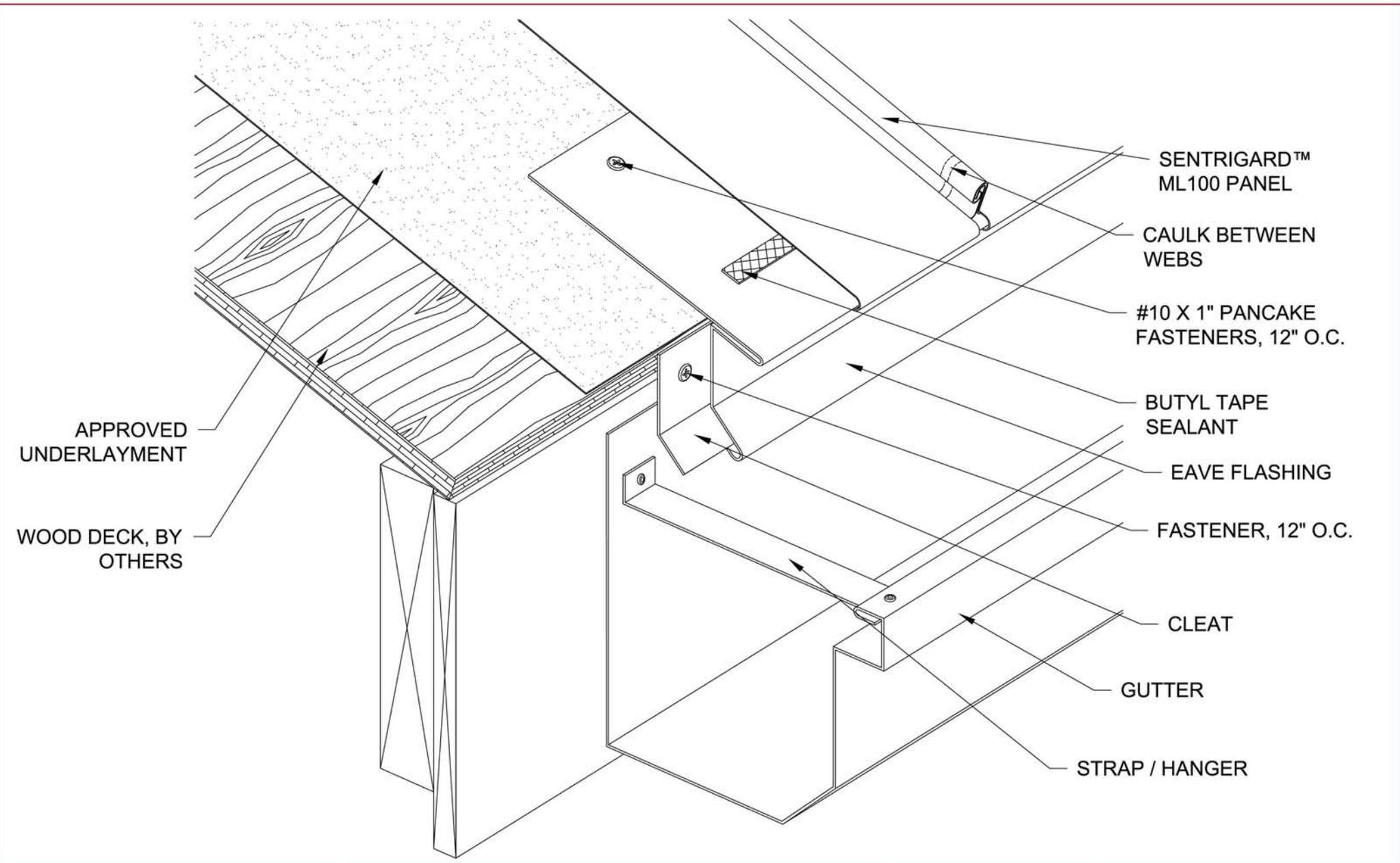


| | | |
|-------------|-------|--------|
| Project: | | |
| Contractor: | | |
| Designer: | Date: | Scale: |
| | | N/A |

THIS DRAWING IS THE PROPERTY OF N.B. HANDY CO., INC. THE USE OF THIS DRAWING WITHOUT THE EXPRESS PERMISSION OF N.B. HANDY IS PROHIBITED.

4M Metals Inc.
 201 Red Oaks Way
 Ridgeland, SC 29936
 tel: 843-208-2433 • fax: 843-208-2430

SENTRIGARD ML 100 V-2

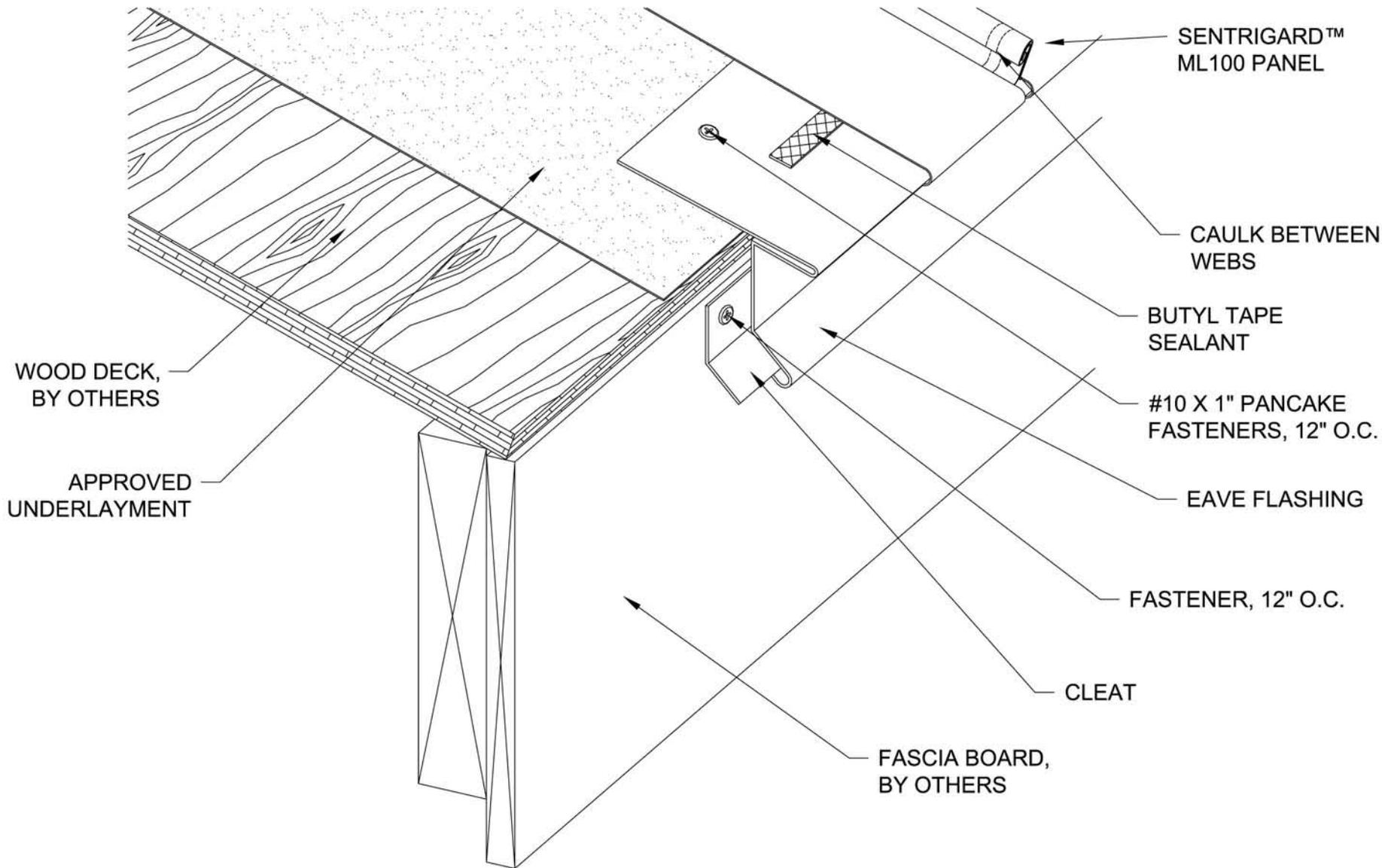


| | | |
|-------------|-------|--------|
| Project: | | |
| Contractor: | | |
| Designer: | Date: | Scale: |
| | | N/A |

THIS DRAWING IS THE PROPERTY OF N.B. HANDY CO., INC. THE USE OF THIS DRAWING WITHOUT THE EXPRESS PERMISSION OF N.B. HANDY IS PROHIBITED.

4M Metals Inc.
 201 Red Oaks Way
 Ridgeland, SC 29936
 tel: 843-208-2433 • fax: 843-208-2430

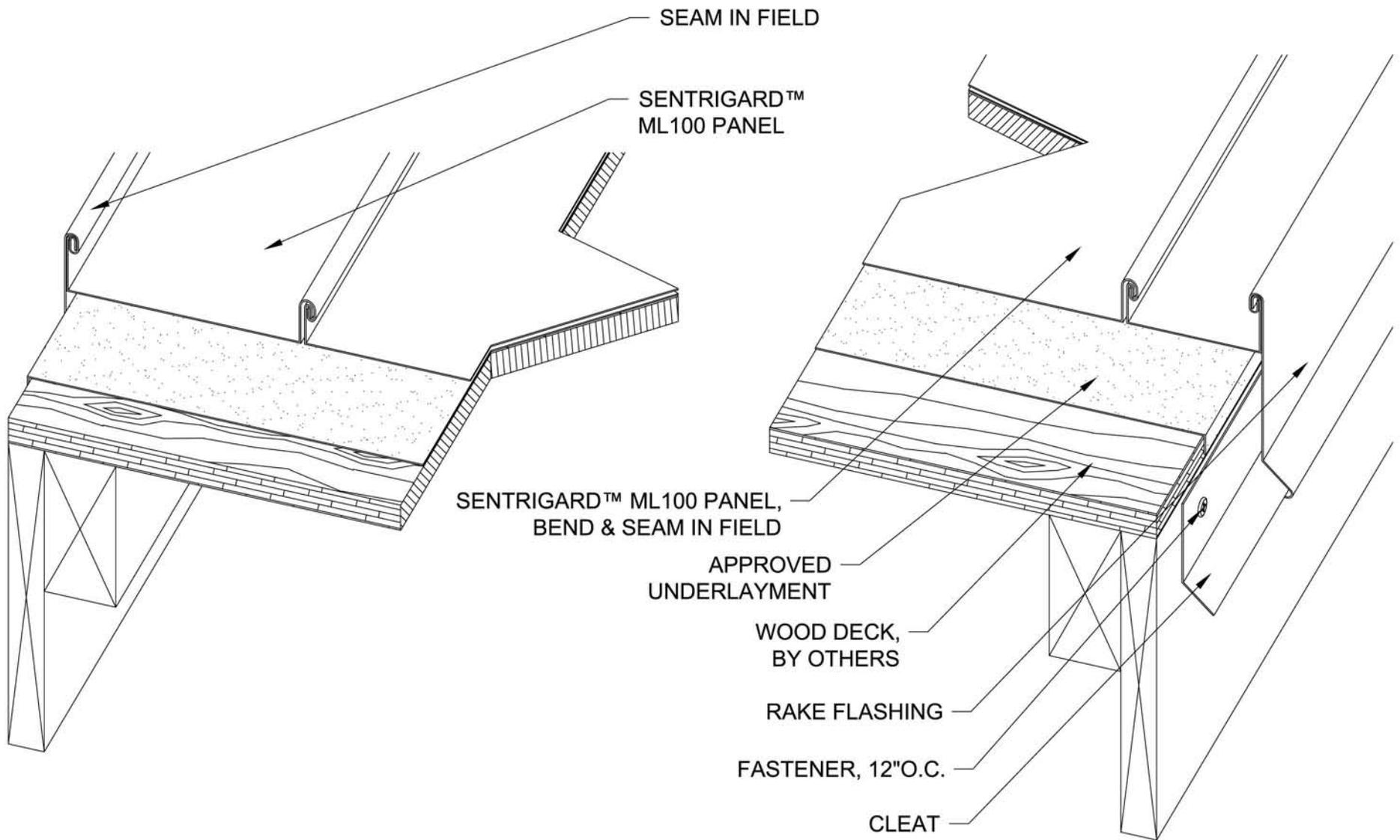
SEINTRIGARD ML 100 EG-1



| | |
|-------------|------------|
| Project: | |
| Contractor: | |
| Designer: | Date: |
| | Scale: N/A |

THIS DRAWING IS THE PROPERTY OF N.B. HANDY CO., INC. THE USE OF THIS DRAWING WITHOUT THE EXPRESS PERMISSION OF N.B. HANDY IS PROHIBITED.

4M Metals Inc.
 201 Red Oaks Way
 Ridgeland, SC 29936
 tel: 843-208-2433 • fax: 843-208-2430



Project:

Contractor:

Designer:

Date:

Scale:
N/A

THIS DRAWING IS THE
PROPERTY OF N.B. HANDY
CO., INC. THE USE OF THIS
DRAWING WITHOUT THE
EXPRESS PERMISSION OF
N.B. HANDY IS PROHIBITED.

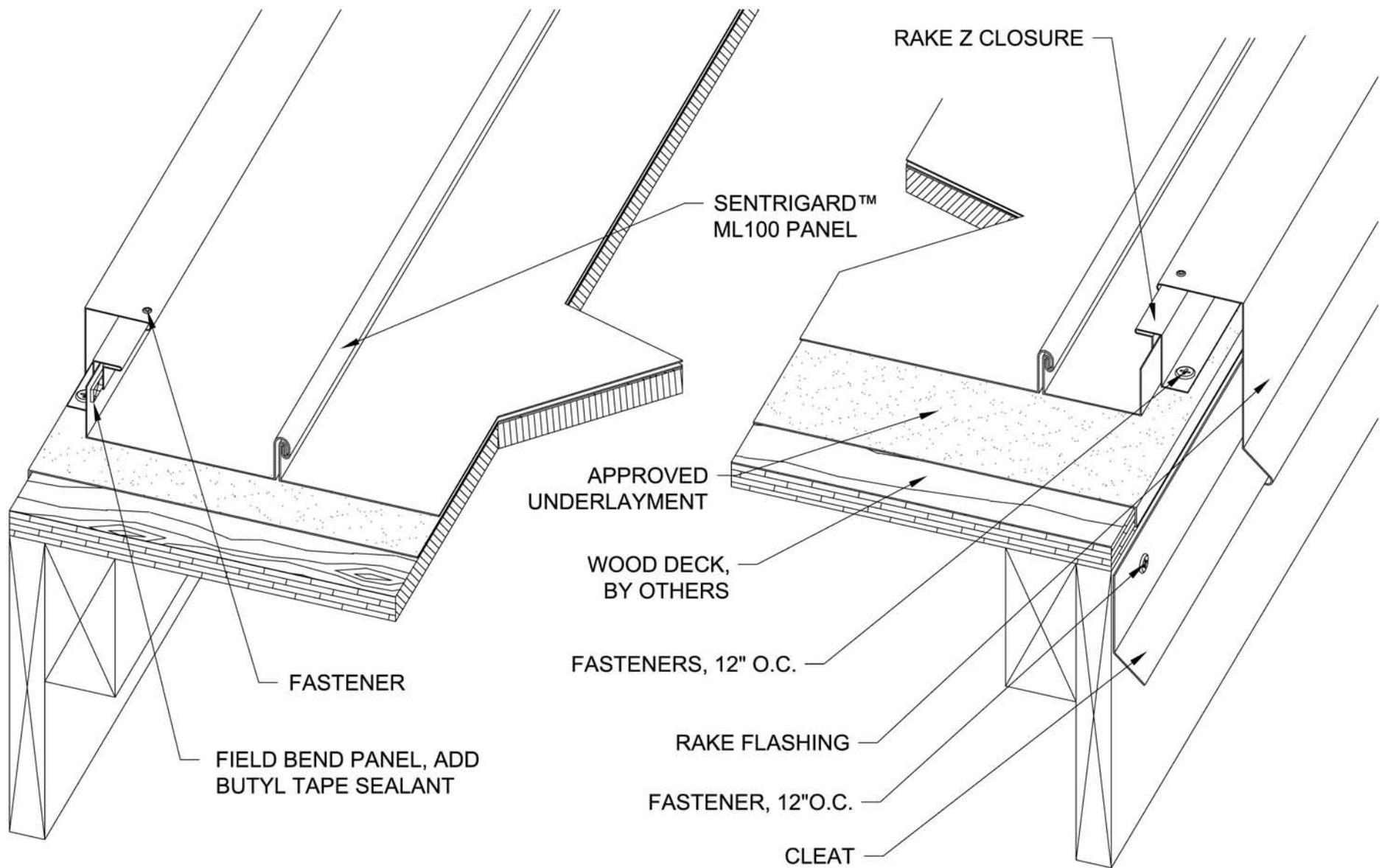
4M Metals Inc.

201 Red Oaks Way

Ridgeland, SC 29936

tel: 843-208-2433 • fax: 843-208-2430

SENTRIGARD ML 100 RK-1



Project:

Contractor:

Designer:

Date:

Scale:
N/A

THIS DRAWING IS THE PROPERTY OF N.B. HANDY CO., INC. THE USE OF THIS DRAWING WITHOUT THE EXPRESS PERMISSION OF N.B. HANDY IS PROHIBITED.

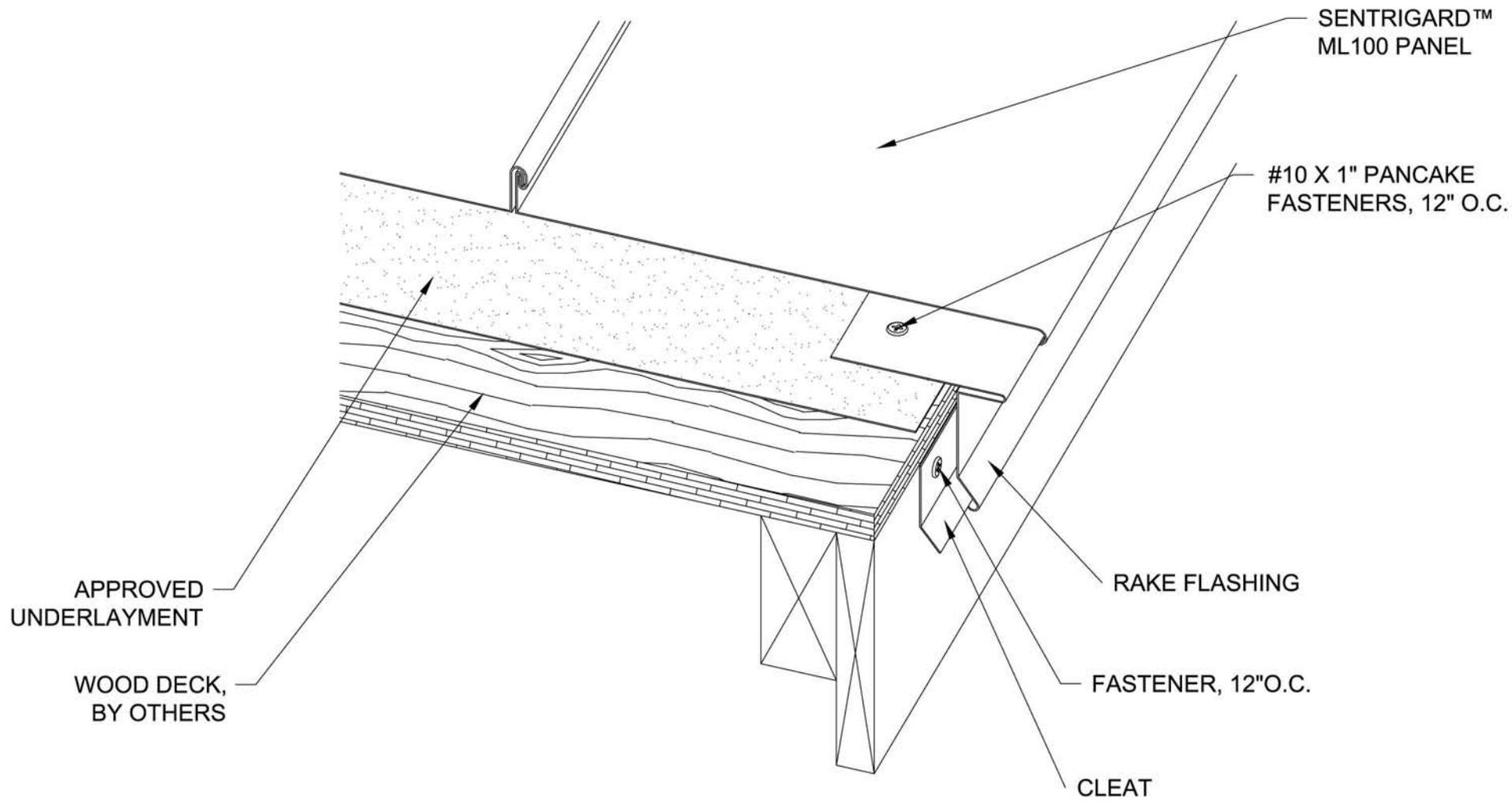
4M Metals Inc.

201 Red Oaks Way

Ridgeland, SC 29936

tel: 843-208-2433 • fax: 843-208-2430

SENRIGARD ML 100 RK-2



Project:

Contractor:

Designer:

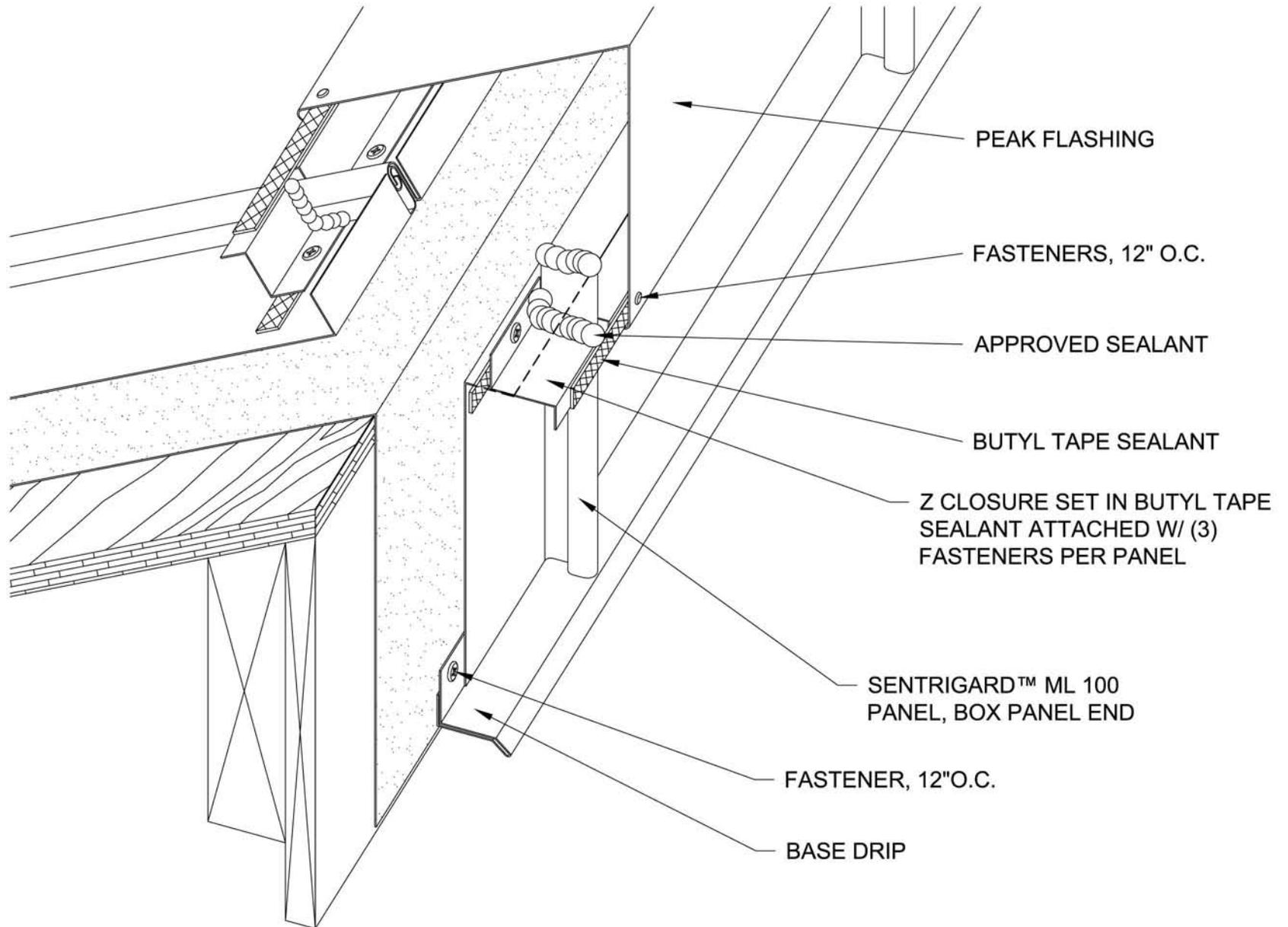
Date:

Scale: N/A

THIS DRAWING IS THE PROPERTY OF N.B. HANDY CO., INC. THE USE OF THIS DRAWING WITHOUT THE EXPRESS PERMISSION OF N.B. HANDY IS PROHIBITED.

4M Metals Inc.
 201 Red Oaks Way
 Ridgeland, SC 29936
 tel: 843-208-2433 • fax: 843-208-2430

SENTRIGARD ML 100 RK-3



Project:

Contractor:

Designer:

Date:

Scale:
N/A

THIS DRAWING IS THE PROPERTY OF N.B. HANDY CO., INC. THE USE OF THIS DRAWING WITHOUT THE EXPRESS PERMISSION OF N.B. HANDY IS PROHIBITED.

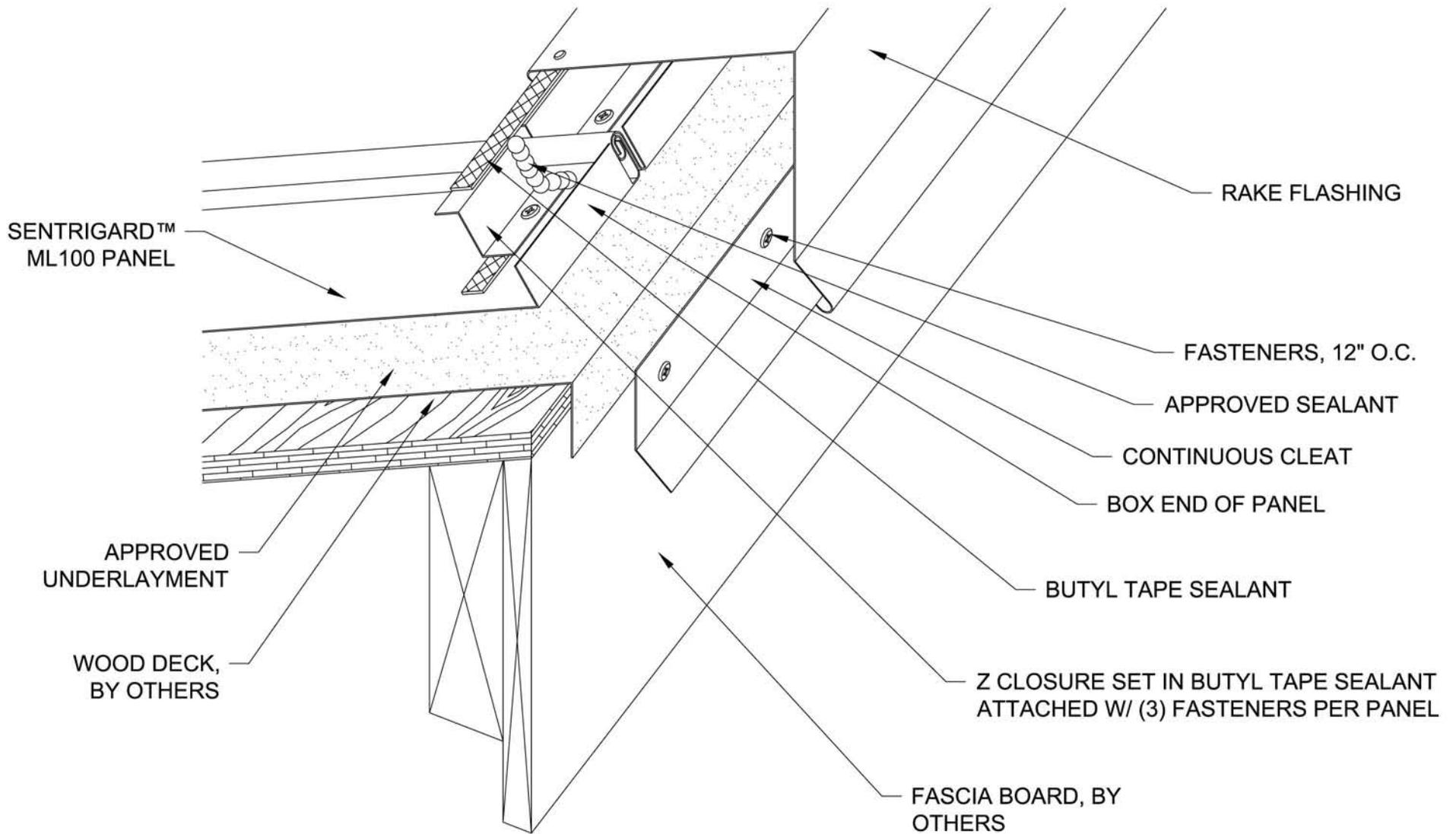
4M Metals Inc.

201 Red Oaks Way

Ridgeland, SC 29936

tel: 843-208-2433 • fax: 843-208-2430

SENRIGARD ML 100 PK-1



Project:

Contractor:

Designer:

Date:

Scale:
N/A

THIS DRAWING IS THE
PROPERTY OF N.B. HANDY
CO., INC. THE USE OF THIS
DRAWING WITHOUT THE
EXPRESS PERMISSION OF
N.B. HANDY IS PROHIBITED.

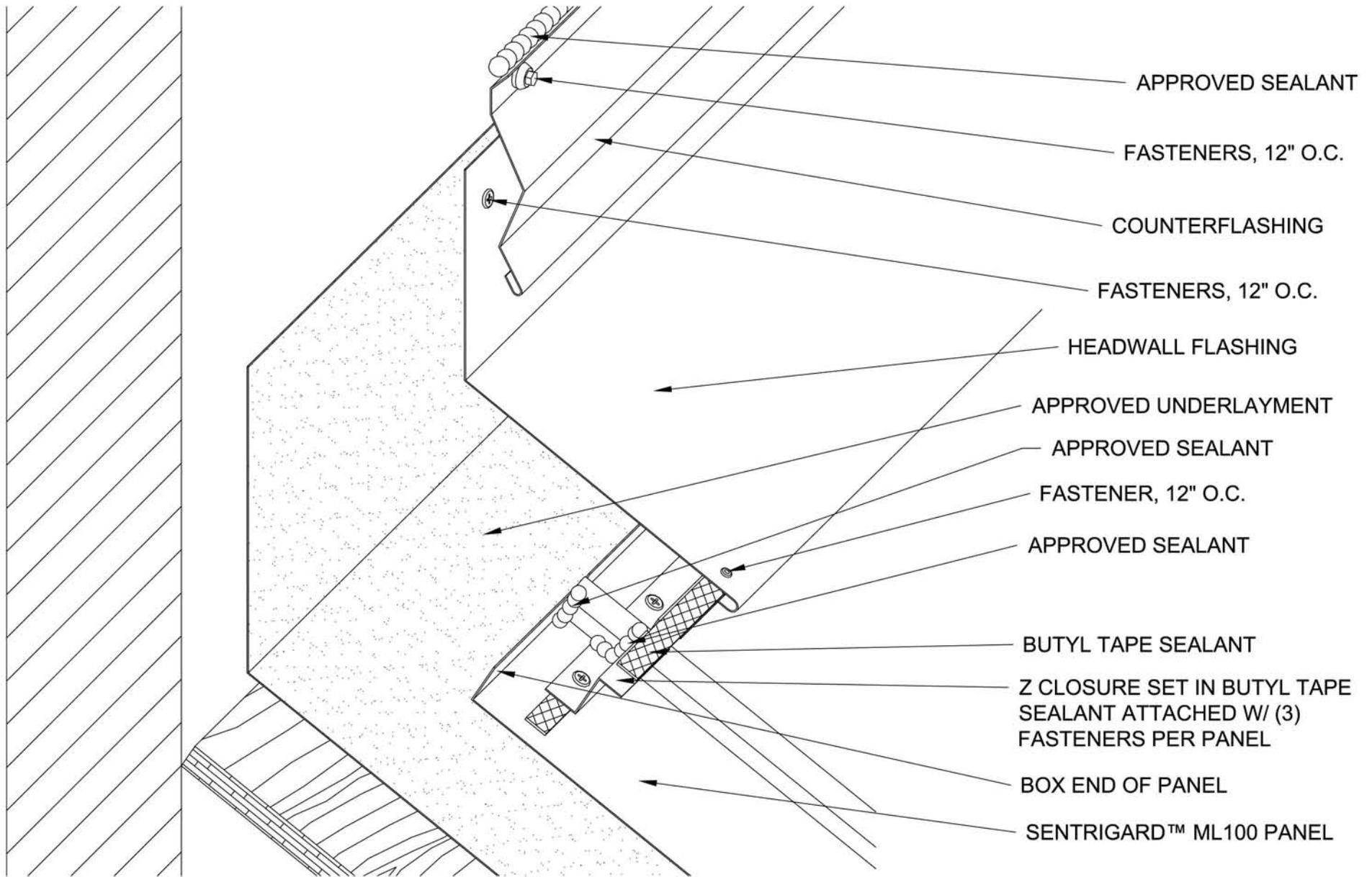
4M Metals Inc.

201 Red Oaks Way

Ridgeland, SC 29936

tel: 843-208-2433 • fax: 843-208-2430

SENTRIGARD ML 100 PK-2

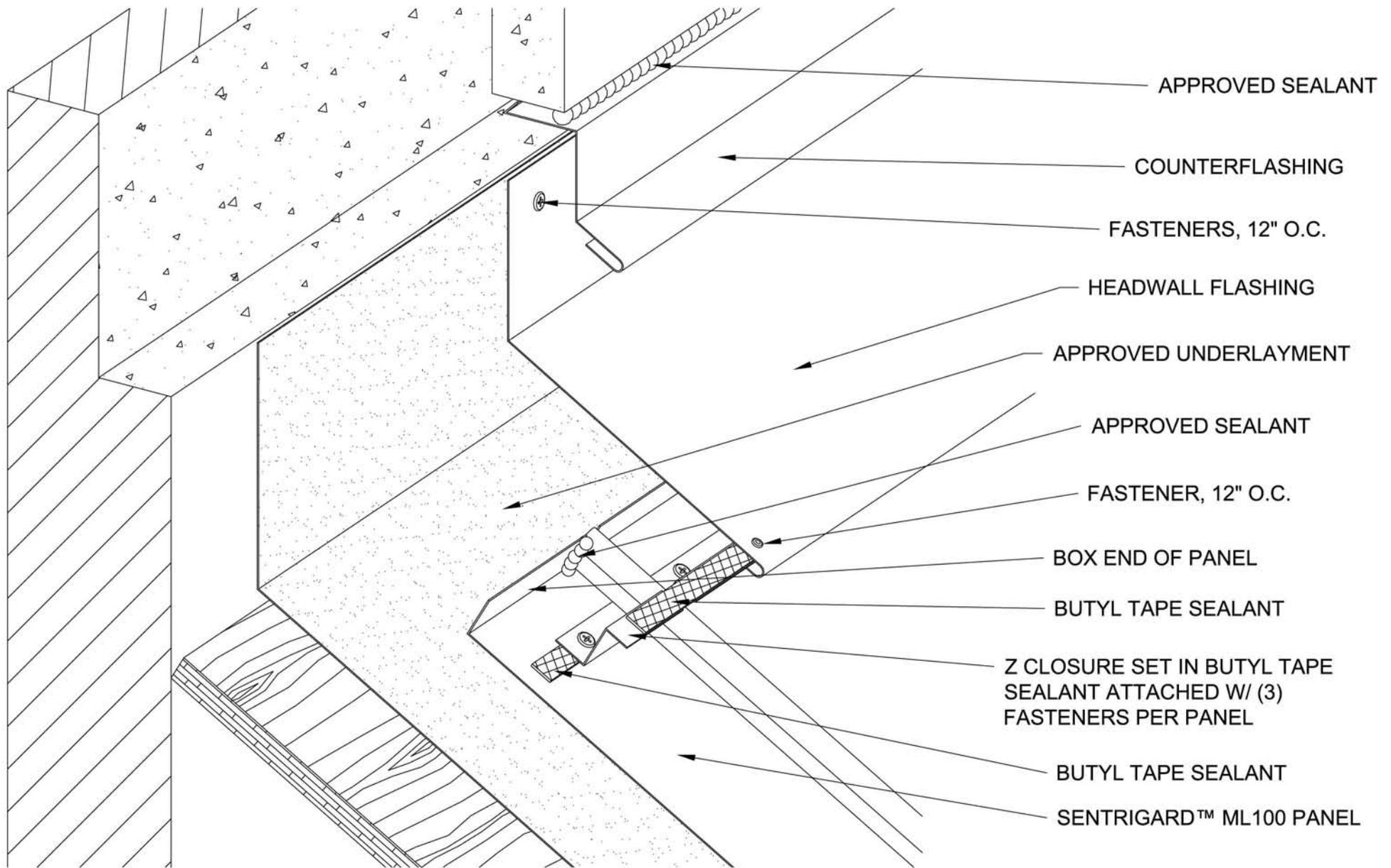


| | | |
|-------------|-------|--------|
| Project: | | |
| Contractor: | | |
| Designer: | Date: | Scale: |
| | | N/A |

THIS DRAWING IS THE PROPERTY OF N.B. HANDY CO., INC. THE USE OF THIS DRAWING WITHOUT THE EXPRESS PERMISSION OF N.B. HANDY IS PROHIBITED.

4M Metals Inc.
 201 Red Oaks Way
 Ridgeland, SC 29936
 tel: 843-208-2433 • fax: 843-208-2430

SENTRIGARD ML 100 HW-1

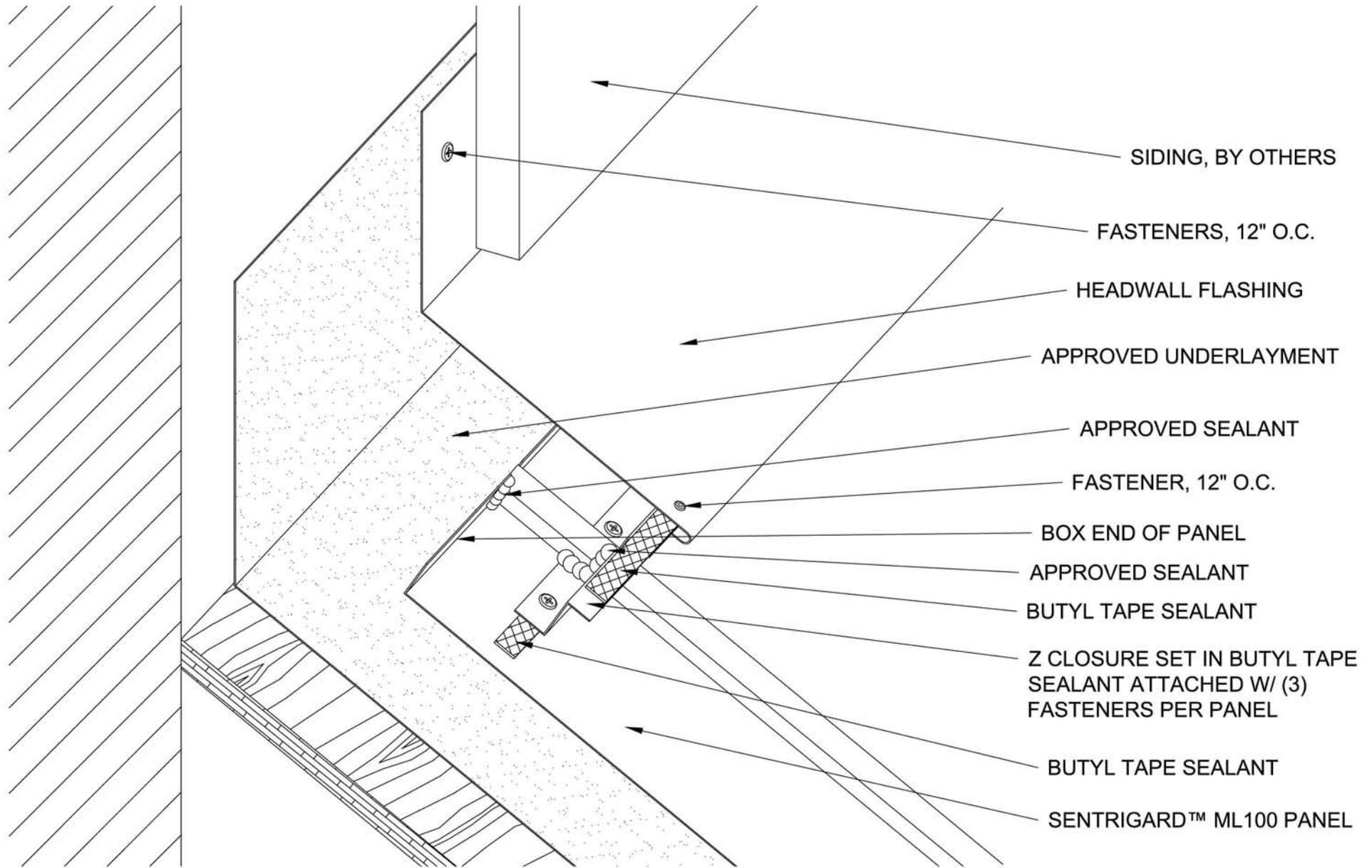


| | | |
|-------------|-------|--------|
| Project: | | |
| Contractor: | | |
| Designer: | Date: | Scale: |
| | | N/A |

THIS DRAWING IS THE PROPERTY OF N.B. HANDY CO., INC. THE USE OF THIS DRAWING WITHOUT THE EXPRESS PERMISSION OF N.B. HANDY IS PROHIBITED.

4M Metals Inc.
 201 Red Oaks Way
 Ridgeland, SC 29936
 tel: 843-208-2433 • fax: 843-208-2430

SENTRIGARD ML 100 HW-2

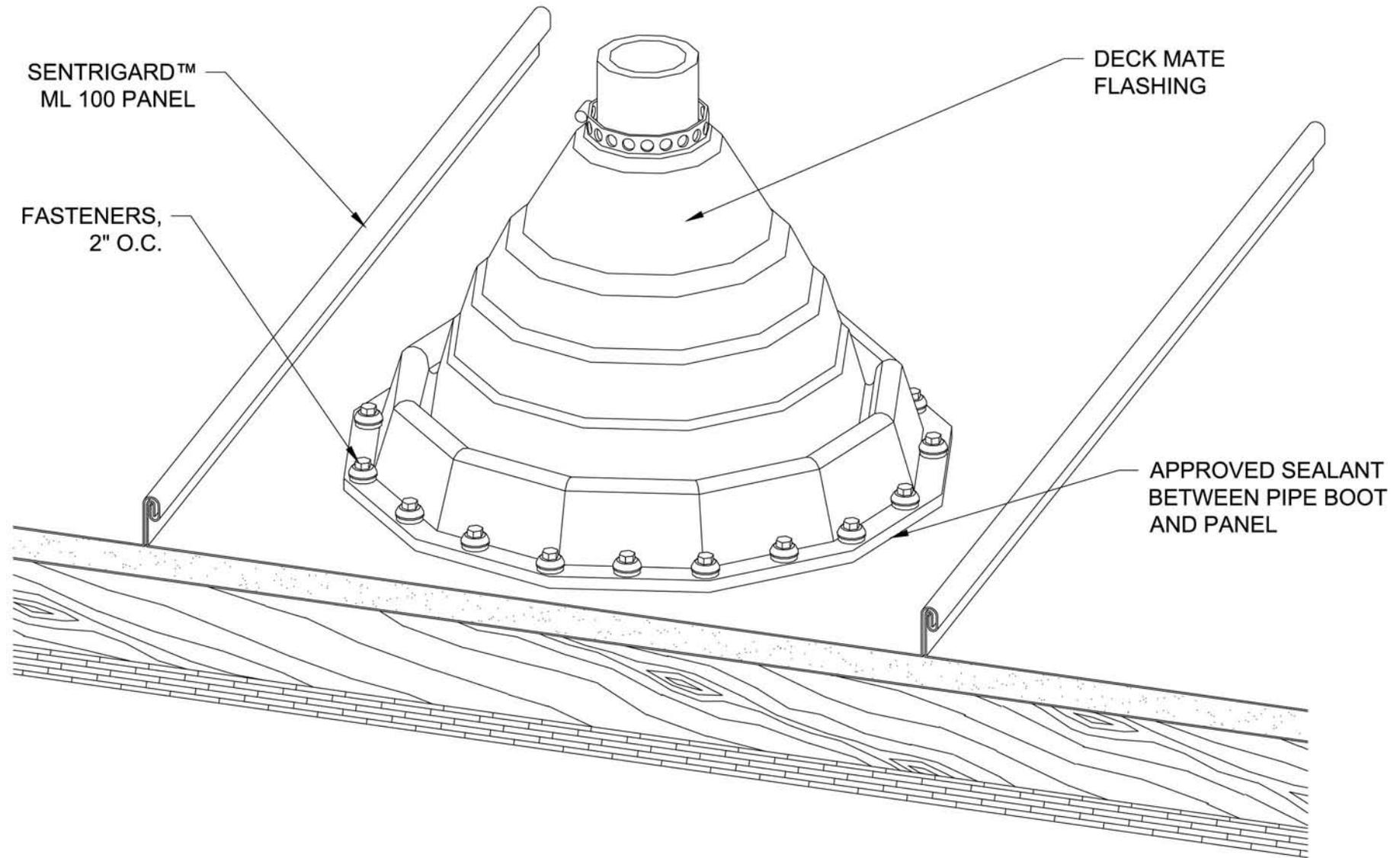


| | | |
|-------------|-------|------------|
| Project: | | |
| Contractor: | | |
| Designer: | Date: | Scale: N/A |

THIS DRAWING IS THE PROPERTY OF N.B. HANDY CO., INC. THE USE OF THIS DRAWING WITHOUT THE EXPRESS PERMISSION OF N.B. HANDY IS PROHIBITED.

4M Metals Inc.
 201 Red Oaks Way
 Ridgeland, SC 29936
 tel: 843-208-2433 • fax: 843-208-2430

SENTRIGARD ML 100 HW-3



Project:

Contractor:

Designer:

Date:

Scale:
N/A

THIS DRAWING IS THE
PROPERTY OF N.B. HANDY
CO., INC. THE USE OF THIS
DRAWING WITHOUT THE
EXPRESS PERMISSION OF
N.B. HANDY IS PROHIBITED.

4M Metals Inc.

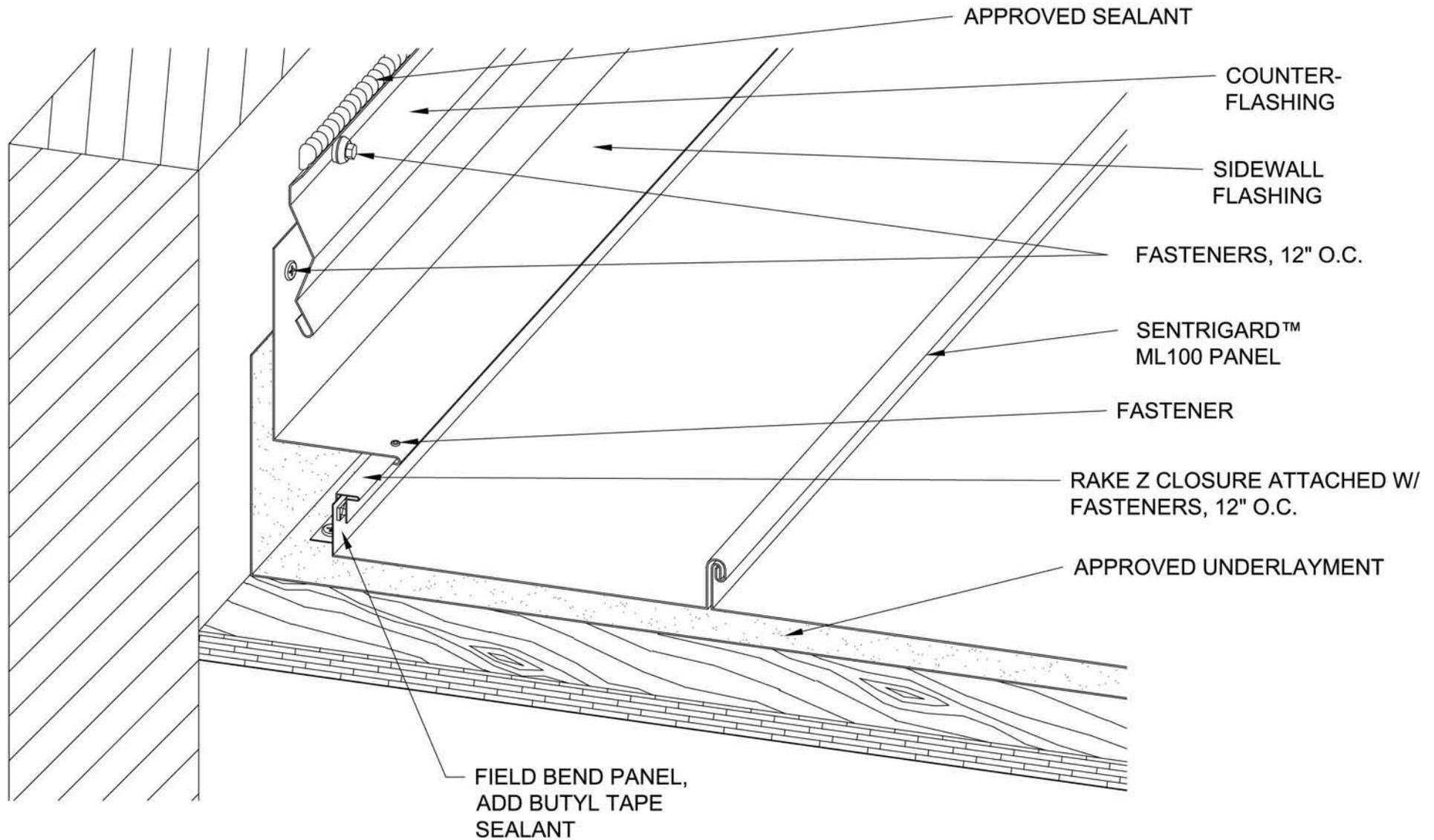
201 Red Oaks Way

Ridgeland, SC 29936

tel: 843-208-2433 • fax: 843-208-2430

SENTRIGARD ML 100

P-1



Project:

Contractor:

Designer:

Date:

Scale:
N/A

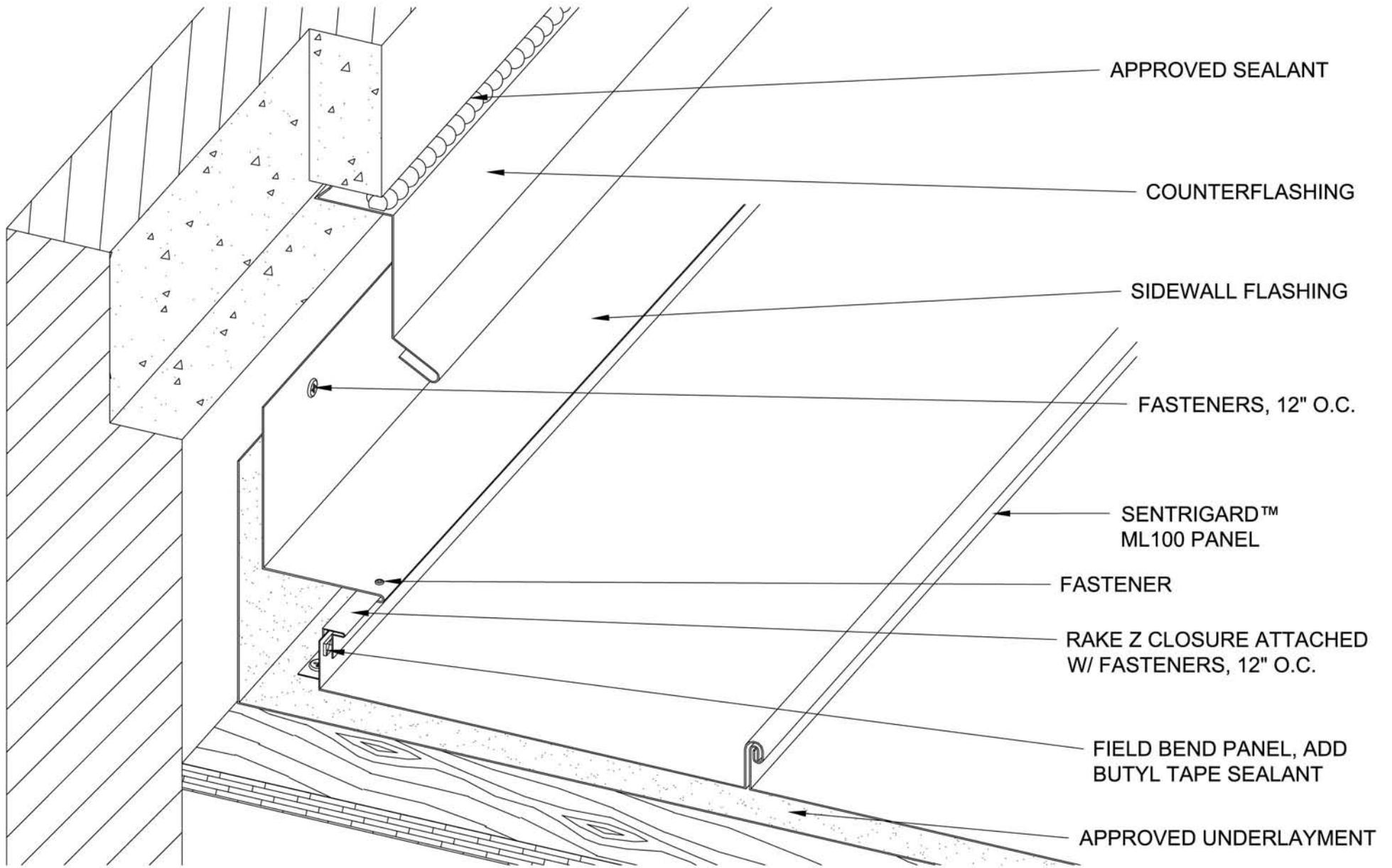
THIS DRAWING IS THE PROPERTY OF N.B. HANDY CO., INC. THE USE OF THIS DRAWING WITHOUT THE EXPRESS PERMISSION OF N.B. HANDY IS PROHIBITED.

4M Metals Inc.

201 Red Oaks Way
Ridgeland, SC 29936

tel: 843-208-2433 • fax: 843-208-2430

SENTRIGARD ML 100 SW-1



Project:

Contractor:

Designer:

Date:

Scale:
N/A

THIS DRAWING IS THE
PROPERTY OF N.B. HANDY
CO., INC. THE USE OF THIS
DRAWING WITHOUT THE
EXPRESS PERMISSION OF
N.B. HANDY IS PROHIBITED.

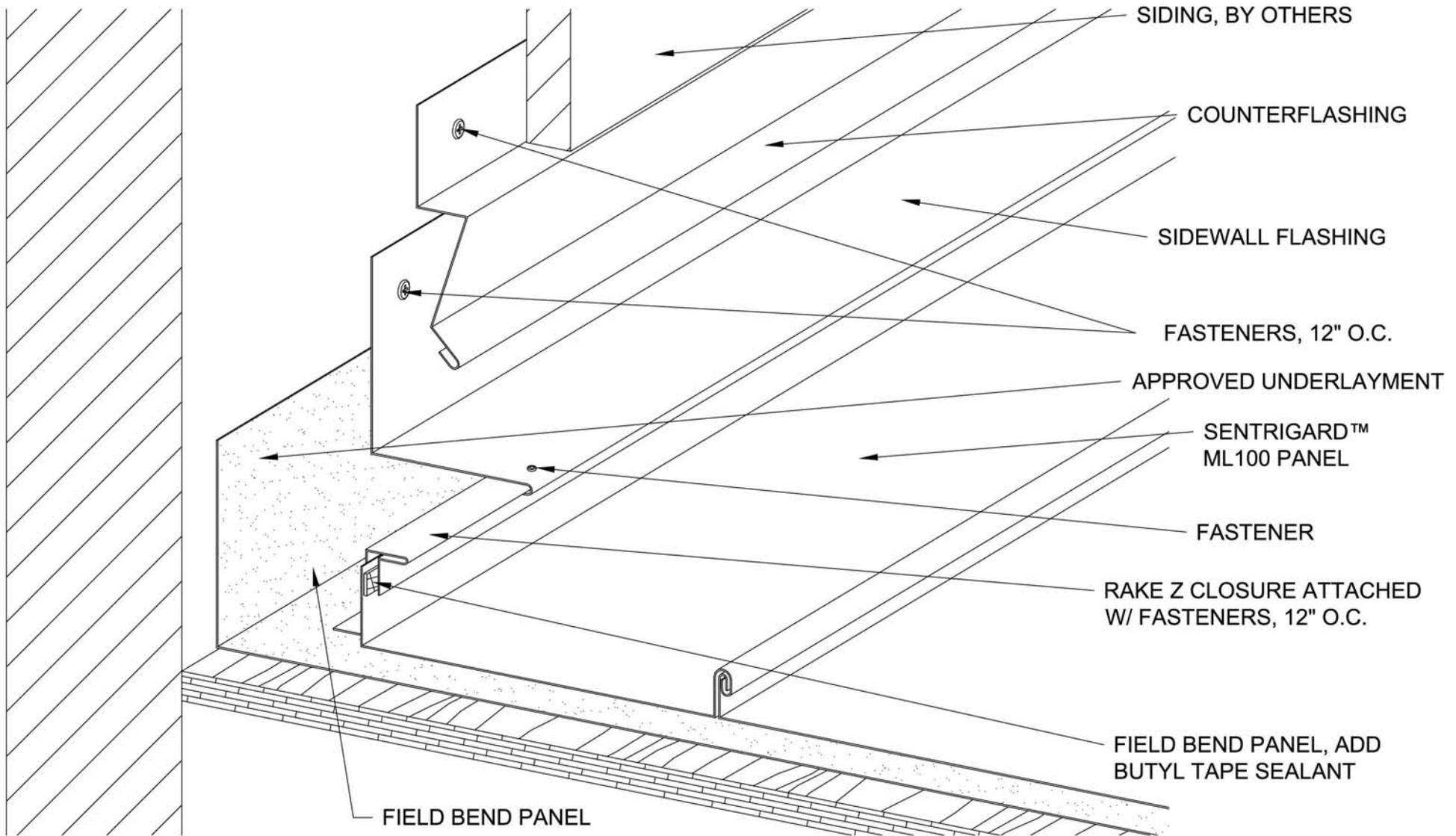
4M Metals Inc.

201 Red Oaks Way

Ridgeland, SC 29936

tel: 843-208-2433 • fax: 843-208-2430

SENTRIGARD ML 100 SW-2



Project:

Contractor:

Designer:

Date:

Scale: N/A

THIS DRAWING IS THE PROPERTY OF N.B. HANDY CO., INC. THE USE OF THIS DRAWING WITHOUT THE EXPRESS PERMISSION OF N.B. HANDY IS PROHIBITED.

4M Metals Inc.
 201 Red Oaks Way
 Ridgeland, SC 29936
 tel: 843-208-2433 • fax: 843-208-2430

SENTRIGARD ML 100 SW-3



STANDARD STOCKED ARCHITECTURAL COLOR PALLETTE

CORE COLORS



Regal White □
SR: .70 IE: .85 SRI: 85



Bone White □
SR: .68 IE: .86 SRI: 82



Stone White Δ
SR: .62 IE: .85 SRI: 73



Almond Δ
SR: .63 IE: .86 SRI: 75



Sandstone Δ
SR: .47 IE: .86 SRI: 53



Sierra Tan
SR: .30 IE: .85 SRI: 30



Medium Bronze
SR: .26 IE: .84 SRI: 24



Mansard Brown
SR: .29 IE: .86 SRI: 29



Dark Bronze
SR: .26 IE: .84 SRI: 25



Extra Dark Bronze-
SR: .05 IE: .89 SRI: -1



Patina Green
SR: .25 IE: .87 SRI: 24



Classic Green
SR: .25 IE: .86 SRI: 24



Hartford Green~**
SR: .10 IE: .86 SRI: 4



Teal**
SR: .28 IE: .87 SRI: 28



Military Blue
SR: .31 IE: .87 SRI: 32



Slate Blue
SR: .27 IE: .86 SRI: 26



Regal Blue**
SR: .30 IE: .86 SRI: 30



Terra Cotta
SR: .39 IE: .85 SRI: 42



Banner Red**
SR: .44 IE: .86 SRI: 49



Colonial Red
SR: .31 IE: .87 SRI: 31



Brandywine**
SR: .27 IE: .87 SRI: 27



Dove Gray
SR: .49 IE: .87 SRI: 56



Slate Gray Δ
SR: .37 IE: .86 SRI: 39



Charcoal
SR: .08 IE: .90 SRI: 4.0



Matte Black
SR: .26 IE: .86 SRI: 25

MICA COLORS



Bright Silver Δ S66**
SR: .55 IE: .77 SRI: 61



Silversmith Δ S15**
SR: .48 IE: .80 SRI: 52



Champagne S20**
SR: .37 IE: .83 SRI: 38



Pewter S11**
SR: .36 IE: .85 SRI: 38



Bright Copper Δ S25**
SR: .41 IE: .85 SRI: 44



Aged Copper Metallic**
SR: .25 IE: .85 SRI: 23

** Featuring a pearlescent mica finish; subject to premium pricing. Colors shown are as close to actual colors as allowed by the printing process. Actual metal samples are available. Colors may appear different when viewed at different angles and under different lighting conditions. Due to product improvements, changes and other factors, we reserve the right to change or delete information herein without prior notice.

□ LEED compliant for low slope and steep slope

Δ LEED compliant for steep slope only

PVDF - 70% polyvinylidene flouride resin paint system

SR = Solar Reflectivity IE = Initial Emissivity SRI = Solar Reflective Index

** DENOTES COLORS SUBJECT TO PREMIUM PRICING

Please check website for most up to date SR, IE, and SRI Values

877-495-7663

www.sentriclad.com

TimberTech
EVERYTHING WOOD SHOULD BE®

OUTDOOR LIVING SOURCE BOOK

Decking, Railing & Accessories | 2025





We looked at the TimberTech
and I was like ... wow, this is real wood!

Mark & Jennifer | Palos Verdes, CA
TimberTech Homeowners



ADVANCED PVC

VINTAGE COLLECTION®

Exotic Hardwoods

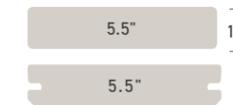
This collection captures the look of sought-after premium hardwoods — with a refined wire-brushed finish and multitone color blending featuring highlights and lowlights.

- Complex, multitone colors to reflect the natural variations in exotic woods
- With an Ignition Resistant designation, Class A Flame Spread Rating, and WUI Compliance, it's the best choice for fire zones
- Design flexibility with Multiwidth Decking in narrow, standard, and wide widths for all colors

NARROW



STANDARD



WIDE



MAX



RISER



FASCIA



Vintage Collection® in Weathered Teak®
Impression Rail Express® in Black with Modern Top Rail



TimberTech Advanced PVC has top-rated fire resistance

No other decking matches the beauty or performance of our **Vintage and Landmark Collections** and features an Ignition Resistant designation, Class A Flame Spread Rating and WUI Compliance.



Ignition Resistant

Ignition-resistant decking is less likely to catch fire compared to traditional and composite decking materials.



Class A Flame Spread Rating

A Class A Flame Spread Rating indicates superior fire resistance, meaning the material is highly effective at inhibiting flame spread.



WUI Compliant

Wildland Urban Interface Compliant materials resist flame spread and catching fire due to flying embers.



Vintage Collection® in Weathered Teak®
Impression Rail Express® in Black with Drink Rail

BEST CHOICE FOR FIRE ZONES

VINTAGE COLLECTION®

ADVANCED PVC

Ignition Resistant | Class A Flame Spread Rating | WUI Compliant

| | | | |
|-----------------|--------------|----------|------------|
| WEATHERED TEAK® | CYPRESS® | MAHOGANY | COASTLINE® |
| ENGLISH WALNUT® | DARK HICKORY | | |

LANDMARK COLLECTION®

ADVANCED PVC

Ignition Resistant | Class A Flame Spread Rating | WUI Compliant

| | | | |
|-------------------|--------------|------------------|------------|
| FRENCH WHITE OAK® | CASTLE GATE™ | AMERICAN WALNUT® | BOARDWALK® |
|-------------------|--------------|------------------|------------|

HARVEST COLLECTION®

ADVANCED PVC

Class B Flame Spread Rating | WUI Compliant

| | | |
|------------|------------|-------|
| SLATE GRAY | BROWNSTONE | KONA® |
|------------|------------|-------|

PORCH COLLECTION

ADVANCED PVC

Class B Flame Spread Rating | WUI Compliant

| | | | |
|---------------------|----------------------------|--------------|-----------------|
| OYSTER® | SLATE GRAY | COASTLINE® | WEATHERED TEAK® |
| New CYPRESS® | New ENGLISH WALNUT® | DARK HICKORY | MAHOGANY |

RESERVE COLLECTION

COMPOSITE

WUI Compliant

| | | | |
|------------------|-----------|-------------|---------------------|
| ANTIQUE LEATHER® | DRIFTWOOD | DARK ROAST® | RECLAIMED CHESTNUT™ |
|------------------|-----------|-------------|---------------------|

PREMIER COLLECTION®

COMPOSITE

WUI Compliant

| | |
|----------------|------------|
| MARITIME GRAY™ | DARK TEAK™ |
|----------------|------------|

*Fire-resistant SKUs only

*Square-shouldered boards only

LEARN MORE ABOUT FIRE-RESISTANT DECKING
[TIMBERTECH.COM/FIRE](https://www.timbertech.com/fire)



Two performance materials in more than 30 colors & styles

Compare the features, benefits, and value of TimberTech Advanced PVC and Composite.



| COLLECTION | VINTAGE | LANDMARK | New HARVEST+ | HARVEST | LEGACY | RESERVE | TERRAIN+ | TERRAIN | PRIME+ | PRIME / PREMIER |
|---------------------|--|---------------------|---------------------------|--|---|-------------------------------------|----------|---------|---|-----------------|
| MATERIAL | CAPPED PVC | | | | FOUR-SIDED CAPPED COMPOSITE | | | | THREE - SIDED CAPPED COMPOSITE | |
| WARRANTY | Limited Lifetime Product Warranty; 50-Year Limited Fade & Stain Warranty | | | | 30-Year Limited Product and Fade & Stain Warranty | | | | 25-Year Limited Product and Fade & Stain Warranty | |
| FIRE ZONE | Ignition Resistant designation, Class A Flame Spread Rating, and WUI Compliant | | Pending testing | WUI Compliant | - | Reserve FR collection WUI Compliant | - | - | Premier Square-shouldered Boards WUI Compliant | |
| HEAT RESISTANCE | Stays up to 30° cooler to the touch than competitive composite decking* | | | | Average heat resistance | | | | | |
| SLIP RESISTANCE | Up to 40% better slip resistance, wet or dry, than leading competitor | | | | Average slip resistance | | | | | |
| VALUE | PREMIUM | PREMIUM | PREMIUM | UPGRADE | PREMIUM | PREMIUM | UPGRADE | UPGRADE | STANDARD | STANDARD |
| MOISTURE RESISTANCE | BEST | BEST | BEST | BEST | BETTER | BETTER | BETTER | BETTER | GOOD | GOOD |
| MULTIWIDTH DECKING | Available in 3 widths | Standard width only | Standard width only | Slate Gray & Brownstone in wide & standard width | Standard width only | | | | | |
| GRAYS | | | New | | | | | | | |
| BROWNS | | | | | | | | | | |
| TANS | | | New | | | | | | | |

*Although TimberTech Advanced PVC decking is cooler to the touch than many other composite deck board products, all decking products will get hot in the sun. Additionally, the darker the decking color, the hotter it will feel. For hotter climates, consider choosing a lighter color.

All printed samples are carefully reproduced to be as close to the actual sample as possible. Actual colors may vary due to printing limitations.

DOUBLE HUNG

| MO (mm) | 1-10 (559) | 2-2 (660) | 2-6 (762) | 2-8 (813) | 2-10 (864) |
|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|
| RO (mm) | 1-10 1/2 (572) | 2-2 1/2 (673) | 2-6 1/2 (775) | 2-8 1/2 (826) | 2-10 1/2 (876) |
| FS (mm) | 1-9 1/2 (546) | 2-1 1/2 (648) | 2-5 1/2 (749) | 2-7 1/2 (800) | 2-9 1/2 (851) |
| DLO (mm) | 1-3 11/16 (398) | 1-7 11/16 (500) | 1-11 11/16 (602) | 2-1 11/16 (652) | 2-3 11/16 (703) |
| 6-4 (1930) | 3-0 (914) | 3-0 (914) | 3-0 (914) | 3-0 (914) | 3-0 (914) |
| 6-0 (1829) | 3-0 (914) | 3-0 (914) | 3-0 (914) | 3-0 (914) | 3-0 (914) |
| 6-0 1/4 (1835) | 3-0 1/4 (921) | 3-0 1/4 (921) | 3-0 1/4 (921) | 3-0 1/4 (921) | 3-0 1/4 (921) |
| 6-3 3/4 (1924) | 2-11 3/4 (908) | 2-11 3/4 (908) | 2-11 3/4 (908) | 2-11 3/4 (908) | 2-11 3/4 (908) |
| 2-9 11/16 (856) | 1-1 11/16 (348) | 1-1 11/16 (348) | 1-1 11/16 (348) | 1-1 11/16 (348) | 1-1 11/16 (348) |
| (S.O. 1-8 x 6-2) | (S.O. 1-8 x 2-10) |
| ELDH2276 | ELDH2236 | ELDH2636 | ELDH3036 | ELDH3236 | ELDH3436 |
| (S.O. 2-0 x 6-2) | (S.O. 2-0 x 3-2) |
| ELDH2676 | ELDH2240 | ELDH2640 | ELDH3040 | ELDH3240 | ELDH3440 |
| (S.O. 2-4 x 6-2) | (S.O. +8 x 3-6) | (S.O. 2-4 x 3-6) | (S.O. 2-4 x 3-6) | (S.O. 2-4 x 3-6) | (S.O. 2-4 x 3-6) |
| ELDH3076 E | ELDH2244 | ELDH2644 | ELDH3044 | ELDH3244 | ELDH3444 |
| (S.O. 2-6 x 6-2) | (S.O. 1-8 x 3-10) | (S.O. 2-0 x 3-10) | (S.O. 2-4 x 3-10) | (S.O. 2-6 x 3-10) | (S.O. 2-8 x 3-10) |
| ELDH3276 E | ELDH2248 | ELDH2648 | ELDH3048 | ELDH3248 | ELDH3448 |
| (S.O. 2-8 x 6-2) | (S.O. 1-8 x 4-2) | (S.O. 2-0 x 4-2) | (S.O. 2-4 x 4-2) | (S.O. 2-6 x 4-2) | (S.O. 2-8 x 4-2) |
| ELDH3476 E | ELDH2252 | ELDH2652 | ELDH3052 | ELDH3252 | ELDH3452 |
| (S.O. 1-8 x 5-10) | (S.O. +8 x 4-6) | (S.O. 2-0 x 4-6) | (S.O. 2-4 x 4-6) | (S.O. 2-6 x 4-6) | (S.O. 2-8 x 4-6) |
| ELDH3272 E | ELDH2256 | ELDH2656 | ELDH3056 | ELDH3256 | ELDH3456 |
| (S.O. 2-0 x 5-10) | (S.O. 1-8 x 4-10) | (S.O. 2-0 x 4-10) | (S.O. 2-4 x 4-10) | (S.O. 2-6 x 4-10) | (S.O. 2-8 x 4-10) |
| ELDH3472 E | ELDH2260 | ELDH2660 | ELDH3060 | ELDH3260 | ELDH3460 |
| (S.O. 2-4 x 5-2) | (S.O. 1-8 x 5-2) | (S.O. 2-0 x 5-2) | (S.O. 2-4 x 5-2) | (S.O. 2-6 x 5-2) | (S.O. 2-8 x 5-2) |
| ELDH3072 | ELDH2264 | ELDH2664 | ELDH3064 | ELDH3264 | ELDH3464 |
| (S.O. 2-6 x 5-10) | (S.O. 2-0 x 5-6) | (S.O. 2-0 x 5-6) | (S.O. 2-4 x 5-6) | (S.O. 2-6 x 5-6) | (S.O. 2-8 x 5-6) |
| ELDH3272 E | ELDH2268 | ELDH2668 | ELDH3068 | ELDH3268 E | ELDH3468 E |
| (S.O. 2-8 x 5-10) | (S.O. +8 x 5-6) | (S.O. 2-0 x 5-6) | (S.O. 2-4 x 5-6) | (S.O. 2-6 x 5-6) | (S.O. 2-8 x 5-6) |
| ELDH3472 E | ELDH2272 | ELDH2672 | ELDH3072 | ELDH3272 E | ELDH3472 E |
| (S.O. 1-8 x 6-2) | (S.O. 1-8 x 5-6) | (S.O. 2-0 x 5-6) | (S.O. 2-4 x 5-6) | (S.O. 2-6 x 5-6) | (S.O. 2-8 x 5-6) |
| ELDH3276 E | ELDH2268 | ELDH2668 | ELDH3068 | ELDH3268 E | ELDH3468 E |
| (S.O. 2-6 x 6-2) | (S.O. 1-8 x 5-2) | (S.O. 2-0 x 5-2) | (S.O. 2-4 x 5-2) | (S.O. 2-6 x 5-2) | (S.O. 2-8 x 5-2) |
| ELDH3476 E | ELDH2264 | ELDH2664 | ELDH3064 | ELDH3264 | ELDH3464 |
| (S.O. 2-8 x 6-2) | (S.O. 1-8 x 4-10) | (S.O. 2-0 x 4-10) | (S.O. 2-4 x 4-10) | (S.O. 2-6 x 4-10) | (S.O. 2-8 x 4-10) |
| ELDH3076 E | ELDH2260 | ELDH2660 | ELDH3060 | ELDH3260 | ELDH3460 |
| (S.O. 2-4 x 6-2) | (S.O. 1-8 x 4-6) | (S.O. 2-0 x 4-6) | (S.O. 2-4 x 4-6) | (S.O. 2-6 x 4-6) | (S.O. 2-8 x 4-6) |
| ELDH3276 E | ELDH2256 | ELDH2656 | ELDH3056 | ELDH3256 | ELDH3456 |
| (S.O. 2-6 x 6-2) | (S.O. 1-8 x 4-2) | (S.O. 2-0 x 4-2) | (S.O. 2-4 x 4-2) | (S.O. 2-6 x 4-2) | (S.O. 2-8 x 4-2) |
| ELDH3476 E | ELDH2252 | ELDH2652 | ELDH3052 | ELDH3252 | ELDH3452 |
| (S.O. 2-8 x 6-2) | (S.O. 1-8 x 3-10) | (S.O. 2-0 x 3-10) | (S.O. 2-4 x 3-10) | (S.O. 2-6 x 3-10) | (S.O. 2-8 x 3-10) |
| ELDH3076 E | ELDH2248 | ELDH2648 | ELDH3048 | ELDH3248 | ELDH3448 |
| (S.O. 2-0 x 6-2) | (S.O. 1-8 x 3-6) | (S.O. 2-0 x 3-6) | (S.O. 2-4 x 3-6) | (S.O. 2-6 x 3-6) | (S.O. 2-8 x 3-6) |
| ELDH3276 E | ELDH2244 | ELDH2644 | ELDH3044 | ELDH3244 | ELDH3444 |
| (S.O. 2-4 x 6-2) | (S.O. +8 x 3-2) | (S.O. 2-0 x 3-2) | (S.O. 2-4 x 3-2) | (S.O. 2-6 x 3-2) | (S.O. 2-8 x 3-2) |
| ELDH3476 E | ELDH2240 | ELDH2640 | ELDH3040 | ELDH3240 | ELDH3440 |
| (S.O. 2-6 x 6-2) | (S.O. 1-8 x 2-10) | (S.O. 2-0 x 2-10) | (S.O. 2-4 x 2-10) | (S.O. 2-6 x 2-10) | (S.O. 2-8 x 2-10) |
| ELDH3076 E | ELDH2236 | ELDH2636 | ELDH3036 | ELDH3236 | ELDH3436 |
| (S.O. 2-8 x 6-2) | (S.O. 1-8 x 2-10) | (S.O. 2-0 x 2-10) | (S.O. 2-4 x 2-10) | (S.O. 2-6 x 2-10) | (S.O. 2-8 x 2-10) |
| ELDH3276 E | ELDH2236 | ELDH2636 | ELDH3036 | ELDH3236 | ELDH3436 |
| (S.O. 2-0 x 6-2) | (S.O. 1-8 x 2-10) | (S.O. 2-0 x 2-10) | (S.O. 2-4 x 2-10) | (S.O. 2-6 x 2-10) | (S.O. 2-8 x 2-10) |
| ELDH3476 E | ELDH2236 | ELDH2636 | ELDH3036 | ELDH3236 | ELDH3436 |

DOUBLE HUNG

| MO (mm) | 3-0 (914) | 3-2 (965) | 3-6 (1067) | 4-0 (1219) | 4-6 (1372) |
|--------------------|-----------------|-----------------|------------------|------------------|-------------------|
| RO (mm) | 3-0 1/2 (927) | 3-2 1/2 (978) | 3-6 1/2 (1080) | 4-0 1/2 (1232) | 4-6 1/2 (1384) |
| FS (mm) | 2-11 1/2 (902) | 3-1 1/2 (953) | 3-5 1/2 (1054) | 3-11 1/2 (1207) | 4-5 1/2 (1359) |
| DLO (mm) | 2-5 11/16 (754) | 2-7 11/16 (805) | 2-11 11/16 (906) | 3-5 11/16 (1059) | 3-11 11/16 (1211) |
| 3-0 (914) | | | | | |
| 3-0 1/4 (921) | | | | | |
| 3-0 1/2 (927) | | | | | |
| 3-0 3/4 (908) | | | | | |
| 3-1 1/16 (348) | | | | | |
| 3-4 (1016) | | | | | |
| 3-4 1/4 (1022) | | | | | |
| 3-4 1/2 (1010) | | | | | |
| 3-3 3/4 (908) | | | | | |
| 3-3 11/16 (388) | | | | | |
| 3-8 (1176) | | | | | |
| 3-8 1/4 (1124) | | | | | |
| 3-7 3/4 (1111) | | | | | |
| 1-5 11/16 (449) | | | | | |
| 4-0 (1219) | | | | | |
| 4-0 1/4 (1226) | | | | | |
| 4-0 1/2 (1210) | | | | | |
| 4-11 3/4 (1213) | | | | | |
| 1-7 11/16 (500) | | | | | |
| 4-4 (1321) | | | | | |
| 4-4 1/4 (1327) | | | | | |
| 4-3 3/4 (1314) | | | | | |
| 1-9 11/16 (551) | | | | | |
| 4-8 (1422) | | | | | |
| 4-8 1/4 (1429) | | | | | |
| 4-7 3/4 (1416) | | | | | |
| 1-11 11/16 (602) | | | | | |
| 5-0 (1524) | | | | | |
| 5-0 1/4 (1530) | | | | | |
| 4-11 3/4 (1518) | | | | | |
| 2-1 11/16 (652) | | | | | |
| 5-4 (1626) | | | | | |
| 5-4 1/4 (1632) | | | | | |
| 5-3 3/4 (1619) | | | | | |
| 2-3 11/16 (703) | | | | | |
| 5-8 (1727) | | | | | |
| 5-8 1/4 (1734) | | | | | |
| 5-7 3/4 (1721) | | | | | |
| 2-5 11/16 (754) | | | | | |
| 6-0 (1829) | | | | | |
| 6-0 1/4 (1835) | | | | | |
| 5-11 3/4 (1822) | | | | | |
| 2-7 11/16 (805) | | | | | |
| 6-4 (1930) | | | | | |
| 6-4 1/4 (1937) | | | | | |
| 6-3 3/4 (1924) | | | | | |
| 2-9 11/16 (856) | | | | | |
| (S.O. 2-10 x 6-2) | | | | | |
| (S.O. 2-10 x 5-10) | | | | | |
| (S.O. 2-10 x 5-6) | | | | | |
| (S.O. 2-10 x 5-2) | | | | | |
| (S.O. 2-10 x 4-10) | | | | | |
| (S.O. 2-10 x 4-6) | | | | | |
| (S.O. 2-10 x 4-2) | | | | | |
| (S.O. 2-10 x 3-10) | | | | | |
| (S.O. 2-10 x 3-6) | | | | | |
| (S.O. 2-10 x 3-2) | | | | | |
| (S.O. 2-10 x 2-10) | | | | | |

Details and Elevations not to scale.

Special sized units available within and outside of CN matrix. Please contact your Marvin dealer.

Minimum frame size: 17 1/2" x 27 3/4"
 Maximum frame size: 53 1/2" x 83 3/4"

Optional Double Hung GBGs and SDLs are available in a standard Rectangular cut shown. Other available lite cuts shown on page 3.

When ordering 6 9/16" (167 mm) or 6 13/16" (173 mm) jambs, add 1/4" (6 mm) to width and 1/8" (3 mm) to height for Rough Opening, Frame Size and Masonry Opening.

E = These windows meet National Egress Codes for fire evacuation. Local codes may differ.

Available in equal, cottage, and reverse cottage sash configurations. Cottage and reverse cottage sash configurations are not available below CN 36 height and above CN 68 height.

For further details and drawings visit the 'Tools and Documents' section at Marvin.com.

MULTIPLE ASSEMBLIES

Multiple assemblies can be factory mullied.

MAXIMUM ROUGH OPENING not to exceed 113 1/2" x 76 1/4" Maximum up to 5 units wide by 1 unit high.

MAXIMUM ROUGH OPENING not to exceed 84" x 92" Maximum up to 3 units wide by 5 units high.

Field mull kits are available. Structural mullion reinforcement is required for some assemblies.

Please consult your local Marvin representative for more information.



What can we help you find?

0 - \$0.00

Paints & Supplies Find Color Project Center For Pros Special Offers

Color White Paint Colors **SW 7004 Snowbound**

SW 7757

SW 7004

SW 7003

SW 7028

SW 7014

SW 7646

SW 7648

SAVE

September 2022 Color of the Month

SW 7004

Snowbound

FULL DETAILS

With its slight gray undertone, this versatile cool white pairs well with other gray-influenced colors. Like stepping into a snowy glade.

Get this color in a:



Color Sample



Paint Sample



Interior Paint



Exterior Paint



Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color sample.

Coordinating Colors

 Colonnade Gray
SW 7641

 Autumn Orchid
SW 9157

See Snowbound work in any room



BEDROOM

LIVING ROOM

KITCHEN

BATHROOM



Home

Products



Call (866) 249-1918



OUR PRODUCTS

- Browse All Products

- New Products

CopperSmith Lanterns

Landscape Lighting

Custom Design

Line Drawings

LIGHTING OPTIONS

- Wildlife Lighting

- Adhara Dark Sky

- Weiyang

- E-lyte®

- Automatic Shut-Off Valve

- LED Flame Simulation

ACCESSORIES

- Browse All Accessories

- Decorative Castors

- Hook & Scroll

- Hanging Options

- Wall Mount & Moustache

- Post & Pier Mount

Biltmore



ALL BILTMORE LIGHTING

- Amherst Collection

- Butler Hill Collection

- Approach Collection

- Arcus Collection

- Aurora Collection

- Gala Collection

- Pinnacle Collection

- Traveler Collection

- Traveler Flush Collection

- Vestibule Collection

ABOUT

Gallery



Image Gallery

Video Gallery

Support



CONTEMPO FLUSH COLLECTION

Contempo Flush Collection

A popular design from The CopperSmith, the Contempo Lanterns are the embodiment of sleek and contemporary. At home inside or out, the Contempo Flush Mount Lantern is a modern take on the traditional style copper lantern.

Please view your available mount and accessory options below. For more information, select the How to Order button.

FINISHES:



ANTIQUÉ COPPER



MATTE BLACK



GRAPHITE



OIL RUBBED BRONZE



STARDUST SILVER

HOW TO ORDER

SHARE



Features

Contempo Flush Features:

- Solid 20 oz copper construction
- Riveted and soldered construction
- Solid brass hinges, door latches, and hardware
- Solid copper and brass light clusters
- Forged brass gas valves, stems, and burner tips
- Full heat-tempered glass panels
- Marine-grade aluminum accessories
- Powder-coated accessories
- CSA certified
- Multiple power sources
- Recessed doors
- Custom brass finials

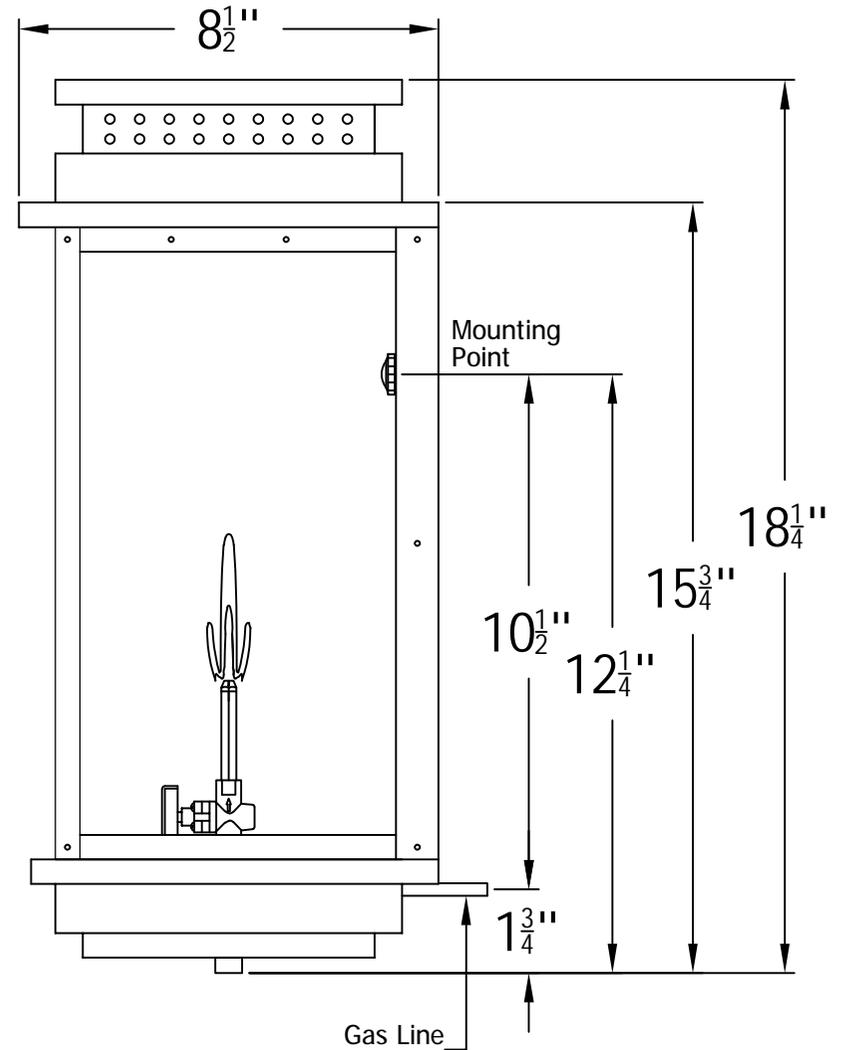
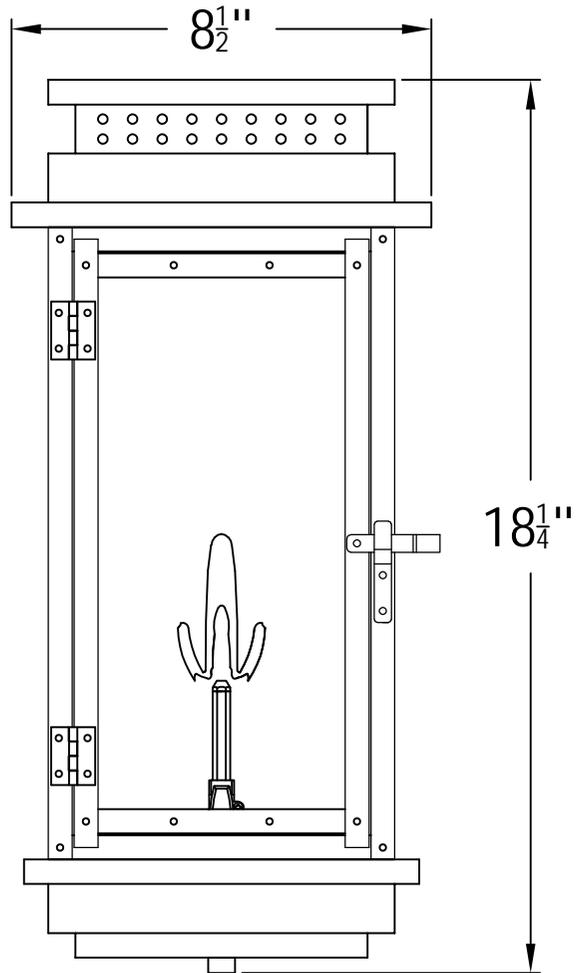


SHARE

 Flame Information



CONTEMPO FLUSH 18 Gas(FCO-18G)



The CopperSmith (BDT)

| | | |
|---------------------------|-------------------------|-------------------------------------|
| Product Description | Drawing Description | 9152 Hard Drive |
| Burner: Single | REV: A/0 | Foley Alabama 36536 |
| Gas Valve Name: VNG(P) 50 | Date: 04/16/2021 | SKU Number: FCO-18G |
| | Drawing by: Jason Huang | Product Name: Contempo Flush 18 Gas |



STAFF REPORT: Historic District Review Board (HRB)

914 NEWCASTLE STREET - Final Approval

DATE: June 11, 2025

| GENERAL INFORMATION | | |
|--|--|--|
| Applicant: | Megan Chancellor Crumrine for Mr. & Mrs. Kearns | |
| Site Address / Tax PIN: | 914 Newcastle Street; R120 004 000 0279 0000 | |
| Applicant's Request: | Applicant is requesting approval for construction of a new single-family residence. The house is 2,853 SF of (conditioned space). | |
| Current Zoning: | T4-HISTORIC NEIGHBORHOOD (T4-HN) | |
| Contributing/Neighborhood | Non-Contributing (vacant lot) / Northwest Quadrant | |
| Flood Zone/Base Flood | Flood Zone X, Elevation: 19'-21' | |
| Lot size / Propose square footage of building / lot coverage | 5,917 sq. ft. (0.136 ac.) / 2,853 sq. ft. (roofed: 3,062 sq. ft.) = 52% roofed coverage | |
| ZONING DISTRICT INFORMATION | | |
| T4-HN | | |
| Lot Width at Setback: | 40 ft min. (60 ft min in The Point) | |
| Minimum Lot Size: | 4,000 sq. ft. (6,000 sq. ft. in The Point) | |
| Max Lot Coverage: | 55% of lot area (This percentage indicates maximum lot coverage by roofs; total impervious coverage may be an additional 10%. Parcels may also be subject to Section 8.3 - Stormwater) | |
| Min. Frontage Build Out | 75% max. | |
| Front Setback | Average Prevailing Setback on Block | |
| Side Setback | Corner: 5 ft min.; Interior: 6 ft min. (10 ft min. in The Point) | |
| Rear Setback | 15 ft min; from alley: 0 ft. | |
| Building Height: | 3 stories max. | |
| SURROUNDING ZONING, LAND USE AND REQUIRED BUFFERS | | |
| Adjacent Zoning | Adjacent Land Uses | Setbacks for Adjacent Zoning /Buffer required if rezoned |
| North: T4-HN | Historic house (1103 Greene St., ca. 1880) | N/A |
| South: T4-HN | Residential house (non-contribut.) | N/A |
| East: T4-HN | Washington Park | N/A |
| West: T4-HN | Historic house (1104 Greene St., ca. 1925) | N/A |

Background: The applicant is proposing to build a new single-family residence, including an in-law apartment over the attached garage, at the corner of Newcastle and Greene Streets. The lot is currently undeveloped and is located across from Washington Park. **Approximate square footage of conditioned living space: 2,853 sq.ft.**

Project timeline

| Jan. 2025 | Feb. | Mar. | Apr. | May | Jun. | Jul. | Aug. | Sep. | Oct. | Nov. | Dec. |
|-----------|------------------------|--|-----------------------------------|---|-----------------------------------|------|------|------|------|------|------|
| | | | | | | | | | | | |
| | 2/28: HTRC application | 3/5: HTRC Meeting 3/21: HRB – 1 st application | 4/09: 1 st HRB Meeting | 5/27: HRB – 2 nd application | 6/11: 2 nd HRB Meeting | | | | | | |

Applicant has been to the HRB Meeting on April 9, 2025 – Summary of Decision Letter presented:

1. Reducing the roof pitch from 10’12” to 9’12” and reducing the height of the main house from 9’ to 8’6”.
2. Applicant to provide site pervious/impervious coverage on the site plan. Per Section 2.4.1.A, the maximum lot coverage is 55% (total lot coverage by roofs). An additional 10% is allowed for pervious coverage.
3. Applicant to demonstrate compliance with setbacks per Section 2.4.1.B. Applicant is showing a 15’ front setback, but this setback needs to be shown as the average prevailing setback on the block.
4. Staff is supportive of the fenestration and architectural details at a conceptual level. Applicant to provide window and door details and material cutsheets for a later submittal.
5. Staff does not support the tabby finish on the raised slab and recommends utilizing a different material.

Summary of applicant’s revisions based on HRB comments from 4/09:

| <u>Discussed item subject to revision:</u> | <u>Incorporated revision with current request (6/11):</u> |
|--|---|
| 1. Reduction of roof pitch & height of main house | Roof pitches all have been reduced from a ratio of 10:12 to 9:12; <u>Main house – Second floor ceiling heights</u> have been reduced from 9’0” to 8’6” (- 6”); <u>Overall main house roof height</u> reduced from 32’8” to 31’0” (- 8”); <u>Attached garage/loft roof height</u> reduced from 29’2” to 28’2” (- 1’) |
| 2. Maximum Lot Coverage by roofs may not exceed 55% (applicant to show on plan!) | Revised plans show total overall lot coverage by roofed area of: ~ 52% (51.7%) |
| 3. Front setback of 15’ from Greene St. needs to be shown as the prevailing front setback on block (as existing) | Applicant has researched prevailing front setback from Centerline of Greene St. (ROW) on both sides of the street to be 35’ (new Kearns residence: 33’2”) |

| | |
|--|---|
| 4. Applicant to provide window and door details and material cutsheets | Applicant has provided specs/cutsheets for following materials: a. roof shingles' b. roof porches; c. eaves & fascia; d. siding; e. columns & corner trim; f. brick piers & stairs; g. doors; h. windows; i. exterior lighting (see enclosed in packet and staff presentation) |
| 5. Do not use tabby finish on raised slab | Revised plans from applicant shows "Hogs Board wall" & "Brick over CMU piers" instead of "Tabby Finishes" |

Applicant has been to the HTRC Meeting on March 5, 2025 and has been presented with following comments:

Regarding Architecture (by Meadors Architects, Charleston):

1. Applicant to provide site pervious/impervious coverage. Per Section 2.4.1.A, the maximum lot coverage is 55% (total lot coverage by roofs). An additional 10% is allowed for pervious coverage.
2. Applicant to provide frontage buildout. Per Section 2.4.1.A, the frontage buildout is 75% max.
3. Applicant to demonstrate compliance with setbacks per Section 2.4.1.B. Average prevailing setback; applicant is showing a 15' setback. There is also a 5' min. side setback on a corner
4. Overall, staff has concerns that the scale of this house appears too large, particularly on the left façade facing Washington Park. Staff recommends studying ways to reduce the massing of this building, such as:
 - o detaching the garage
 - o reducing the height of the garage and apartment portion. The current plate height for the garage is 10', and the apartment ceiling height is 9', making the structure almost 30' tall. Applicant should consider lowering the garage portion and study ways to reduce the height of the apartment, such as vaulting the ceilings and introducing dormers.
 - o Reducing the slope of the main roof and lowering the second-floor plate height from 9' to 8'-6" or 8'-8".
 - o The ceilings on the first floor are 10'. Could these be reduced to 9'-6" or 9'?
5. Staff also recommends providing a street section to get a better understanding of how this building's massing and scale relates to the adjacent historic properties and the park.

Historic Beaufort Foundation (HBF) remarks:

- A. The massing and scale appear larger than structures on any of the immediately surrounding block fronts- Newcastle, Greene or Washington. The scale and massing are more critical when the site is a very visible corner lot. Other than Washington Park, the historic street fronts and immediate neighborhood have a distinct pattern and rhythm which can be disrupted if not respected.
- B. These concerns could be addressed by changing or softening the pitch of the rooflines and reducing the overall scale and massing to better reflect the neighborhood pattern and rhythm.

Follow-up responses from the applicant regarding HTRC comments:

| <u>Item</u> | <u>Applicant response(s)</u> |
|---|--|
| Maximum Lot Coverage (55% + 10% = total impervious coverage) | 59% proposed; within the 65% requirement |
| Frontage buildout may only be 75% max. | 73% proposed; within the 75% requirement |
| Setbacks shown: 15' at front (along Greene St.); 5' corner side setback (along Newcastle St.); 6' interior side (rear) & 15' from alley | See Plan sheet C3 |
| Massing concerns: a) detach garage; b) height of garage/granny-flat; c) roof slope and 2 nd floor ceiling height; d) building height & massing in relation to surrounding neighborhood | a) Having an attached garage is a priority for the owner. b) – d) Both the main house's and garage's height will be reduced 6" |
| Applicant to provide street section to get better understanding of house's massing and scaling in relation to neighboring structures | The proposed house is within a 1' range of the height of the historic house across the street. |
| <i>HBF</i> : Massing and scaling is critical at this corner lot location (also across from Washington Park) and needs to better represent neighborhood pattern | The design took hints from the historic structure across the street at 1101/1103 Greene St. (that structure is 32' tall with the proposed house being 32' 8"). |
| <i>HBF</i> : Massing & scaling to reflect neighborhood pattern by softening roof pitch and overall reduction | Overall massing is reduced by lowering height of main house and garage by 6". |

Tree Removal Proposed:

No Specimen/Landmark trees will be affected, as only Laurel Oak trees will be removed. One (1) 22" Live Oak along Greene St. and at least two (2) Palmetto trees along Newcastle St. will be preserved.

Surrounding Area:

This property is located in the Northwest Quadrant. The buildings on the block and surrounding area are made up of both contributing and non-contributing structures. The height of the surrounding building range between one and two full stories.

Determination of adequate historic integrity for New Construction, Infill, Additions and Demolition:

As per the Beaufort Preservation Manual (Chapter 5) and the Beaufort Development Code (Section 4.7), the compatibility of new infill construction as well as major renovations within Beaufort Historic District is determined in consideration with the following principles: **1. Location, 2. Design, 3. Setting, 4. Materials, 5. Workmanship, 6. Feeling and 7. Association.** See detailed staff analysis and recommendations in table below:

| 4.7.2 Integrity Guidelines (as per Beaufort Development Code) | <u>Rationale Present (yes/no)</u> | <u>Staff Analysis of Rationale</u> |
|---|--|--|
| 1. Location: This is the relationship between the property and its historical context. | Yes | ✓ This corner lot presents a prime and highly visible location adjacent to 1103 Greene St. (two-story historic home) & Washington Park |
| 2. Design: This is the combination of elements that create the feeling of a district or structure. These elements include building patterns, streetscapes, site elements, building size, mass and scale, spatial relationships, and specific architectural elements and details. | Yes | ✓ Architectural design elements of 1103 Greene St. have been included in new construction; it also represents what is commonly referred to as the “Beaufort style” |
| 3. Setting: This is the physical environment of a property and should be evaluated on its context as well as on the historical role the property has played and continues to play. Important features include topography, vegetation, man-made features, and relationships between existing structures and their surroundings. | Yes | ✓ This corner lot presents a prime opportunity to fill-in and underlines its potential in creating a more urban feel in immediate proximity to other historically larger residences (e.g. 1103 Greene St.) as well as Washington Park |
| 4. Materials: These are the physical elements that make up a property or district. | Yes | ✓ The materials and workmanship represent the general historic architecture and are well suited for the type and location of structure. |
| 5. Workmanship: This is the physical evidence of the crafts of a particular culture or time period. This particularly applies to rehabilitation projects, but for new infill projects, workmanship of surrounding structures should be considered and respected. | Yes | ✓ See Above |
| 6. Feeling: This is the property's expression of the aesthetic or historic sense of a particular period of time. This particularly applies to rehabilitation projects, but for new infill | Yes | ✓ Proposed infill development complements and enhances the historic feeling of the |

| | | |
|--|-----|--|
| projects, the feeling of surrounding structures should be considered and respected. | | surrounding neighborhood and the overall importance of the Beaufort Historic District |
| 7. Association: This is the direct link between an important historic event or person and a property. | N/A | ✓ Staff has not found any relevant history or persons directly linked to this specific property. |

FINDINGS AND RECOMMENDATIONS

Staff Recommendation: Staff recommends **FINAL APPROVAL**, in that it satisfies the intent of the Beaufort Preservation Manual and requirements of the Beaufort Code as well as the HRB conditions from the project's preliminary approval granted on 4/9:

1. **Massing and scaling of proposed new single-family house – Requested revisions to roof height and roof pitches:**
 - a. 10:12 roof slopes have been reduced to 9:12
 - b. Overall height of main house has been reduced from 32'8" to 31'0."
 - c. Second floor ceiling heights of main house have been reduced from 9'0" to 8'6."
 - d. Attached garage/loft roof height has been reduced from 29'2" to 28'2."
2. **Other information which was requested and has been provided by the applicant:**
 - a. Applicant has provided cutsheets for following materials: a. metal and asphalt shingle roofing, c. eaves & fascia; d. siding; e. columns & corner trim; f. brick piers & stairs; g. doors; h. windows; i. exterior lighting (see enclosed in packet and staff presentation)
 - b. Applicant was to show that the applied 15' front setback was the prevailing average front setback on the block: Applicant has researched prevailing front setback from Centerline of Greene St. (ROW) on both sides of the street to average 35'; the new Kearns residence is 33'2" from the CL of that ROW.
 - c. Applicant has substituted the tabby finish over the raised slab with "hog board" and CMU piers with a brick veneer; applicant also has changed stucco finish on the chimney to brick veneer. Staff is supportive of these changes.
3. Applicant to note on the drawings that all windows and doors are to have exterior grilles with interior spacer bars.
4. Applicant to note that all cementitious material must have a smooth finish per Section 4.6.3.A.1.